



**Vestavia Hills
Board of Zoning Adjustment Agenda
May 18, 2023
6:00 PM**

1. Roll Call
2. Approval Of Minutes
3. BZA-23-9 **Maria Cecil** is requesting a **Variance for Location of Fence in the Front Setback** for the property located at **313 Longview Drive**. The purpose of this request is to replace an existing fence within the front setback. The property is owned by Maria Cecil and is zoned **Vestavia Hills R-3**.
4. BZA-23-10 **Megan & Reese Kincaid** are requesting a **Rear & Two Side Setback Variances** for the property located at **2129 Southwood Road**. The purpose of this request is to reduce the rear setback to 25' in lieu of the required 30' & to reduce the side setback (east side) to 12' in lieu of the required 15' & to reduce the side setback (west side) to 12' in lieu of the required 15', to build dining room and garage addition. The property is owned by Megan & Reese Kincaid and is zoned **Vestavia Hills R-2**.
5. Time Of Adjournment

CITY OF VESTAVIA HILLS
BOARD OF ZONING ADJUSTMENT
MINUTES

April 20, 2023

The Board of Zoning Adjustment of the City of Vestavia Hills met in regular session on this date at 6:00 PM. The roll was called with the following:

MEMBERS PRESENT:

Rick Rice, Chairman
Stephen Greer
Loring Jones, III
Thomas Parchman
Tony Renta
Ryan Rummage, Alt

MEMBERS ABSENT:

Michael Fliegel, Alt

OTHER OFFICIALS PRESENT:

Jack Wakefield, Planner/GIS

APPROVAL OF MINUTES

The minutes of March 16, 2023 were presented for approval.

MOTION Motion to dispense with the reading of the minutes of March 16, 2023 was made by Mr. Jones and 2nd was by Mr. Parchman. Motion as carried on a voice vote as follows:

Mr. Greer— yes	Mr. Renta – yes
Mr. Jones - yes	Mr. Rummage – yes
Mr. Parchman – yes	Chairman Rice – yes
Motion carried.	

FRONT & REAR SETBACK VARIANCES

BZA-23-6 **Ross Parker** is requesting **Front & Rear Setback Variances** for the property located at **2200 Brookdale Lane**. The purpose of this request is to reduce the front setback to 45' in lieu of the required 50' & to reduce the rear setback to 10' in lieu of the required 30', to build an addition to the principal structure. The property is owned by Ross Parker and is zoned **Vestavia Hills R-3**.

Mr. Wakefield explained the scope of the project and that the odd-shaped lot caused a hardship.

Joe Ellis, 1655 Linda Vista Lane, was present for the case and stated that the hardship was an irregular shaped/corner lot. The addition will be one-story and is keeping in scale 7 style of house. Neighbors approved of the plans as well.

Chairman Rice opened the floor for a public hearing. There being no one present in regard to the request, Mr. Rice closed the public hearing and opened the floor for a motion.

MOTION Motion to APPROVE a 5' Front Setback Variance to Reduce the Setback to 45' in Lieu of the Required 50' & 20' Rear Setback Variance to Reduce the Setback to 10' in Lieu of the Required 30' for the property located at 2200 Brookdale Lane, was made by Mr. Jones and 2nd was by Mr. Rummage. Motion was carried on a roll call vote as follows:

Mr. Greer – yes	Mr. Renta – yes
Mr. Jones - yes	Mr. Rummage – yes
Mr. Parchman – yes	Chairman Rice – yes
Motion carried.	

FRONT & REAR SETBACK VARIANCES

BZA-23-7 **Ricardo Azziz** is requesting a **Side Setback Variance & a Variance for Setback of Accessory Structure from Principal Structure**, for the property located at **2461 Mountain Vista Drive**. The purpose of this request is to reduce the side setback to 16' in lieu of the required 17' & to reduce the setback of an accessory structure from the principal structure to 5' in lieu of the required 10', to build a carport. The property is owned by Ricardo Azziz and is zoned **Vestavia Hills R-1**.

Mr. Wakefield explained that the request was to build a three-car carport addition and that the odd-shaped lot caused a hardship.

