



Vestavia Hills
Design Review Board Agenda
July 6, 2023
6:00 PM

1. Call to Order
2. Roll Call
3. Approval of Minutes
4. **D-23-3** **Mark Hancock** is requesting **Architectural Review, Landscape Review, and Final Review of Materials** for the property located at 4553 Pine Tree Cir. The purpose of this request is for a new building. The property is owned by Mark Hancock and is zoned Vestavia Hills O-1.
5. **D-23-4** **Brian Crawford** is requesting **Architectural Review, Landscape Review, and Final Review of Materials** for the property located at 1437 Montgomery Hwy. The purpose of this request is for a renovation to an existing building. The property is owned by Brian Crawford and is zoned Vestavia Hills B-3.
6. Consideration & Comments of the Vestavia Hills Sidewalk Master Plan
7. Time Of Adjournment

Design Review Board Application

DRB-23-4

Submitted On: May 30, 2023

Applicant

 Justin Collier
 3343997713
 justin@jcollierarchitect.com

Primary Location

4553 PINE TREE CIR
VESTAVIA HILLS, AL 35243

Owner of Property

Name

Mark Hancock

City

Vestavia

Zip Code

35243

Email

mark@hancockbuilt.com

Address

2828 Old 280 Court, Suite 200

State

AL

Phone Number

2054973284

Billing/Responsible Party

Name

Justin Collier

City

Vestavia

Zip Code

35243

Email

justin@jcollierarchitect.com

Address

2828 Old 280 Court, Suite 120

State

AL

Phone Number

3343997713

Representing Attorney/Other Agent

Name

Justin Collier

City

Vestavia

Zip Code

35243

Email

justin@jcollierarchitect.com

Address

2828 Old 280 Court, Suite 120

State

AL

Phone Number

3343997713

Description of Property

6/28/23, 3:15 PM

about:blank

Subject Property Address	Property Zoning Classification
4553 Pine Tree Circle, Vestavia, AL 35243	--
Subdivision Name, Lot #, Block #, etc.	
--	

Reason for Request	
<i>Check all that apply</i>	Preliminary Review
	--
Landscape Review	Architectural Review
--	true
Final Review of Materials	Other
false	--
Detailed Explanation	
Review of architectural design and proposed exterior materials	

Process	
<i>Check all that apply</i>	New Building
	true
Renovation of Existing Building	New Landscape Plan
--	--
Renovation to Existing Landscaping Plan	Other
--	--
Detailed Explanation	
--	

Affidavit:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit.

Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board

must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

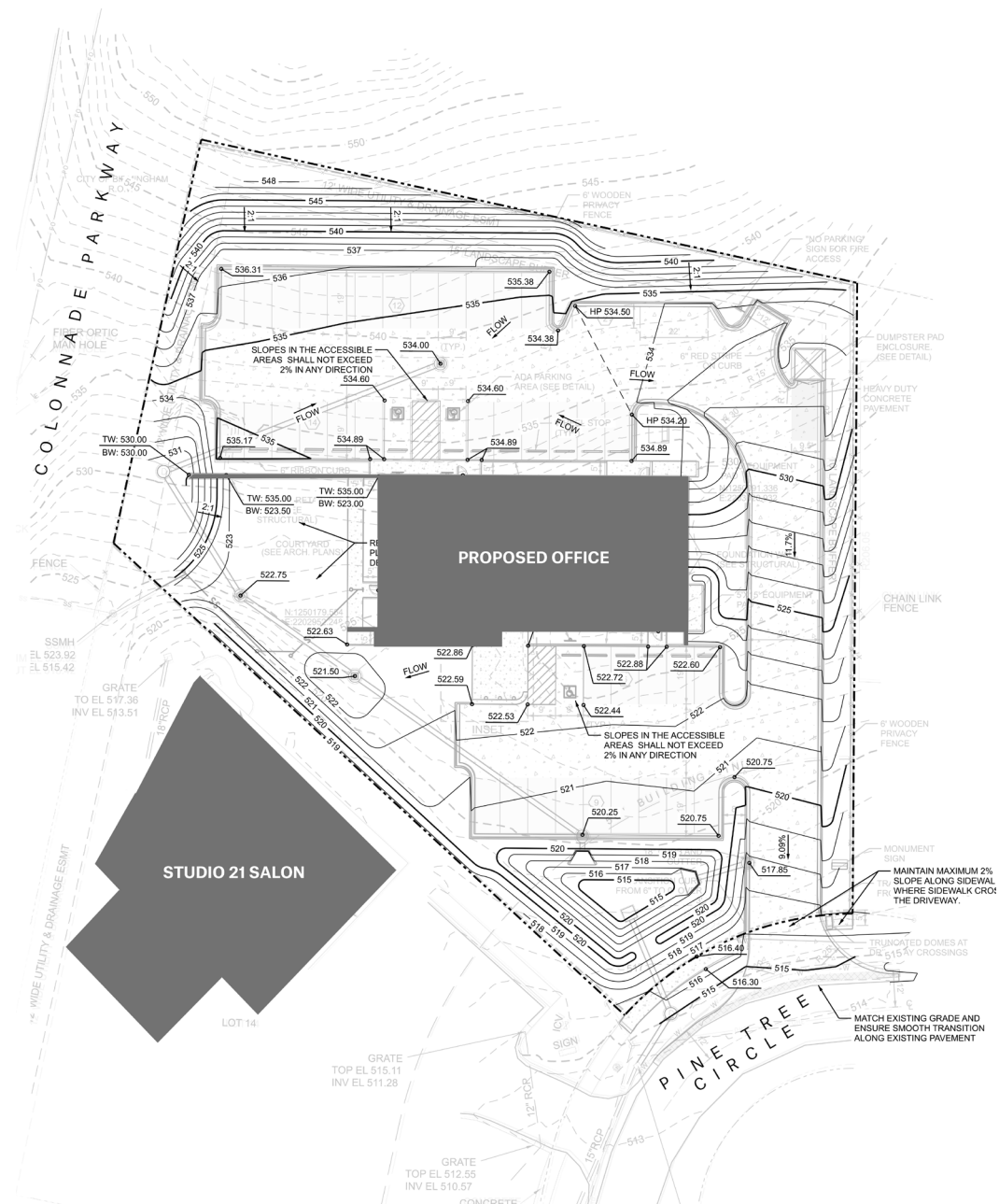
General: Provide three copies and one digital copy (pdf format) of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application. Drawings shall be folded to size 8 ½" by 11".

1. Architectural Review

- a. Site plan showing roadways, entrances, exits and parking
- b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
- c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.

2. Landscape Review

- a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
- b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
- c. Parking lots: Provide calculations of total square footage and square footage designed for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
- d. Irrigation plan for all landscaped areas.
- e. Statement of maintenance policy and provisions.





West Elevation



South Elevation

Material Legend

- 01 Board-formed Concrete
- 02 Painted, Hardie Board & Batten
- 03 Delta Millworks, Accoya 6", Light Ivory
- 04 Storefront Window, Black Anodized
- 05 Custom-fabricated Steel Canopy
- 06 GulfSeam, Standing-seam Metal Roof



East Elevation

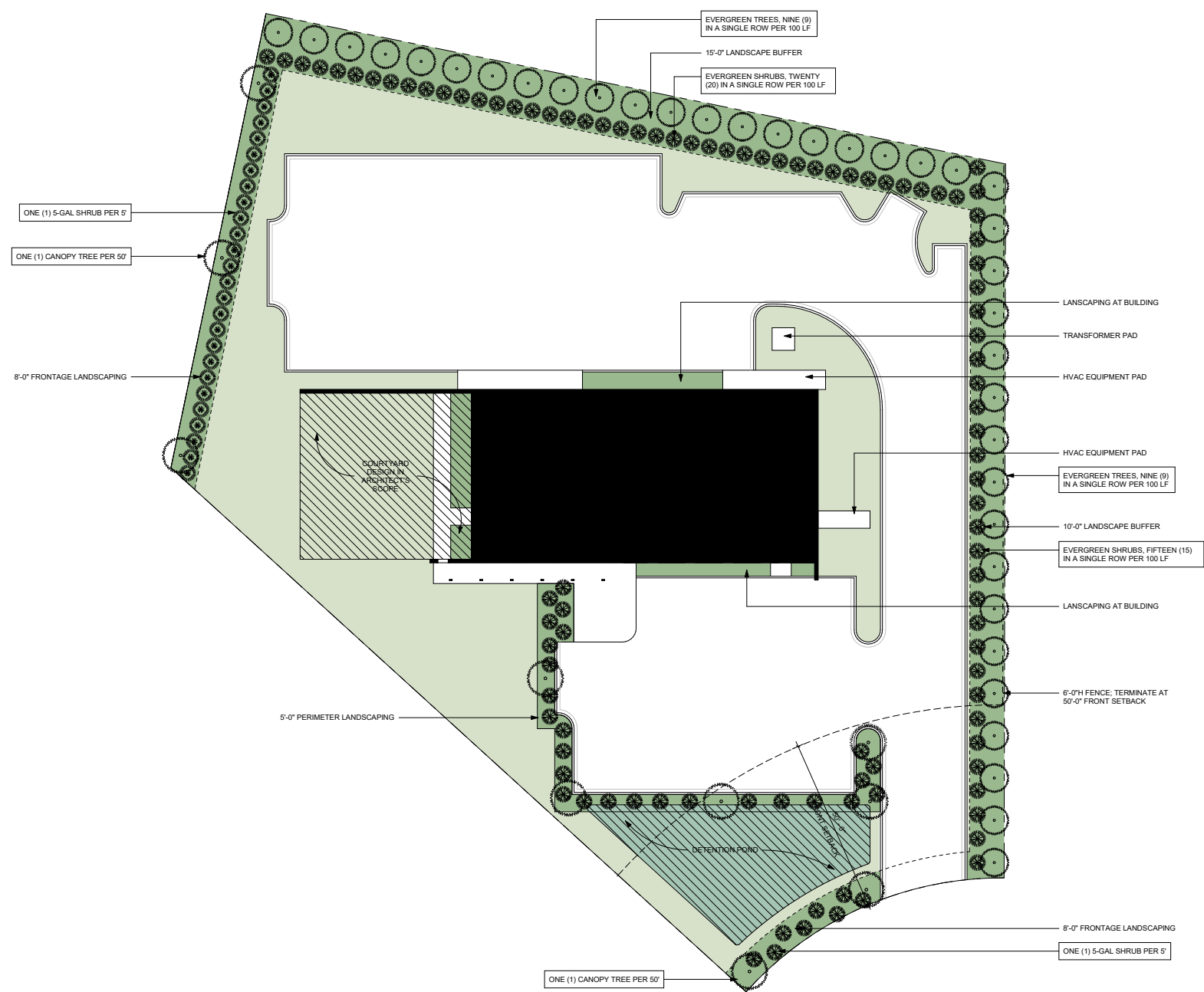


North Elevation

Material Legend

- 01 Board-formed Concrete
- 02 Painted, Hardie Board & Batten
- 03 Delta Millworks, Accoya 6", Light Ivory
- 04 Storefront Window, Black Anodized
- 05 Custom-fabricated Steel Canopy
- 06 GulfSeam, Standing-seam Metal Roof