Cynthia Azziz, 2461 Mountain Vista Drive, stated that the request is for a larger carport addition. Also, the odd-shaped lot caused a hardship and that the addition will not be seen from the street. All surrounding neighbors are in support.

Mr. Renta asked if there was a roof over hang between house and carport.

Mrs. Azziz stated that she didn't believe that there was an overhang, but that she wasn't completely sure.

Mr. Renta asked if it be better for the HVAC units, between the structures, if the carport and house touched. He stated there could be water damage as a result of rainwater getting in between the two structures.

Mrs. Azziz stated she agreed with that assessment. She stated that they will still need to get more detailed drawings and will look at that issue.

Mr. Renta recommended that the Building Department look at the more detailed plans to make sure the placement of the carport would

Chairman Rice opened the floor for a public hearing. There being no one present in regard to the request, Mr. Rice closed the public hearing and opened the floor for a motion.

MOTION Motion to APPROVE 1' Side Setback Variance to Reduce the Setback to 16' in Lieu of the Required 17' & a 5' Accessory Structure/Principal Structure Setback Variance to Reduce the Setback of Accessory Structure to 5' in Lieu of the Required 10' (Condition that the Building Official review the plans of the off-set from the carport to the principal structure for all elements of the addition), for the property located at 2461 Mountain Vista Drive was made by Mr. Renta and 2nd was by Mr. Jones. Motion was carried on a roll call vote as follows:

Mr. Greer – yes	Mr. Renta – yes
Mr. Jones - yes	Mr. Rummage – yes
Mr. Parchman – yes	Chairman Rice – yes
Motion carried.	

REAR SETBACK VARIANCES

BZA-23-8 **Stephen Brady Wilson** is requesting a **Rear Setback Variance** for the property located at **3587 Miller Hill Way**. The purpose of this request is to reduce the rear setback to 10' in lieu of the required 20', to build a covered deck. The property is owned by Mickie Goad and is zoned **Vestavia Hills R-1***.

Mr. Wakefield explained the request is for a rebuild of a deck in an R-1 conservation zoning.

Mickie Goad, 3587 Miller Hill Way was present for the request, and stated that deck is a rebuild. Also, that that the cover was needed because of the way the deck faces on the slope of the rear of the lot. The rebuild and cover makes the deck functional, as it is currently not right now. There is no other space to build the deck based on the cluster nature of the subdivision.

Mr. Wakefield stated that the applicant received approval from the subdivision HOA.

Mr. Jones asked if the deck will be in the same location as the existing.

Ms. Goad stated that it would.

Chairman Rice opened the floor for a public hearing. There being no one present in regard to the request, Mr. Rice closed the public hearing and opened the floor for a motion.

MOTION Motion to APPROVE a 10' Rear Setback Variance to Reduce the Setback to 10' in Lieu of the Required 20'. for the property located at 3587 Miller Hill Way, was made by Mr. Jones and 2nd was by Mr. Renta. Motion was carried on a roll call vote as follows:

Mr. Greer– yes	Mr. Renta – yes
Mr. Jones - yes	Mr. Rummage – yes
Mr. Parchman – yes	Chairman Rice – yes
Motion carried.	

At 6:32 PM, Mr. Jones made a motion to adjourn. The meeting adjourned at 6:32 PM.

Jack Wakefield,
Planner/GIS



VESTAVIA HILLS

Board of Zoning Adjustment Planners Report

MEETING DATE

May 18, 2023

AGENDA ITEM

BZA-23-9 **Maria Cecil** is requesting a **Variance for Location of Fence in the Front Setback** for the property located at **313 Longview Drive**. The purpose of this request is to replace an existing fence within the front setback. The property is owned by Maria Cecil and is zoned **Vestavia Hills R-3**.

BACKGROUND

Variance for Location of Fence in the Front Setback.

PLANNER'S REVIEW/RECOMMENDATION

Applicant is seeking a variance for the location of a fence in the front setback. The applicant contends the corner lot causes a hardship. The proposed fence will replace an existing fence and will remain in the same location. The fence encroaches into the Hickory Road front setback and will be 15' from the front property line. The added distance between property line and roadway provides enough sight distance for drivers turning onto Hickory Road.