Context



Traditional forms & massing
with minimal detailing

- Brick
- Hardie lap siding
- Exposed wood beams
- Storefront windows
- Minimal canopies

Studio 21 Salon



Traditional design with
sophisticated & thoughtful details

- Hardie lap siding
- Exposed wood beams
- Aluminum-clad windows
- Painted brick
- Linear massing

Cohn Plastic Surgery



Modern forms with
complimentary materials

- Board-formed concrete
- Hardie lap siding
- Exposed wood beams
- Storefront windows
- Painted brick

The Lindsey Building

Rendering



Traditional massing with minimal yet sophisticated detailing.
Material palette compliments adjacent structures and context.

Design Review Board Application

DRB-23-5

Applicant

 Scott Boomhover
 205 322 1751 ext 116
 sboomhover@hplusha.com

Primary Location

1449 MONTGOMERY HWY
VESTAVIA HILLS, AL 35216

Owner of Property

Name

Brian Crawford

Address

PO Box 366

City

Gadsden

State

Alabama

Zip Code

35902

Phone Number

(256) 328-5504

Email

Brian@guthrieschicken.com

Billing/Responsible Party

Name

Brian Crawford

Address

PO Box 366

City

Gadsden

State

Alabama

Zip Code

35902

Phone Number

(256) 328-5504

Email

brian@guthrieschicken.com

Representing Attorney/Other Agent

Name

Hendon + Huckestein Architects

Address

2126 Morris Avenue

City

Birmingham

State

Alabama

Zip Code

35203

Phone Number

(205) 322-1751 ext 116

Email

sboomhover@hplusha.com

Description of Property

Subject Property Address

1449 Hwy 31

Property Zoning Classification

B-3

Subdivision Name, Lot #, Block #, etc.

--

Reason for Request

Check all that apply

Preliminary Review

true

Landscape Review

true

Architectural Review

true

Final Review of Materials

true

Other

--

Detailed Explanation

--

Process

Check all that apply

New Building

--

Renovation of Existing Building

true

New Landscape Plan

true

Renovation to Existing Landscaping Plan

true

Other

--

Detailed Explanation

--

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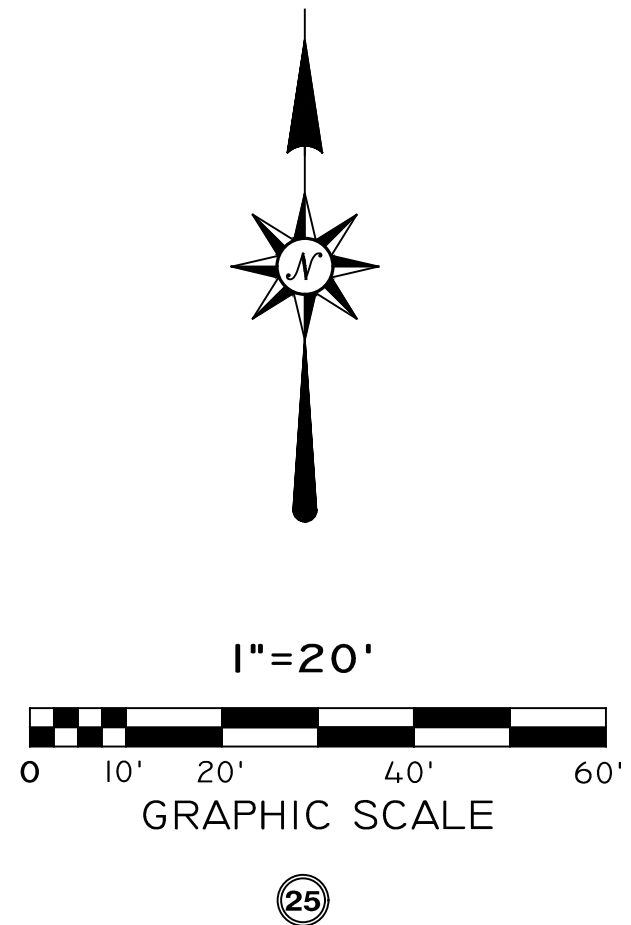
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- e. Statement of maintenance policy and provisions.



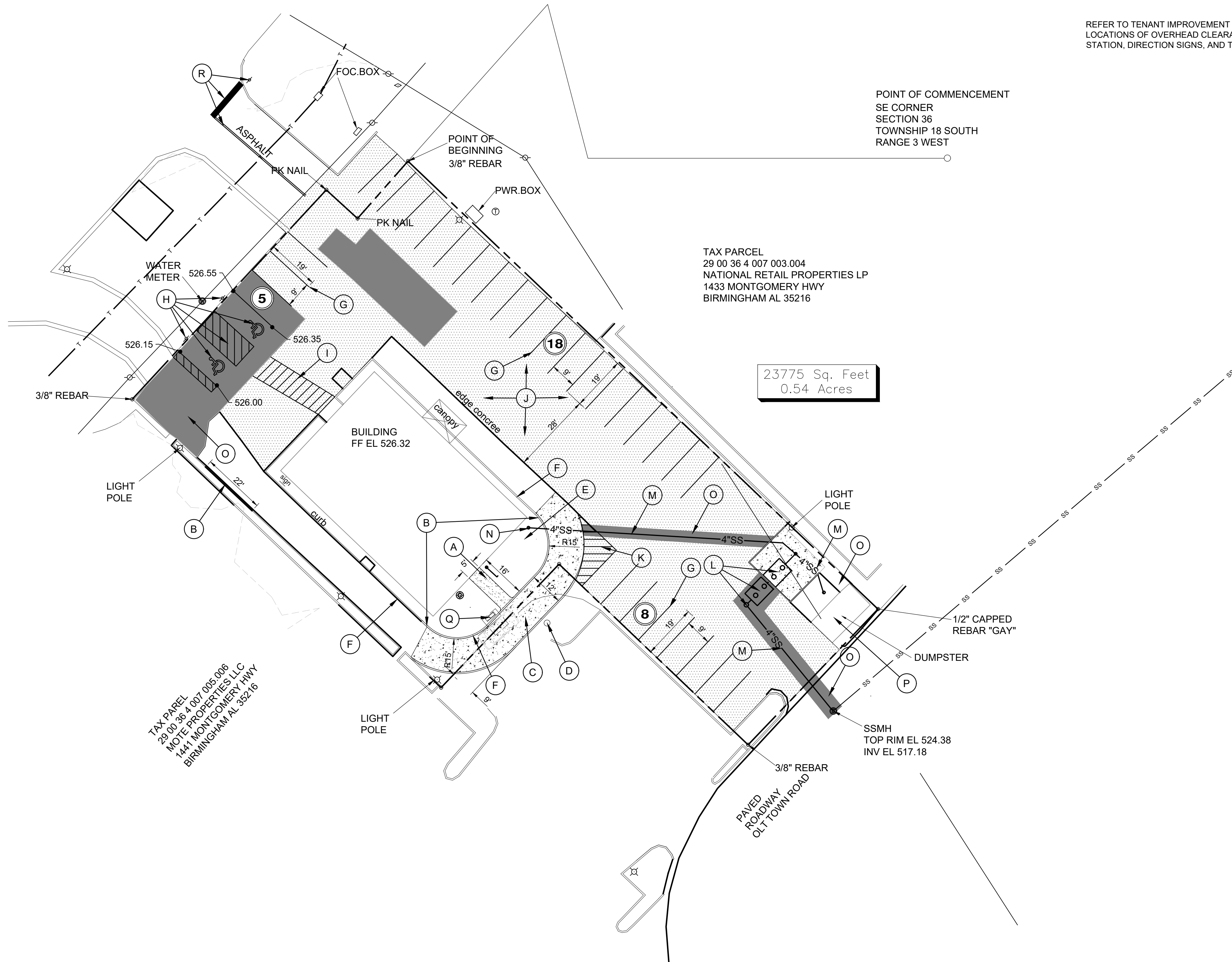
- (A) SAWCUT AND REMOVE EXISTING CURB
- (B) SAWCUT AND REMOVE EXISTING CONCRETE SIDEWALK.
- (C) REMOVE EXISTING MENU BOARD AND CANOPY
- (D) EXISTING SITE LIGHT POLE & POWER CONDUIT TO BE REMOVED. POLE AND FIXTURE ARE TO BE REMOVED AND RE-INSTALLED IN NEW LOCATION - SEE SITE PLAN FOR NEW LOCATION.
- (E) REMOVE EXISTING VEGETATION AT PLANTER ISLANDS
- (F) EXISTING GAS METER TO REMAIN - PROTECT FROM DAMAGE.
- (G) EXISTING SITE LIGHT POLE, BASE AND FIXTURE TO REMAIN - PROTECT FROM DAMAGE.
- (H) SAWCUT AND REMOVE EXISTING BACK OF CURB AT ROOF DOWNSPOUT.
- (I) EXISTING CURB AND GUTTER TO REMAIN - PROTECT FROM DAMAGE.
- (J) SAWCUT AND REMOVE EXISTING ASPHALT PAVING AND CONCRETE PAVING AS REQUIRED FOR INSTALLATION OF NEW GREASE TRAPS AND SAMPLING PORT.
- (K) SAWCUT AND REMOVE EXISTING ASPHALT PAVING.
- (L) REMOVE EXISTING FENCING.
- (M) REMOVE EXISTING ROADWAY PAVEMENT MARKERS - TYPICAL

1. CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS AND BENCHMARKS. IF DESTROYED DURING CONSTRUCTION, CONTRACTOR SHALL REPLACE AT HIS EXPENSE.
2. CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED ON AND ADJACENT TO THE SITE PRIOR TO BEGINNING WORK. ALL UTILITIES SHOWN ARE APPROXIMATE.
3. ALL EXISTING IMPROVEMENTS (PAVING, CURB, SIDEWALKS, INLETS, ETC.) SHALL BE DEMOLISHED INSIDE THE DEMOLITION LIMITS UNLESS SPECIFIED OTHERWISE. ALL IMPROVEMENTS OUTSIDE DEMOLITION LIMITS SHALL REMAIN UNLESS SPECIFIED OTHERWISE. DEMOLITION INCLUDES REMOVAL OF BUILDING FOOTINGS AND UNDERGROUND UTILITIES THAT ARE NOT IN SERVICE. EXISTING UTILITIES TO REMAIN OPERATIONAL SHALL BE PROTECTED DURING CONSTRUCTION.
4. CONTRACTOR SHALL SAFEGUARD ALL EXISTING UTILITIES WITHIN ADJACENT RIGHT-OF-WAY AND DEMOLITION LIMITS.
5. ALL DEMOLITION AND EXISTING IMPROVEMENTS SHALL BE HAULED OFF AND DISPOSED OF IN A LEGAL MANNER. DEMOLISHED CONCRETE SHALL NOT BE INCORPORATED INTO FILL MATERIAL. CONTRACTOR SHALL SAWCUT ALL EXISTING PAVING AT DEMOLITION LIMITS SHOWN ON PLAN. CONTRACTOR SHALL ASSURE A SMOOTH, STRAIGHT LINE CUT. CONCRETE WORK (I.E., SIDEWALKS AND CURBS AND GUTTER) SHALL BE REMOVED BEGINNING AT CLOSEST CONSTRUCTION JOINT OR AT PROPERTY LINE, WHICHEVER IS CLOSER.
6. ALL EXCAVATION ON SITE SHALL BE BACKFILLED AND COMPACTED ACCORDING TO PROJECT SPECIFICATIONS.
7. ALL EXISTING UNDERGROUND IMPROVEMENTS (STORM, SANITARY, ETC.) MAY NOT BE SHOWN. CONTRACTOR SHALL REPORT TO OWNER AND ENGINEER IMPROVEMENTS FOUND DURING CONSTRUCTION FOR EVALUATION.
8. NO WORK SHALL BE PERFORMED OUTSIDE THE DEMOLITION LIMITS.
9. THE CONTRACTOR SHALL CONTACT ALL UTILITY SERVICE PROVIDERS HAVING SERVICE TO THE SITE AND ADVISE TO THE SITE AND SCHEDULE, COORDINATE AND ASSIST THE TERMINATION, RELOCATION AND RECONNECTION OF ALL UTILITIES NECESSARY TO PERFORM THE WORK.

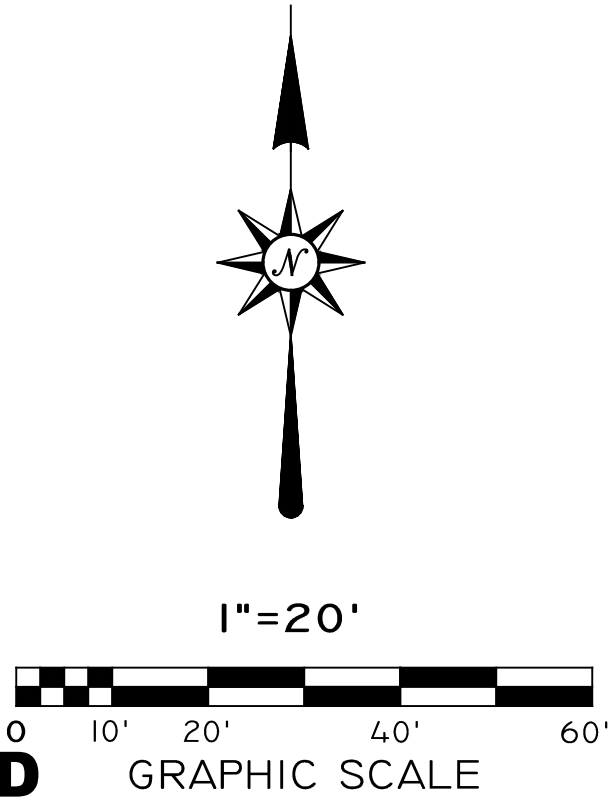
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Call before you dig.
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Or Call 800-282-7411



REFER TO TENANT IMPROVEMENT PLANS FOR DETAILS AND LOCATIONS OF OVERHEAD CLEARANCE BAR, MENU BOARD, ORDER STATION, DIRECTION SIGNS, AND TENANT GRAPHICS.



LAYOUT LEGEND

- (A) SIDEWALK / DELIVERY RAMP REQ'D. SEE DETAIL.
- (B) 6" STAND-UP CURB REQUIRED. SEE DETAIL.
- (C) CONCRETE PAVING "DYED BLACK" REQUIRED. SEE DETAIL.
- (D) PROPOSED LOCATION FOR RE-LOCATED SITE LIGHT POLE. REFER TO ELECTRICAL PLANS FOR POWER WIRING AND CONDUIT ROUTING.
- (E) LANDSCAPE ISLAND
- (F) EXISTING DOWNSPOUT. THE CONTRACTOR SHALL PENETRATE THE EXISTING CURB SO THE DOWNSPOUT WILL SPLASH ON GRADE FLUSH WITH THE DRIVE THRU LANE.
- (G) 4" WIDE PAINTED WHITE PARKING LOT STRIPING REQUIRED - TYPICAL.
- (H) HANDICAPPED SIGN, SYMBOL AND ACCESS AISLE REQUIRED. SEE DETAIL. ADA PARKING AND ACCESSIBLE AISLE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- (I) CROSSWALK REQUIRED. SEE DETAIL.
- (J) SEAL COAT. EXISTING PARKING LOT. THE CONTRACTOR SHALL INSTALL ALL NECESSARY CRACK FILLING AND SEALING PER ALDOT SPECIFICATIONS PRIOR TO INSTALLATION OF THE SEAL COATING.
- (K) 6" WIDE PAINTED YELLOW "CHEVRON" STRIPING REQUIRED.
- (L) PROPOSED LOCATION FOR NEW GREASE TRAP. SEE DETAIL.
- (M) 4" PVC C-900 SANITARY SEWER SERVICE LINE @ 2.0% MIN SLOPE
- (N) SANITARY SEWER CLEAN-OUT REQUIRED. SEE DETAIL.
- (O) REPLACE ASPHALT AND CONCRETE PAVEMENT "IN LIKE KIND" FULL DEPTH STONE BACKFILL REQUIRED. LEVEL AS NECESSARY TO ASSURE POSITIVE DRAINAGE.
- (P) COVERED AND CURBED DUMPSTER ENCLOSURE REQUIRED REFER TO ARCHITECTURAL PLANS FOR DETAILS
- (Q) MENU BOARD SEE TENANT PLAN FOR DETAILS
- (R) 2' WIDE STOP BAR, DOUBLE YELLOW CENTER STRIPE AND R1-1 STOP SIGN REQUIRED. SEE DETAILS



- GENERAL NOTES:
- THE EXISTING CONDITIONS, BOUNDARY, AND TOPOGRAPHICAL INFORMATION SHOWN ON THIS PLANS ARE PER A SURVEY COMPLETE AND PROVIDED BY RAY AND GILLILAND, P.C. DATED MARCH 21, 2023.
 - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL DEVICES TO CONTROL THE MOVEMENT OF TRAFFIC AS REQUIRED BY THE LATEST EDITION OF THE MUTCD.
 - IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
 - THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR THE METHODS AND/OR PROCEDURES OF CONSTRUCTION PERFORMED.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
 - ALL PROPERTY CORNERS AND BENCHMARKS SHALL BE PROTECTED BY THE CONTRACTOR DURING CONSTRUCTION. IF DESTROYED THE CONTRACTOR SHALL REPLACE AT THEIR EXPENSE.
 - CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED WITHIN THE WORK AREA, THE AREA IMMEDIATELY ADJACENT TO THE WORK AREA, AND THE ADJOINING RIGHT-OF-WAY PRIOR TO STARTING CONSTRUCTION. ANY CONFLICTS OBSERVED SHALL BE REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
 - ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - ADA SYMBOLS, SIGNS, AND RAMPS SHALL BE INSTALLED PER ADA, LOCAL, STATE, AND FEDERAL REQUIREMENTS. THE MAXIMUM SLOPE IN ADA AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION.
 - THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS AND APPROVALS FROM AUTHORITIES AND REGULATORY AGENCIES HAVING JURISDICTION OVER THE SITE AND THE ADJACENT RIGHT-OF-WAYS, AS REQUIRED, PRIOR TO BEGINNING WORK.
 - THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR OBSERVING AND COMPLYING WITH ALL LAWS, REGULATIONS, ORDINANCES, COVENANTS, AND/OR CODES THAT IS APPLICABLE FOR THE CONTRACTOR TO PERFORM AND FINISH THEIR WORK.
 - THE SITE SHALL BE CLEANED OF ALL DEBRIS, TRASH, DIRT, VEGETATION, ETC AS REQUIRED PRIOR TO INSTALLATION OF THE ASPHALT SEALCOAT AND PAINT STRIPING.

- SITE LAYOUT NOTES:
- ALL RADIi SHALL BE 3' DIA. UNLESS NOTED ON PLAN.
 - TIE PROPOSED CURB, SIDEWALK, AND PAVEMENT TO EXISTING. MATCH GRADE AND ASSURE A SMOOTH TRANSITION WITH NO PONDING OF STORMWATER RUNOFF.
 - ALL DIMENSIONS ARE TO FACE OF BUILDING, EDGE OF SURFACING, OR FACE OF CURB.
 - PARKING STRIPING, PAVEMENT MARKINGS, AND DIRECTIONAL ARROWS SHALL BE WHITE. ADA STRIPING AND SYMBOL SHALL BE BLUE UNLESS LOCAL CODES REQUIRE OTHERWISE.
 - FOR EXACT LOCATION OF UTILITY CONNECTIONS, BOLLARD LOCATION, AND OTHER BUILDING RELATED ITEMS AND INFORMATION REFER TO ARCHITECTURAL PLANS.
 - ALL CONCRETE SIDEWALKS AND CURB & GUTTER SHALL BE 3,500 PSI UNLESS NOTED OTHERWISE.

MTTR
ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
3 RIVERCHASE RIDGE, HOOVER, AL 35244
TELEPHONE (205) 320-0114

SITE LAYOUT PLAN
GUTHRIES
1449 HIGHWAY 31
VESTAVIA HILLS, AL
H+HA
BIRMINGHAM, AL

PROJECT

ENGINEER

DATE

REVISIONS

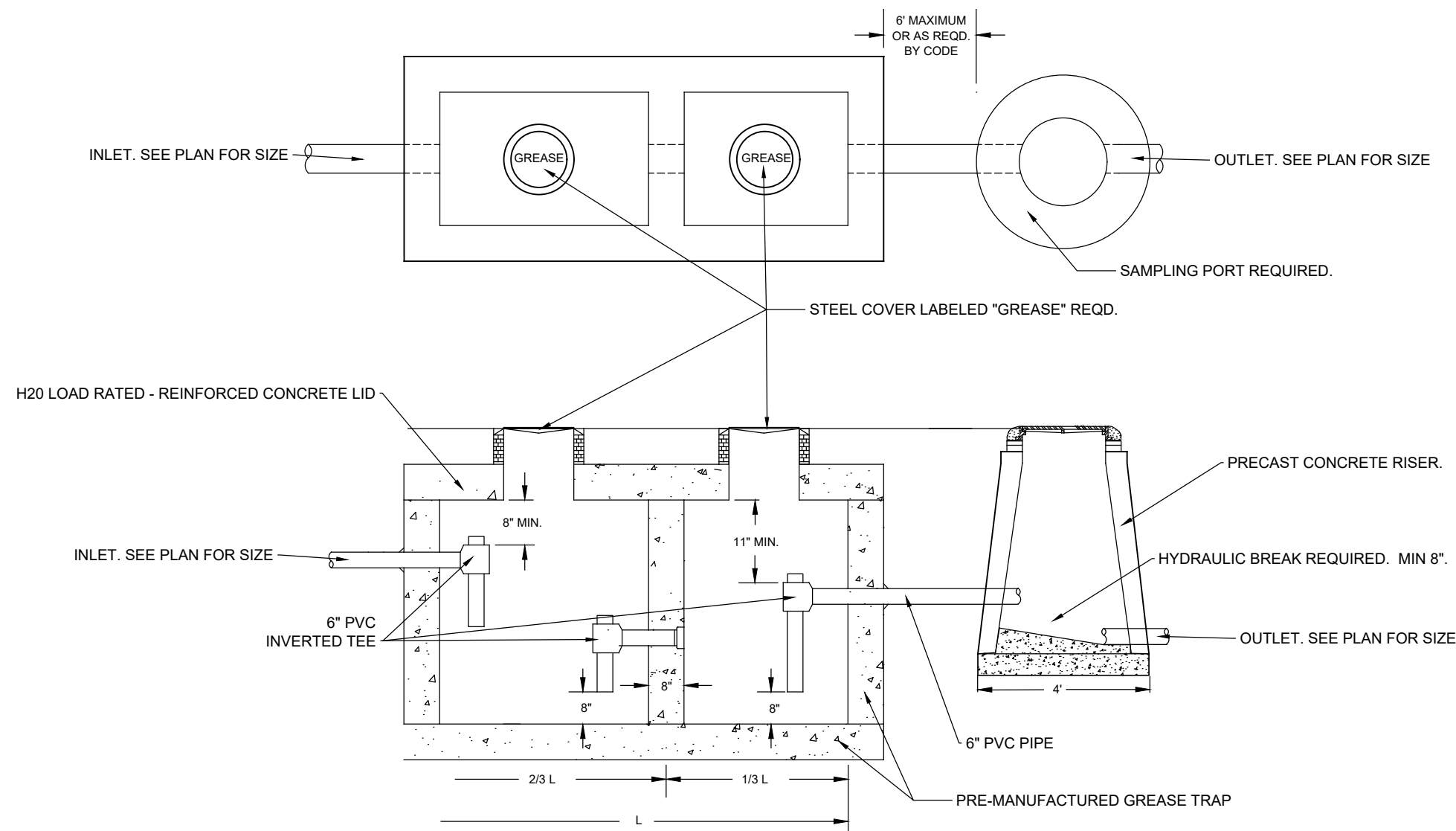
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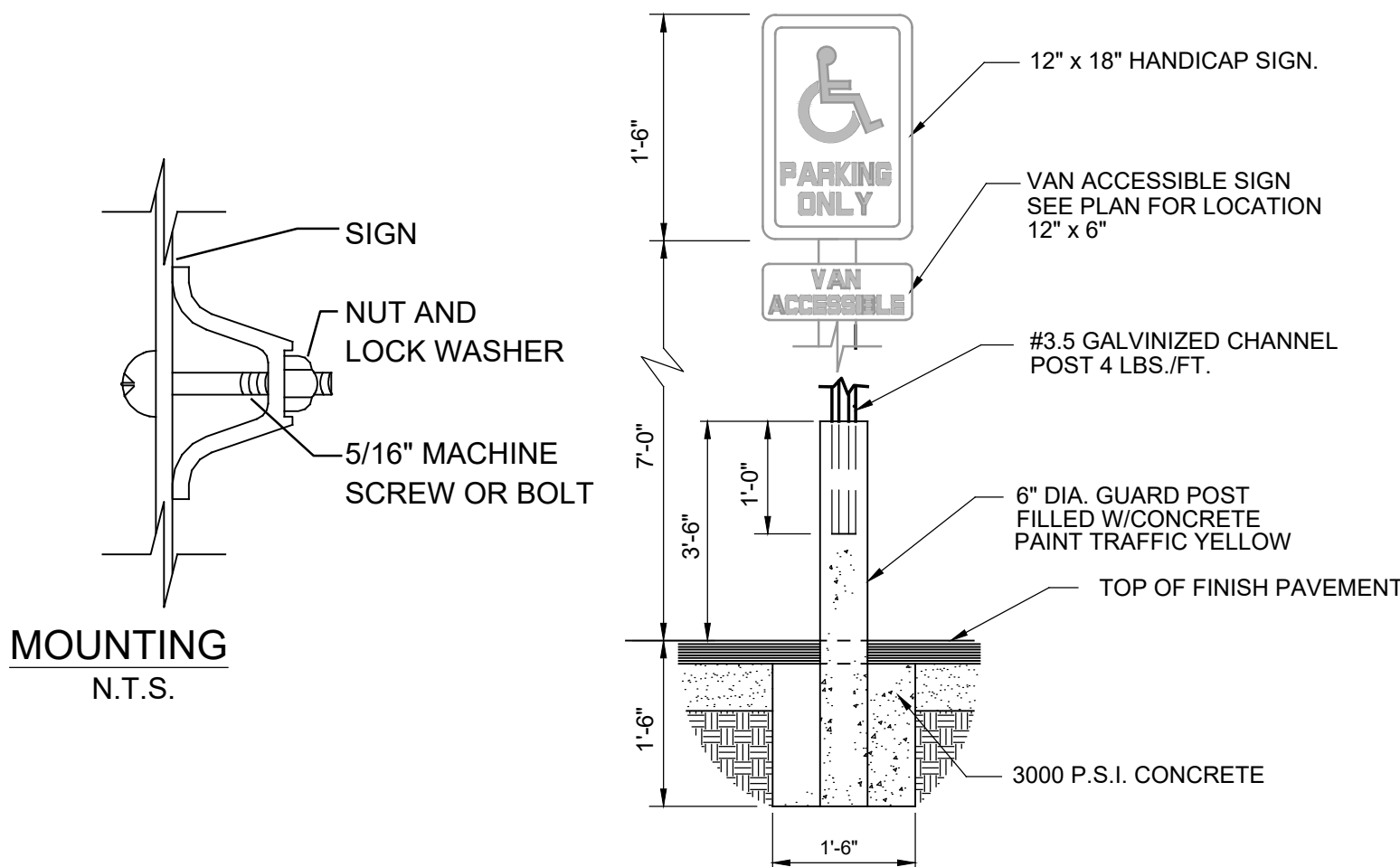


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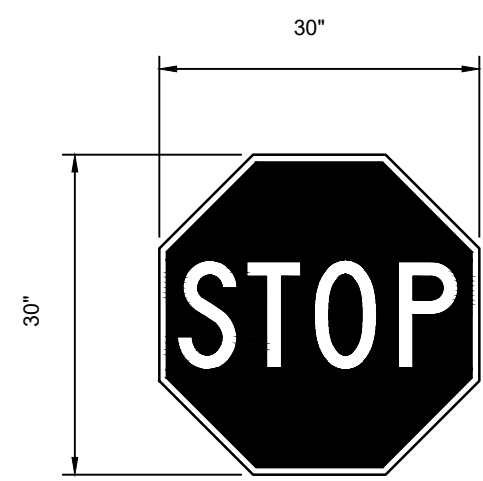


NOTES:
1. STRUCTURE SHALL HAVE A MINIMUM H-20 LOADING.
2. LIDS SHALL BE LABELED "GREASE" OR AS REQUIRED BY CODE.
3. SIZE AS REQUIRED BY HEALTH DEPARTMENT OR LOCAL AUTHORITY HAVING JURISDICTION. MINIMUM OF 1000 GALLONS.