ATTACHMENTS

1. Application
2. Drawing
3. Affidavit

Jack Wakefield
City Planner



BZA-23-9

Variance and Special Exception Application

Status: Active

Date Created: Mar 31, 2023

Applicant

Maria Cecil
mcecilcpa@yahoo.com
313 Longview Drive
VESTAVIA HILLS, AL 35216
205-243-9272

Primary Location

313 LONGVIEW DR
VESTAVIA HILLS, AL 35216

Owner:

Maria H and J Craig Cecil
313 Longview Drive VESTAVIA HILLS, AL 35216

Agenda Information

Agenda Scheduling

May 2023

Applicant Information

I am filling this out as the

Owner

Billing/Responsible Party

Name

Maria H Cecil

Phone #

12052439272

Address

313 Longview Drive

City/State/Zip

Vestavia Hill, AL 35216

Email

mcecilcpa@yahoo.com

Subject Property Information

Subject Property Address

313 Longview Drive

Legal Description of Subject Property

Lot 20 and 21 Biltmore Estates as recorded in Map Book 17, page 59 in the Probate office of Jefferson County, AL

REASONS FOR REQUEST

Variance for location of a fence.



Details

Request to replace existing fence along current fence lines on corner lot - current fence on Hickory Rd set back 15 feet.

ZONING

Vestavia Hills Zoning for the subject property is

R-3

PROJECT

Describe the scope of the project and/or the reason for requesting this variance.

Replace existing fence which is old and rotted in many places due to water issues which were repaired last year. Existing fence well over 13 years old and was in place when we purchased the house in 2009. Kids just grabbing posts have managed to break them off unintentionally and with little effort as the wood is in bad shape.

Our plan is to build the new fence exactly along the lines of the existing fence. My house sits on a double lot and is also a corner lot. I would lose a great majority of my yard if I had to follow current setbacks for Hickory, which I understand is also considered frontage. Our plan is to go with a 4ft picket fence, either dog ear picket or shadow box picket, on Hickory side, to replace the current 5 foot gothic picket fence.

HARDSHIP

Please answer the following questions regarding hardship and briefly summarize and describe those things which you feel justify the action requested in the box below. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).

We are requesting a variance because code has changed since the installation of our existing fence, which was there when we purchased our home in 2009. We would suffer hardship of not being able to enjoy the full use of our lot as we have since we purchased our home.

Before any variance is granted, the BZA must find that ALL of the following conditions exist. Please describe each of the following details in order for the BZA to determine if these warrants the described hardship.

1. There are extraordinary and exceptional conditions, which are peculiar to the piece of property in question because of its size, shape or topography, that are not applicable to the other lands or structures in the same district. Please explain:

N/A

2. Granting the variance requested will not confer upon the applicant any special privileges that are denied to other owners of property in the District in which the property is located. Please explain:

There is an existing fence which has been on the property for many years. We are only asking to replace it because it is in bad shape and to continue to have full use of our yard.

3. All literal interpretations of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by others of property in the district in which the property is located. Please explain:

My house is a corner lot - I would lose the use and enjoyment of most of my yard if I had to follow current set back rules on Hickory.

4. The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare. Please explain:

Replacing with a much nicer fence similar in style to those around us.

5. The special circumstances are not the intended result of the actions of the applicant (i.e., self-imposed hardship). Please explain:

N/A

6. The variance requested is the minimum variance that will make possible the legal use of the land, building or structure. Please explain:

We are only asking to replace along existing fence line that has been there for many years.

7. The no non-conforming use of neighboring lands, structures, or buildings in the same district, and no permitted or non-conforming use of lands, structures, or building in other districts shall be considered grounds for the issuance of a variance.

8. That a variance will not allow the permanent establishment of a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

The variance request is for a fence.

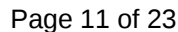
NOTE: In proving that an unnecessary hardship has been imposed on the property as a result of the strict interpretation of this Ordinance, the following conditions cannot be considered pertinent to the determination of whether or not an unnecessary hardship exists: (1) proof that a variance would increase the financial return from land; or (2) personal or economic hardship; or (3) self-imposed hardship. In other words, hardship alone is not sufficient to permit a variance. It must be an "unnecessary hardship." Mere financial loss of a kind, which might be common to all of the property owners in a district, is not an "unnecessary hardship."

OWNER AFFIDAVIT

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit. Owners authorization may be found on our main page.

Owner Signature

Maria H Cecil
03/31/2023





City of Vestavia Hills
Office of the City Clerk

OWNER AFFIDAVIT (This form must be notarized):

I do hereby declare that the following statements are correct concerning the subject property located at: 313 Longview Drive, Vestavia Hills, Alabama and that statements submitted in my application are true and that I am: *(please check all that apply)*.

X the Property Owner and representing myself in said request.

____ the Property Owner, but I am authorizing a Representing Agent by the name of: _____ to represent me in the following request:

And am requesting: (please check)

____ Rezoning Request
____ Preliminary Plat Approval
____ Final Plat Approval
____ Conditional Use Approval

X Request for Variance
____ Special Exception
____ Design Review Approval

Signed:

Mar H Cene 3/30/23
Owner Signature/Date

STATE OF ALABAMA

COUNTY OF Jefferson

Given under my hand and seal
this 30 day of March, 2023.

Leslie B. Simmons
Notary Public

LESLIE BETH SIMMONS
NOTARY PUBLIC
ALABAMA STATE AT LARGE
COMM. EXP. 03/11/26

My commission expires 11 day of March, 2026.



VESTAVIA HILLS

Board of Zoning Adjustment Planners Report

MEETING DATE

May 18, 2023

AGENDA ITEM

BZA-23-10 **Megan & Reese Kincaid** are requesting a **Rear & Two Side Setback Variances** for the property located at **2129 Southwood Road**. The purpose of this request is to reduce the rear setback to 25' in lieu of the required 30' & to reduce the side setback (east side) to 12' in lieu of the required 15' & to reduce the side setback (west side) to 12' in lieu of the required 15', to build dining room and garage addition. The property is owned by Megan & Reese Kincaid and is zoned **Vestavia Hills R-2**.

BACKGROUND

5' Rear Setback Variance to Reduce the Setback to 25' in Lieu of the Required 30' & 3' Side Setback (East) Variance to Reduce the Setback to 12' in Lieu of the Required 15' & 3' Side Setback (West) Variance to Reduce the Setback to 12' in Lieu of the Required 15'.

PLANNER'S REVIEW/RECOMMENDATION

The applicants are seeking a rear and two side setback variances to build a dining room and single-car garage addition. The applicants contend the slope and angled lot lines cause a hardship. The addition will encroach into the rear and eastern side setback. The western side setback was included, as the existing house sits over the 15' required setback.

ATTACHMENTS

1. Engineering Comments
2. Application
3. Existing Survey
4. Proposed Drawings
5. Affidavit

Jack Wakefield
City Planner



May 11, 2023

BZA-23-10

Engineering Review

Variance and Special Exception Application

Status: Complete

Became Active: Apr 19, 2023

Assignee: Christopher Brady

Completed: Apr 28, 2023

Applicant

Matt Costanzo
matt@mvcarchitect.com
4425 Kennesaw Drive
Birmingham, AL 35213
2052662825

Primary Location

2129 SOUTHWOOD RD
VESTAVIA HILLS, AL 35216

Owner:

Megan and Reese Kincaid
2129 Southwood Road Vestavia Hills, AL 35216

Comments

Christopher Brady, Apr 28, 2023

1) Preliminary estimate shows to be just under 30% of impervious area; this will be subject to additional detail review at permit request.



BZA-23-10

Variance and Special Exception Application

Status: Active

Date Created: Apr 18, 2023

Applicant

Matt Costanzo
matt@mvcarchitect.com
4425 Kennesaw Drive
Birmingham, AL 35213
2052662825

Primary Location

2129 SOUTHWOOD RD
VESTAVIA HILLS, AL 35216

Owner:

Megan and Reese Kincaid
2129 Southwood Road Vestavia Hills, AL 35216

Agenda Information

Agenda Scheduling

May 2023

Applicant Information

I am filling this out as the
Representative Agent

Billing/Responsible Party

Name

Megan and Reese Kincaid

Phone #

205-531-6332

Address

2129 Southwood Road

City/State/Zip

Vestavia Hills, AL 35216

Email

reese.kincaid@oakworth.com

Representing Attorney/Other Agent

Name

Matthew V. Costanzo, Architect

Phone #

205-266-2825

Address

4425 Kennesaw Drive

City/State/Zip

Birmingham, AL 35213

Email

matt@mvcarchitect.com

Subject Property Information

Subject Property Address

2129 Southwood Road

Legal Description of Subject Property

Lot 6, BYRD REAL ESTATE COMPANY'S RESURVEY OF LOTS 1 TO 7 AND LOTS 19 TO 24, BLOCK 14, LOTS 4 TO 18, BLOCK 21, LOT 1 TO 6, BLOCK 22, LOTS 1 TO 7 AND LOTS 16 TO 21, BLOCK 23, AND ALL OF BLOCK 24, BILTMORE ESTATES ALSO A RESURVEY OF LOTS 17, 18, 19, & 20, BYRD REAL ESTATES COMPANY'S RESURVEY, as recorded in Map Volume 32 , Page 46, in the Office of the Judge of Probate, Shelby County, Alabama.

REASONS FOR REQUEST

Rear Setback Variance**Setback Required**

30 feet

Setback Requested

25.5 feet

Side Setback Variance**Setback Required**

15 feet

Setback Requested

12.9 feet

Other Setback Variance**Setback Required**

15'

Setback Requested

12' (other side setback for existing house encroachment)

ZONING

Vestavia Hills Zoning for the subject property is

PROJECT

Describe the scope of the project and/or the reason for requesting this variance.

We are proposing a full renovation of the existing house including a dining room addition and a single car garage addition. Due to the angled property lines and slope of the lot, the owners are requesting a variance to allow the garage addition to slightly exceed the required setbacks on the side and rear. The existing home currently sits 24 feet from the rear setback and 12.9 feet from the right-side setback.

HARDSHIP

Please answer the following questions regarding hardship and briefly summarize and describe those things which you feel justify the action requested in the box below. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).

This lot presents an undue hardship due to the angled lot lines coupled with the slope of the lot.

Before any variance is granted, the BZA must find that ALL of the following conditions exist. Please describe each of the following details in order for the BZA to determine if these warrants the described hardship.

1. There are extraordinary and exceptional conditions, which are peculiar to the piece of property in question because of its size, shape or topography, that are not applicable to the other lands or structures in the same district. Please explain:

This lot has angled lot lines, and together with the slope of the lot, there is no other feasible location for the garage addition.

2. Granting the variance requested will not confer upon the applicant any special privileges that are denied to other owners of property in the District in which the property is located. Please explain:

No, granting of this variance will not confer upon the applicant any special privileges that are denied to other owners in the same district.

3. All literal interpretations of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by others of property in the district in which the property is located. Please explain:

All literal interpretations of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by others of property in the district in which the property is located due to the angled property lines coupled with the slope of the lot.

4. The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare. Please explain:

The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare, as the proposed addition is in keeping with the scale and style of the surrounding homes.

5. The special circumstances are not the intended result of the actions of the applicant (i.e., self-imposed hardship). Please explain:

No, the special circumstances/hardship are inherent in the lot and have in no way been the result of actions of the applicant or owners.

6. The variance requested is the minimum variance that will make possible the legal use of the land, building or structure. Please explain:

Yes, the variance requested is the minimum required to make possible the use of this lot.

7. The no non-conforming use of neighboring lands, structures, or buildings in the same district, and no permitted or non-conforming use of lands, structures, or building in other districts shall be considered grounds for the issuance of a variance.

8. That a variance will not allow the permanent establishment of a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

No, the variance will not allow the permanent establishment of a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

NOTE: In proving that an unnecessary hardship has been imposed on the property as a result of the strict interpretation of this Ordinance, the following conditions cannot be considered pertinent to the determination of whether or not an unnecessary hardship exists: (1) proof that a variance would increase the financial return from land; or (2) personal or economic hardship; or (3) self-imposed hardship. In other words, hardship alone is not sufficient to permit a variance. It must be an "unnecessary hardship." Mere financial loss of a kind, which might be common to all of the property owners in a district, is not an "unnecessary hardship."

OWNER AFFIDAVIT

Representing Agent Signature

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit. Owners authorization may be found on our main page.