GREASE TRAP DETAIL
N.T.S.

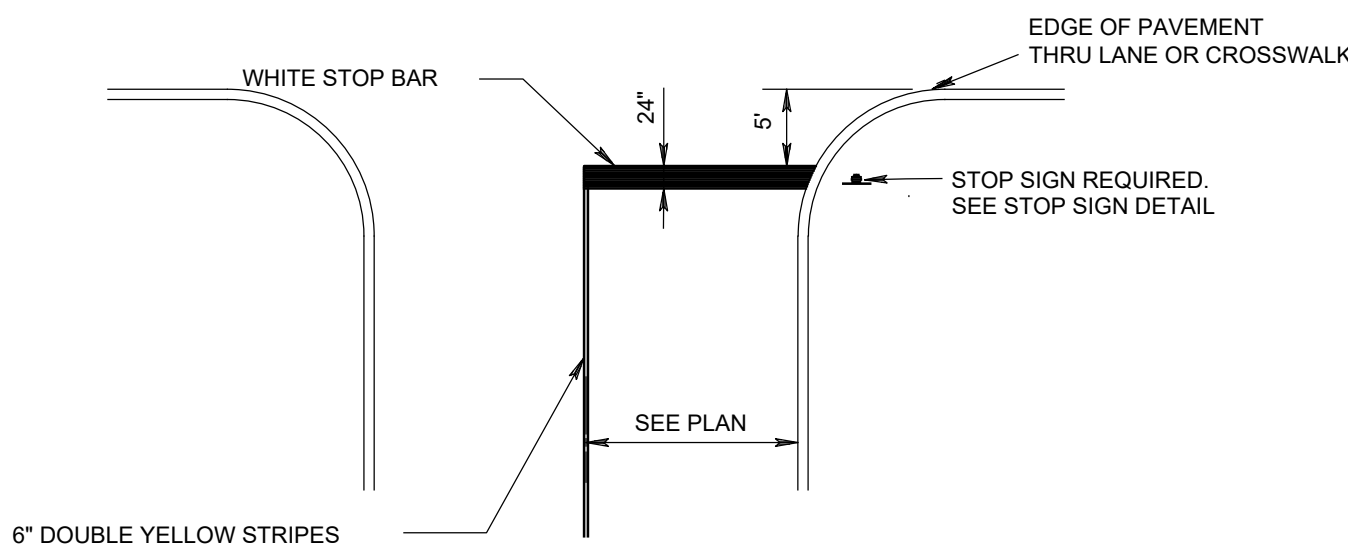


HANDICAPPED SIGN DETAIL
N.T.S.

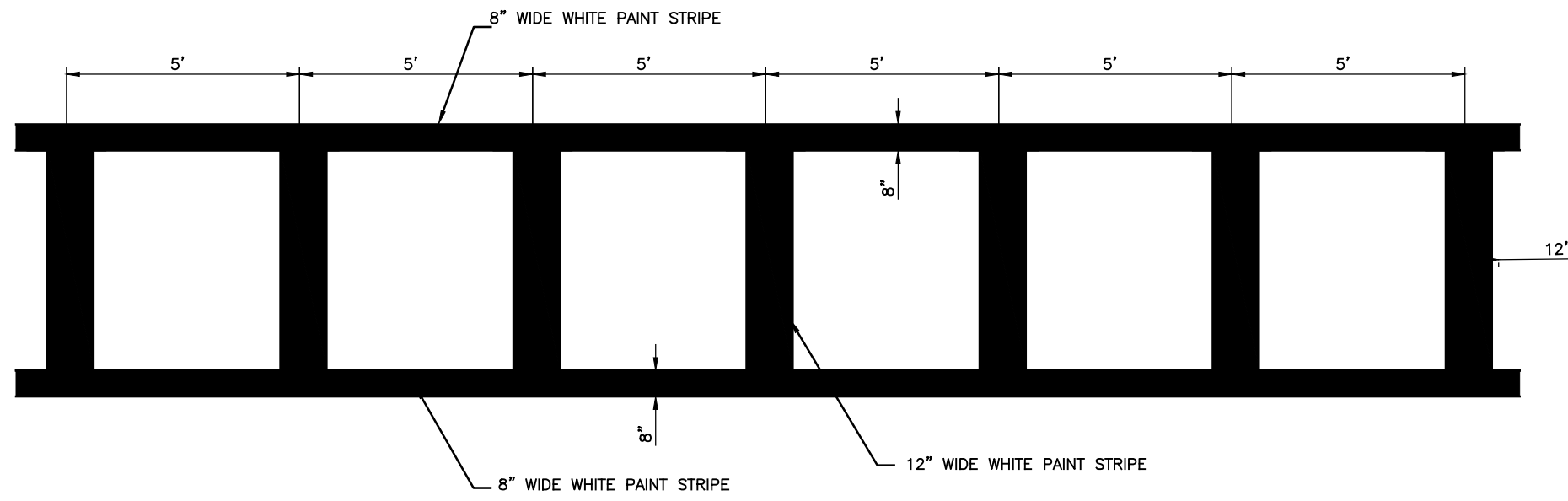


WHITE LEGEND RED BACKGROUND
R1-1

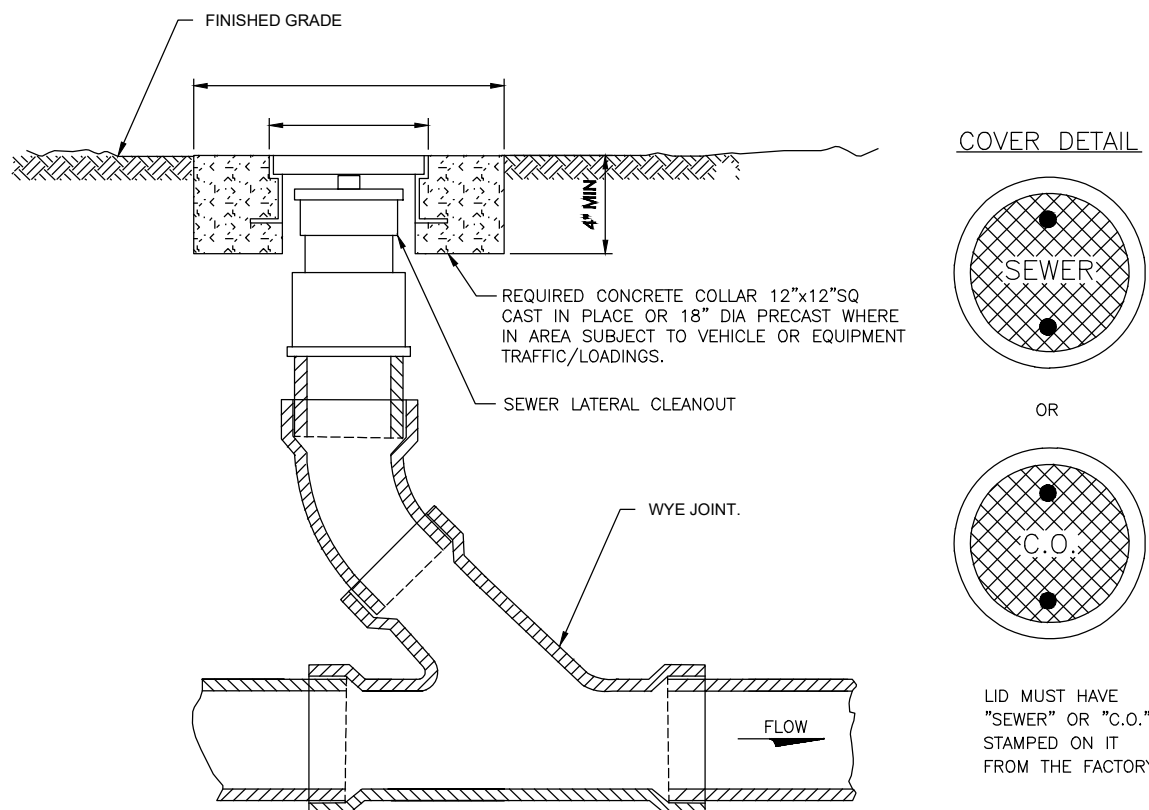
NOTE:
SIGN SHALL CONFORM TO MUTCD SPECIFICATIONS, LATEST EDITION.