Matthew V. Costanzo
04/17/2023

Legend:

ASP BLDG	ASPHALT BUILDING	HW MIN	HEADWALL MINIMUM	TAN RES	TANGENT RESIDENCE	AC S.F.	ACRES SQUARE FEET
CALC MEAS	CALCULATED MEASURED	MH OH	MANHOLE OVERHANG	oLGT COV	LIGHT COVERED	Q A/C	CENTERLINE AIR CONDITIONER
CH LNG	CHORD LONG CHORD	R	RADIUS	DECK	DECK	o	POLE
d	DEFLECTION	R.O.W.	RIGHT OF WAY	CONCRETE WALL	CONCRETE WALL	-x-	ANCHOR FENCE
Δ	DELTA	SAN	SANITARY	WALL	WALL	-x-	OVERHEAD UTILITY WIRE
ESMT	EASEMENT	STM	STORM	COLUMN	COLUMN	PVMT W/	PAVEMENT WITH

VESTAVIA COUNTRY CLUB ~ GOLF COURSE ~

FOUND 1"x1" SQUARE PIPE

FOUND 5/8" REBAR NORTH:0.70' WEST:0.44'

MAP:100.0' MEAS:100.36'

5' EASEMENT FOR UTILITIES

FOUND 5/8" REBAR

FOUND CONCRETE MONUMENT SOUTH:1.09' EAST:0.13'

MEAS:199.89'

DRIVE OUT:4.6'

FOUND 5/8" REBAR "WEYGAND"

LOT 6

14954 Sq. Ft. ±

0.34 Ac. ±

DECK

OVERHANG

RESIDENCE #2129

LOT 7

LOT 5

SOUTHWOOD ROAD

(40' R.O.W.)

STATE OF ALABAMA

COUNTY OF JEFFERSON

"PROPERTY BOUNDARY SURVEY"

I, Steven J. Clinkscales, a Registered Land Surveyor, hereby certify to the purchaser of this property at this time, that I have surveyed Lot 6, BYRD REAL ESTATE COMPANY'S RESURVEY OF LOTS 1 TO 7 AND LOTS 19 TO 24, BLOCK 14, LOTS 4 TO 18, BLOCK 21, LOT 1 TO 6, BLOCK 22, LOTS 1 TO 7 AND LOTS 16 TO 21, BLOCK 23, AND ALL OF BLOCK 24, BILTMORE ESTATES ALSO A RESURVEY OF LOTS 17, 18, 19, & 20, BYRD REAL ESTATES COMPANY'S RESURVEY, as recorded in Map Volume 32, Page 46, in the Office of the Judge of Probate, Shelby County, Alabama. I hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief; according to my survey of NOVEMBER 17, 2022. Survey invalid if not signed and sealed.

Order No.: 22-617

Purchaser: KINCAID

Address: 2129 SOUTHWOOD ROAD

BY: Steven J. Clinkscales, PLS AL 37248

Date: NOVEMBER 18, 2022

Notes: (a) No title search of the public records has been performed by this firm, and land shown hereon was not abstracted for easements and/or rights-of-way, recorded or unrecorded. The parcel shown hereon is subject to setbacks, easements, zoning, and restrictions that may be found in the public records of said county and/or city. (b) All bearings and/or angles are deed/record map unless otherwise noted in such form as Measured (Deed). (c) Underground portions of foundations, footings, and/or other underground structures, utilities, cemeteries or burial sites were not located unless otherwise noted. (d) The shown north arrow is based on deed/record map. (e) This survey is not transferable. (f) Easements not shown on recorded map are not shown above. (g) All iron pins set (IPS) by this firm are 5/8" rebar with a yellow rebar cap inscribed CLINKSCALES CA-1084-LS or a 1/2" rebar with a red cap inscribed PLS37248 CA1084LS and shall not be removed.

CLINKSCALES LAND SURVEYING, LLC

SCALE: 1" = 20'

APPROVED BY: Steven J. Clinkscales PLS

DATE: 11/18/2022

AL REG. NO. 37248

SURVEYED BY: SJC / DRAWN BY: TSD

DATE OF SURVEY: 11/17/2022

TEL: 205-671-1033

12254 Highway 280

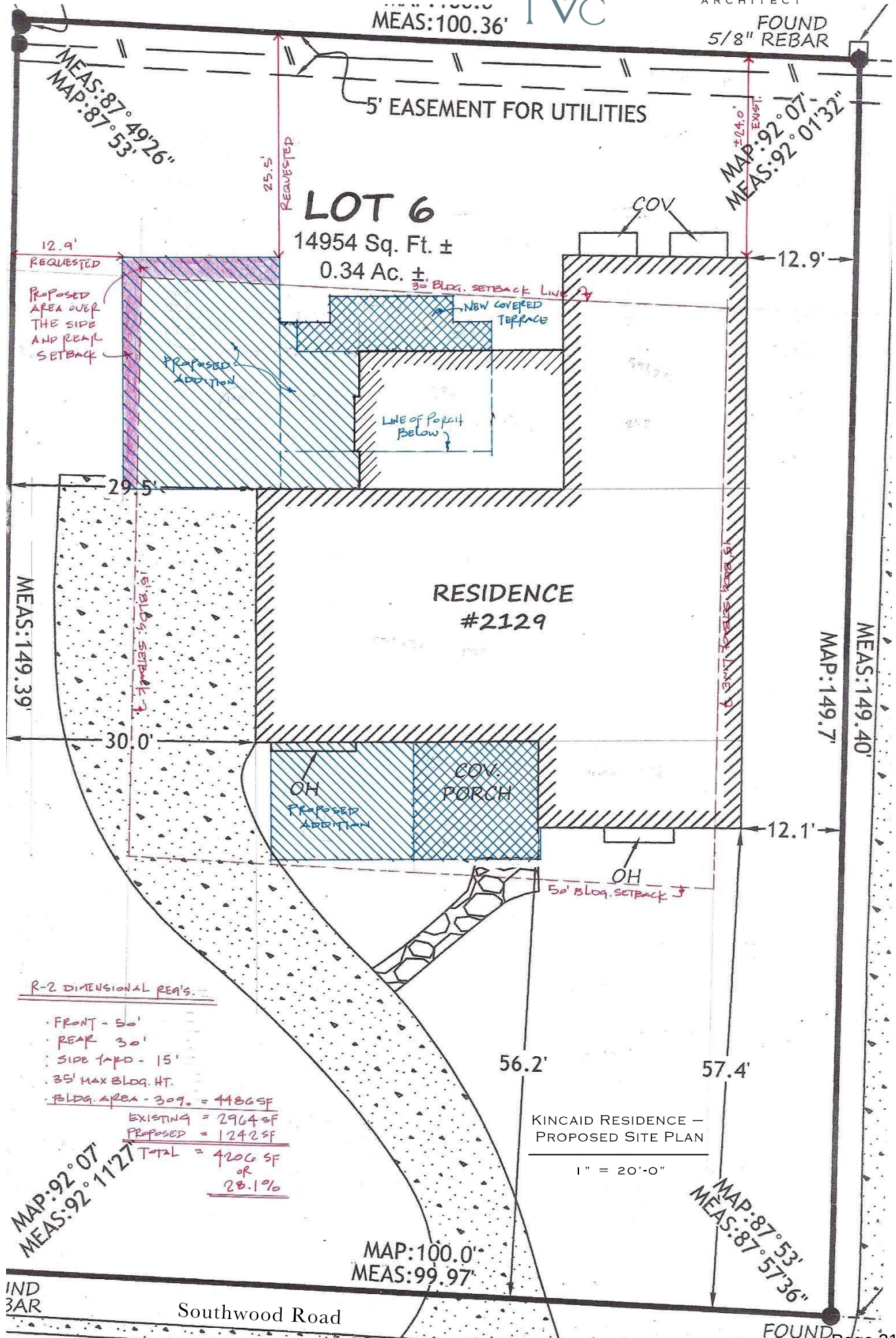
Sterrett, AL 35147

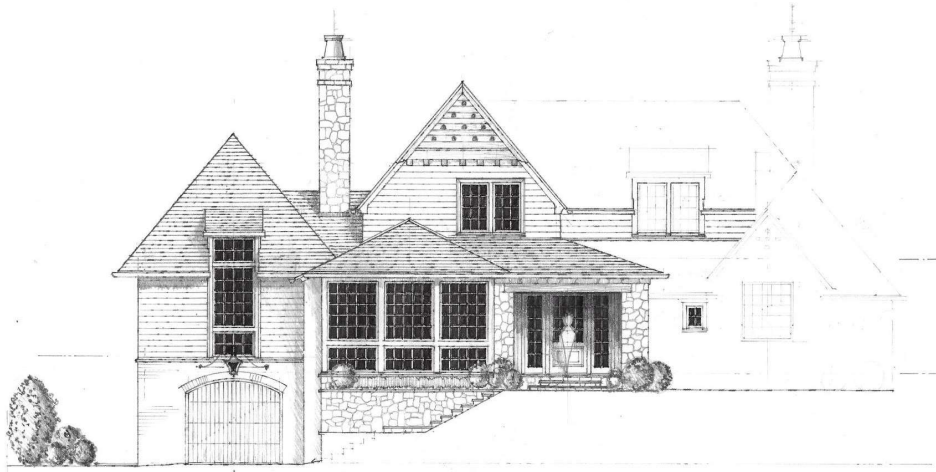
ClinkSurveying.com

Job #: 22-617

GRAPHIC SCALE: 1" = 20'

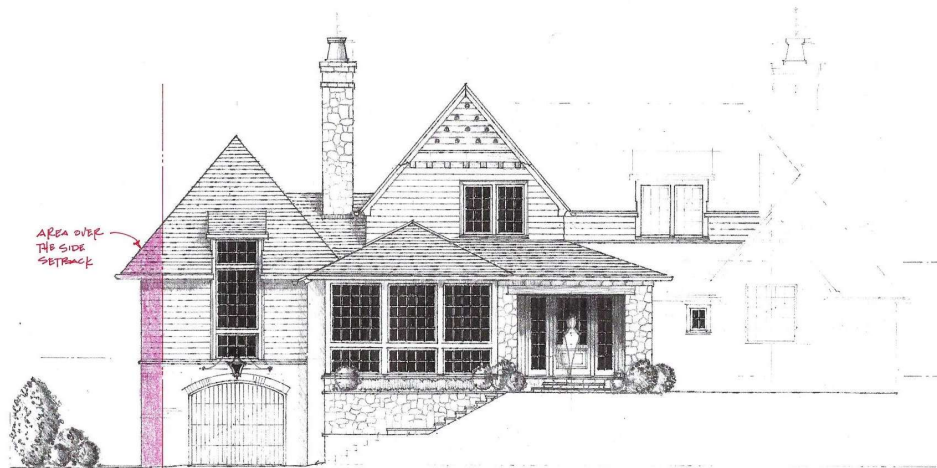
Copyright





PRELIMINARY FRONT ELEVATION

scale: 1/4" = 1'-0"



PRELIMINARY FRONT ELEV. WITH VARIANCE REQUEST

scale: 1/4" = 1'-0"



**City of Vestavia Hills
Office of the City Clerk**

OWNER AFFIDAVIT (This form must be notarized):

I do hereby declare that the following statements are correct concerning the subject property located at: 2129 SOUTHWOOD ROAD, Vestavia Hills, Alabama and that statements submitted in my application are true and that I am: *(please check all that apply).*

☐ the Property Owner and representing myself in said request.

☒ the Property Owner, but I am authorizing a Representing Agent by the name of: MATT COSTANZO to represent me in the following request:

And am requesting: (please check)

☐ Rezoning Request
☐ Preliminary Plat Approval
☐ Final Plat Approval
☐ Conditional Use Approval

☒ Request for Variance
☐ Special Exception
☐ Design Review Approval

Signed: _____

[Handwritten Signature]

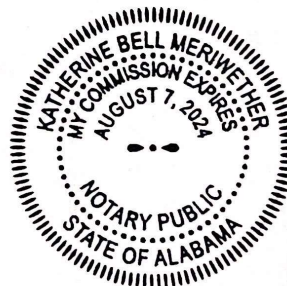
Owner Signature/Date

STATE OF ALABAMA

COUNTY OF Jefferson

Given under my hand and seal
this 18th day of April, 2023

[Handwritten Signature]
Notary Public



My commission expires 7 day of AUGUST, 2024.