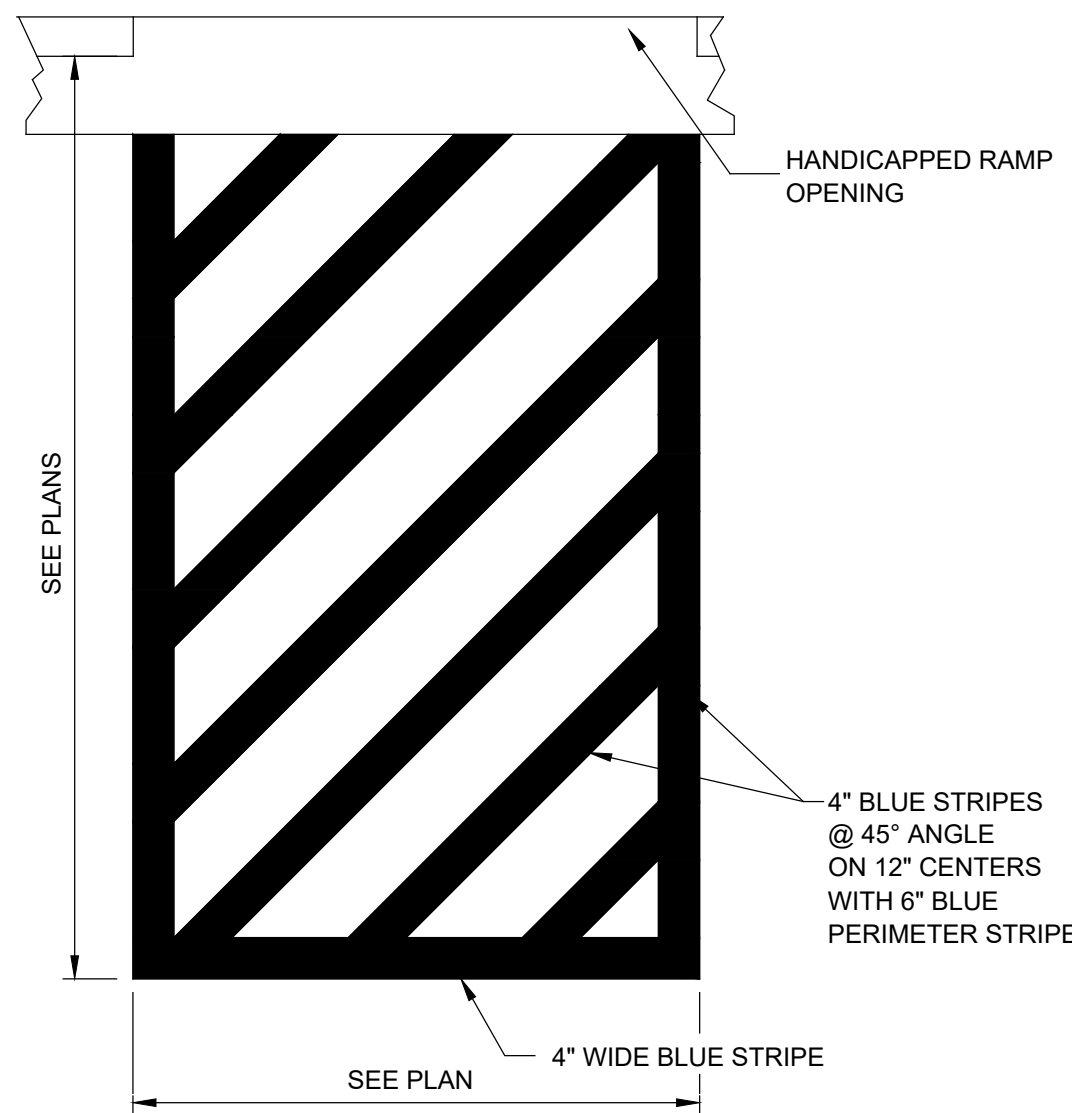
STOP BAR AND STOP SIGN DETAIL
N.T.S.



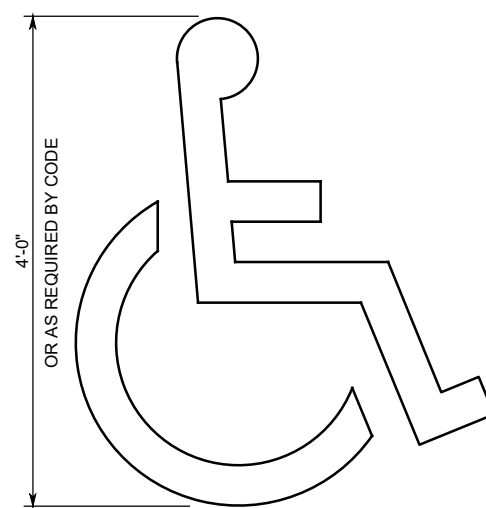
CROSSWALK DETAIL
N.T.S.



SANITARY SEWER CLEANOUT DETAIL
N.T.S.

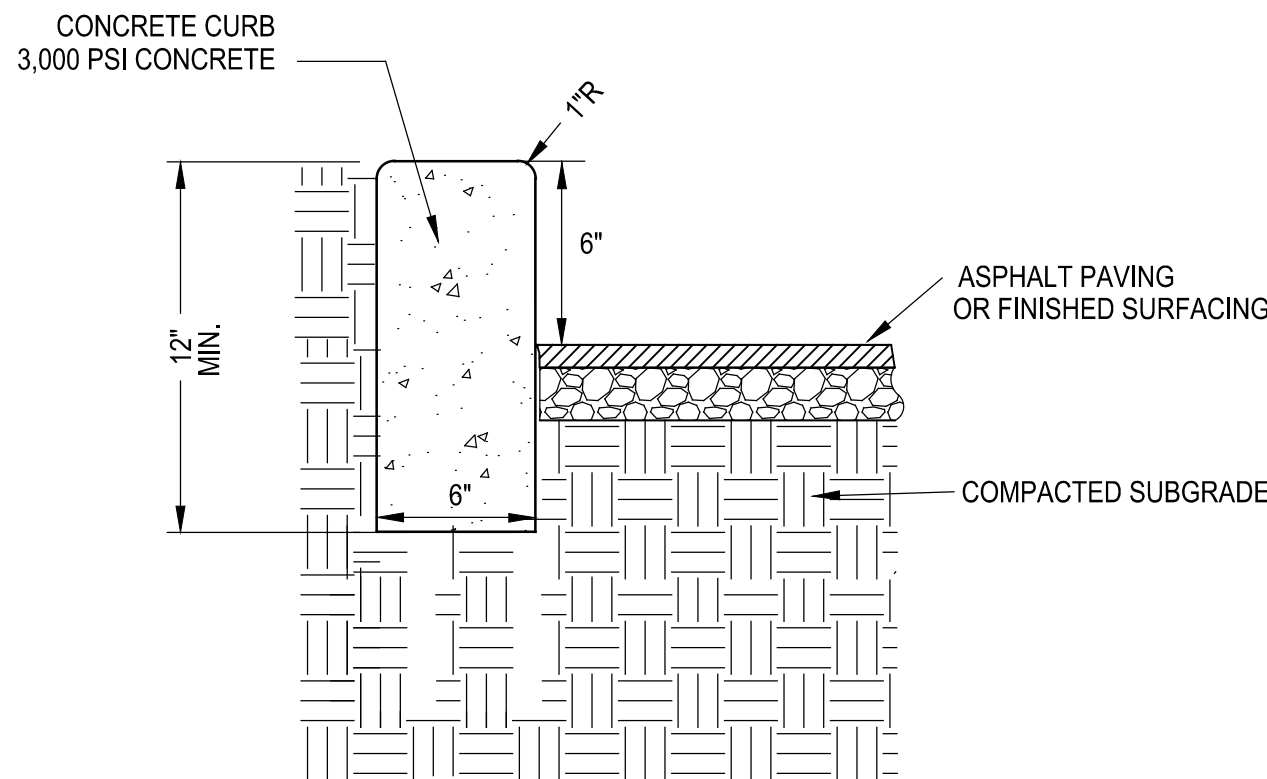


HANDICAPPED ACCESS AISLE DETAIL
N.T.S.

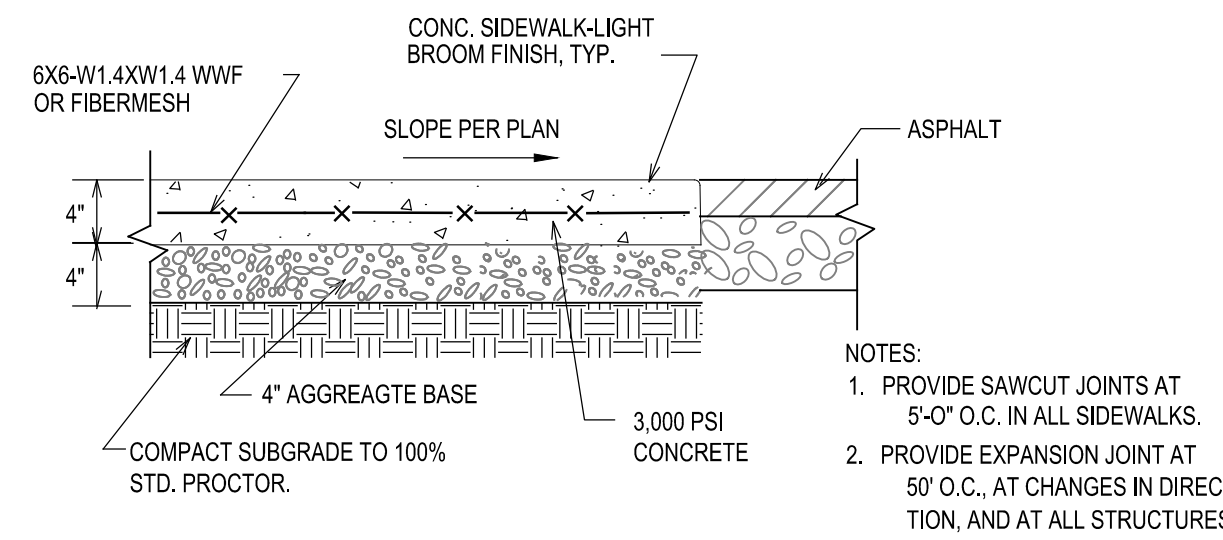


SYMBOL TO BE PAINTED (ADA) BLUE ON ALL HANDICAP PARKING SPACES

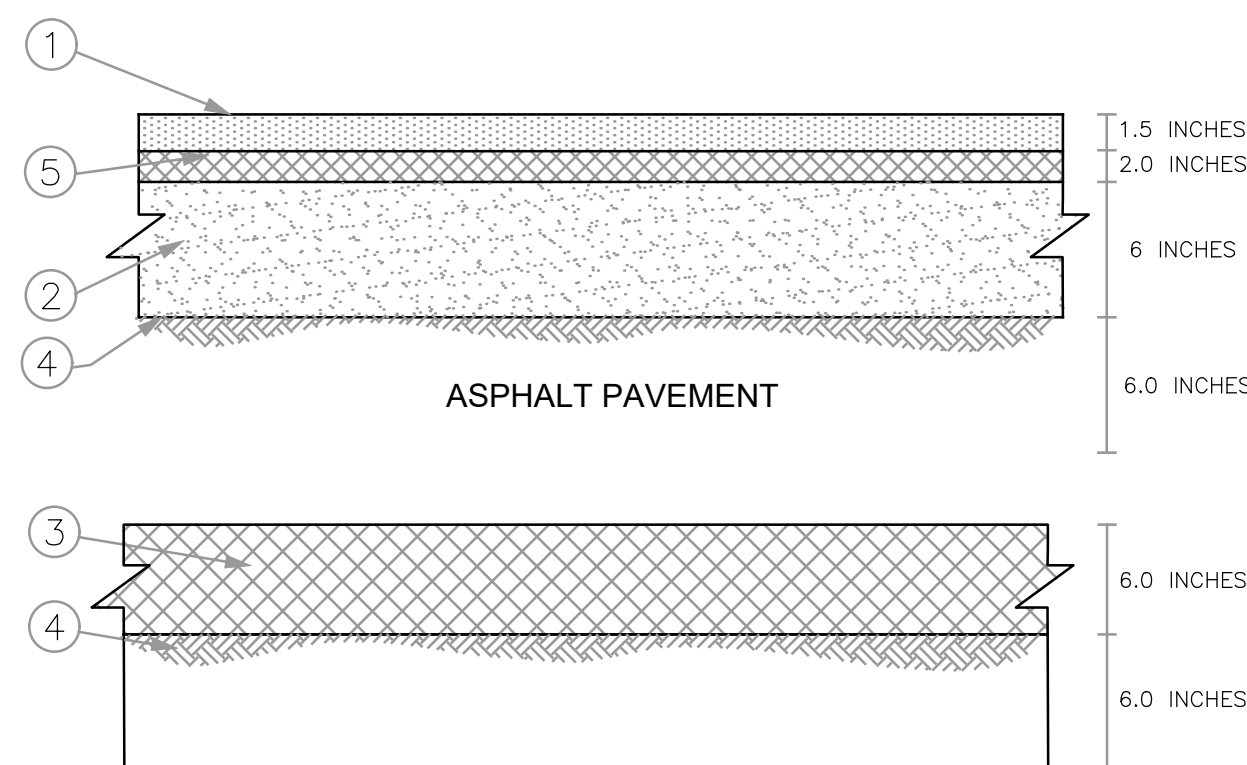
HANDICAPPED SYMBOL DETAIL
N.T.S.



6" STAND UP CURB DETAIL
N.T.S.



SIDEWALK DETAIL
N.T.S.



DUMPSTER AREA CONCRETE PAVEMENT

- 1 IMPROVED BITUMINOUS CONCRETE WEARING SURFACE, ALDOT 424 A, 1/2" MAX AGG. SIZE, ESAL RANGE A INSTALL AT 220 LBS / SQUARE YARD
- 2 CRUSHED AGGREGATE BASE; SEC 825, TYPE B; PER ALDOT STD. SPEC. COMPACTED TO 100% STANDARD DENSITY WITHIN ±2% OF OPTIMAL MOISTURE CONTENT AS DETERMINED BY ASTM D-1557 METHOD D.
- 3 PORTLAND CEMENT CONCRETE PAVEMENT (4,000 PSI); SEC 450; PER ALDOT STD. SPEC. MIN 28 DAY COMPRESSIVE STRENGTH 4,000 PSI WITH A MODULUS RUPTURE OF 630 PSI
- 4 6" COMPACTED SUBGRADE TO 100% STANDARD DENSITY
- 5 IMPROVED BITUMINOUS CONCRETE UPPER BINDER LAYER, ALDOT 424-B, 3/4" MAX. AGGREGATE SIZE MIX, ESAL RANGE B

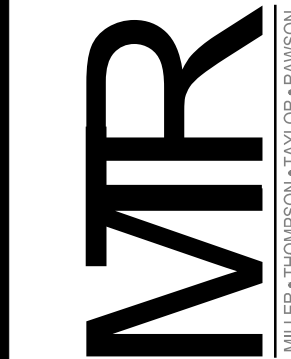
NOTE:
ALL PAVEMENT ITEMS SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH LATEST EDITION OF THE ALABAMA STATE HIGHWAY SPECIFICATIONS.

PAVING SECTIONS
N.T.S.

SECTIONS AND DETAILS

GUTHRIES
1449 HIGHWAY 31
VESTAVIA HILLS, AL

H+HA
BIRMINGHAM, AL



MTTR
ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
3 RIVERCHASE RIDGE, HOOVER, AL 35244
TELEPHONE (205) 320-0114

PROJECT

ENGINEER

REVISIONS

DATE

JOB NO:

FILE NAME:

DATE:

DATE

DRAWN:

T.T.

CHECKED:

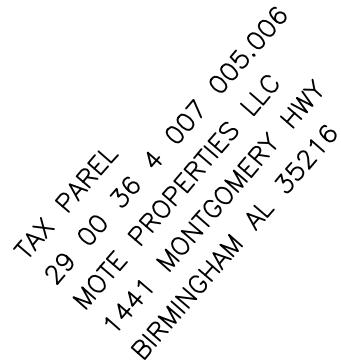
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SCALE:

1"=?

SHEET

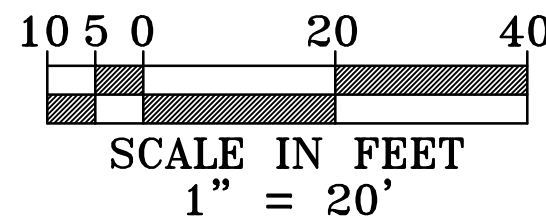
C3



23775 Sq. Feet
0.54 Acres



QTY.	COMMON NAME	BOTANICAL NAME	SIZE	
2	GRAPE MYRTLE "SIOUX"	LAGERSTROEMIA INDICA 'SIOUX'	6'-8' 2-3 TRUNKS	
12	"BRASS BUCKLE" HOLLY	ILEX CRENATA 'BRASS BUCKLE	#3 CONTAINER	15" SPREAD
15	CARISSA HOLLY	ILEX CORNUTA CARISSA	#3 CONTAINER	15" SPREAD
24	CLEYERA	TERNSTROEMIA GYMNANTHERA	CONTAINER	3'
13	DWARF INDIAN HAWTHORN	RAPHIOLEPIS INDICA 'SAW'	#3 CONTAINER	15" SPREAD
11	INKBERRY	ILEX GLABRA 'SHAMROCK	#3 CONTAINER	15" SPREAD
1	OAKLEAF HOLLY	ILEX X 'OAKLEAF'	5' HEAVY	4B B
27	PARSON JUNIPER	JUNIPERUS DAURICA EXPANSA 'PARSON'	#3 CONTAINER	24" SPREAD

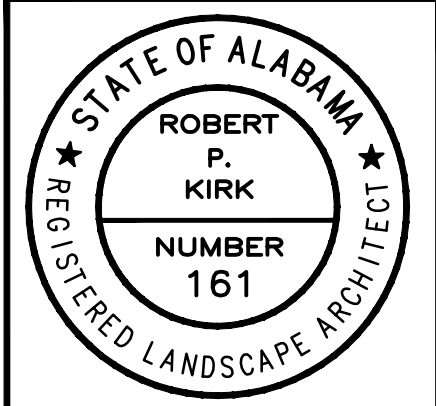
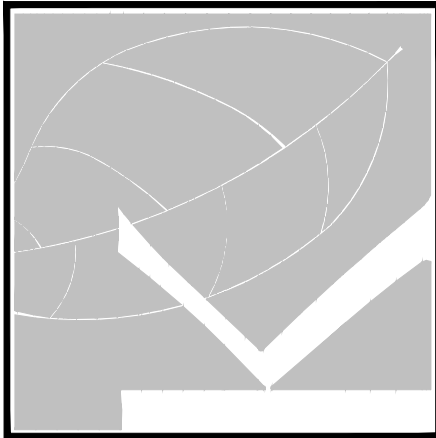


LANDSCAPE PLAN

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GUTHRIE'S
1449 HIGHWAY 31
VESTAVIA HILLS, ALABAMA
FOR
H + HA
BIRMINGHAM, ALABAMA

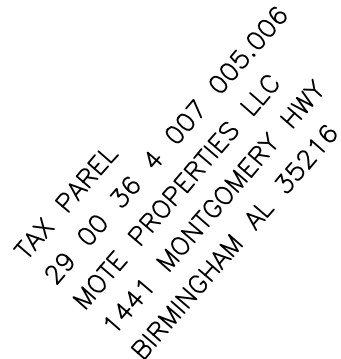
Robert P. Kirk & Associates, P.C.
Landscape Architecture - Site Planning
& Golf Course Design
2155 Old Rocky Ridge Road
Birmingham, Alabama 35216
205/988/4720



SHEET
L1-R0

SEQUENCE
OF

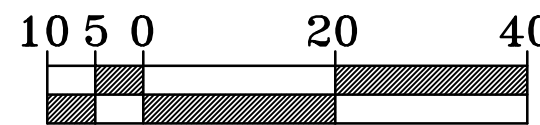
PROJECT: 23-116



23775 Sq. Feet
0.54 Acres



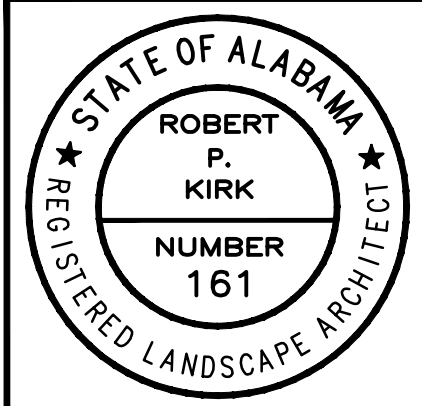
QTY.	COMMON NAME	BOTANICAL NAME	SIZE
2	GRAPE MYRTLE "SIOUX"	LAGERSTROEMIA INDICA 'SIOUX'	6'-8' 2-3 TRUNKS
12	"BRASS BUCKLE" HOLLY	ILEX CRENATA 'BRASS BUCKLE	#3 CONTAINER 15" SPREAD
15	CARISSA HOLLY	ILEX CORNUTA CARISSA	#3 CONTAINER 15" SPREAD
24	CLEYERA	TERNSTROEMIA GYMNANTHERA	CONTAINER 3'
13	DWARF INDIAN HAWTHORN	RAPHIOLEPS INDICA 'SNOW'	#3 CONTAINER 15" SPREAD
11	INKBERRY	ILEX GLABRA 'SHAM-ROCK	#3 CONTAINER 15" SPREAD
1	OAKLEAF HOLLY	ILEX X 'OAKLEAF'	5' HEAVY 4#B
27	PARSON JUNIPER	JUNIPERUS DAURICA EXPANSA 'PARSONI'	#3 CONTAINER 24" SPREAD



SCALE IN FEET
1" = 20'

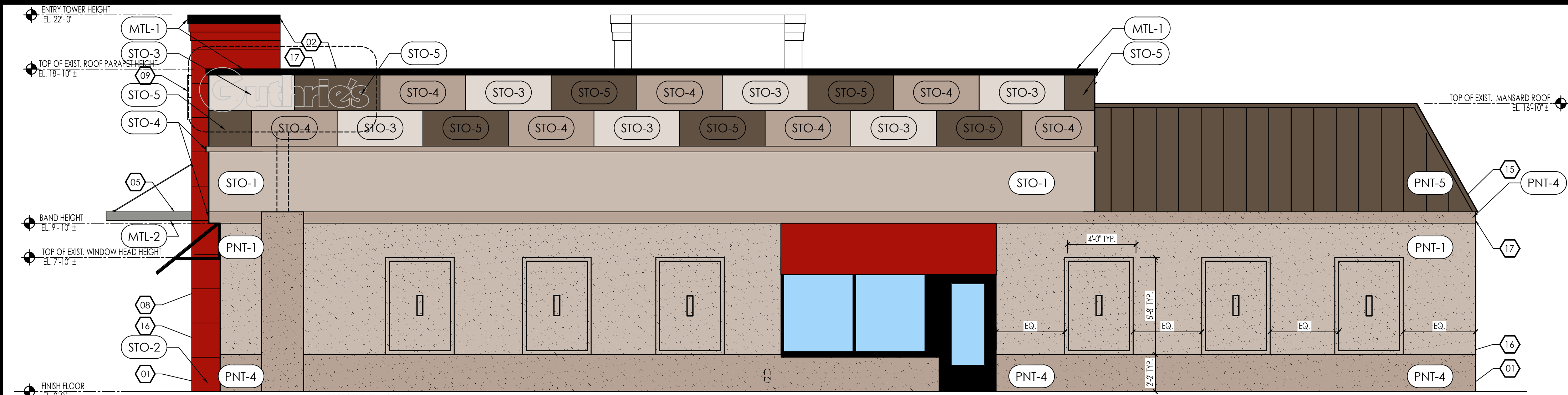
GUTHRIE'S
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FOR
H + HA
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**Landscape Architecture - Site Planning
& Golf Course Design**
2155 Old Rocky Ridge Road
Birmingham, Alabama 35216



SEQUENCE OF

PROJECT: 23-116



ELEVATION NOTES:

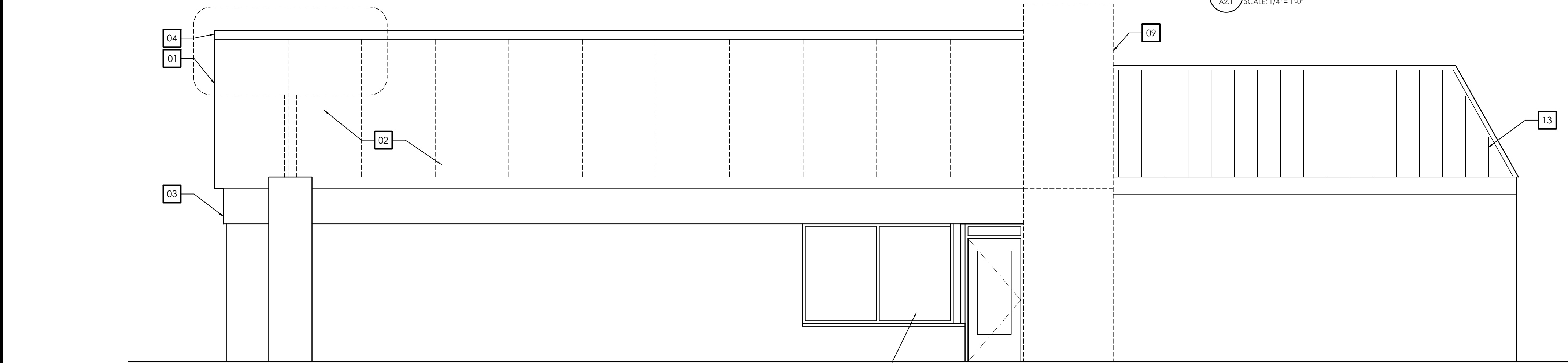
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2. CONTRACTOR TO PROVIDE COLOR SAMPLES FOR ALL EXTERIOR MATERIALS BEFORE INSTALLATION.
3. DOWNSPOUTS TO TIE TO HORIZONTAL DRAIN INSIDE SIDEWALK OR CURB.
4. INVESTIGATE EXISTING EXTERIOR ENVELOPE. PATCH, REPAIR AND REPAINT AS REQUIRED.

ELEVATION KEYNOTES:

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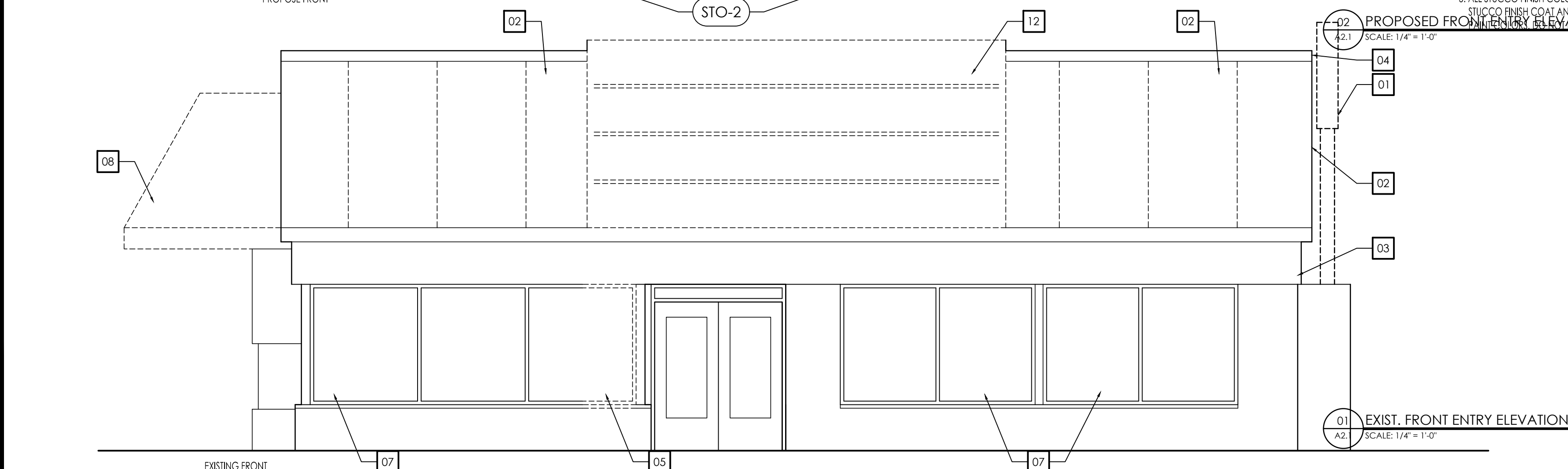


03 EXISTING SIDE ENTRY ELEVATION
A2.1 SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

CODE	DESCRIPTION
STO-1	BENJAMIN MOORE MOCHA CREAM CC458
STO-2	SHERWIN WILLIAMS 6868 REAL RED -101-C6
STO-3	SHERWIN WILLIAMS 7021 SIMPLY WHITE 260-C7
STO-4	SHERWIN WILLIAMS 6079 DIVERSE BIEGE 198-C2
STO-5	SHERWIN WILLIAMS 9084 COCA WHIP 198-C4
BRK -1	ACME BRICK -NORWOOD -HERITAGE TECTURE
MTL-1	DARK BRONZE COPING/FRAME/DOWNSPOUT
MTL-2	ANODIZED CANOPY

NOTE: GENERAL BRICK AND MASONRY NOTES:
1. GROUT COLOR FOR ALL MASONRY TO BE COOSA LITE FROM ACME BRICK
2. BRICK TO BE MODULAR SIZE
3. PAINT COLOR FOR SPLIT FACE CMU IS TO BE SHERWIN WILLIAMS SW7535
4. CONTRACTOR TO PROVIDE SUBMITTAL FOR ALL COLORS FOR APPROVAL PRIOR TO INSTALLATION. DO NOT INSTALL OR APPLY ANY COLORS WITHOUT OWNER AND ARCHITECT APPROVAL.
5. ALL STUCCO FINISH COLOR ARE TO BE INTEGRATED COLORS WITHIN THE STUCCO FINISH COAT AND ARE TO MATCH THE INDICATED SHERWIN WILLIAMS



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email info@hplusa.com
www.hplusa.com

A New Conversion for:
GUTHRIE'S
1449 Montgomery Hwy,
Vestavia Hills, AL 35216

RELEASES / DESCRIPTION / DATES

— / — / —

NOT FOR CONSTRUCTION
RELEASED FOR CONSTRUCTION

DATE
DRAWN MJ/RA
CHECKED JMH
APPROVED H+HA

PROJECT NUMBER
23029.01

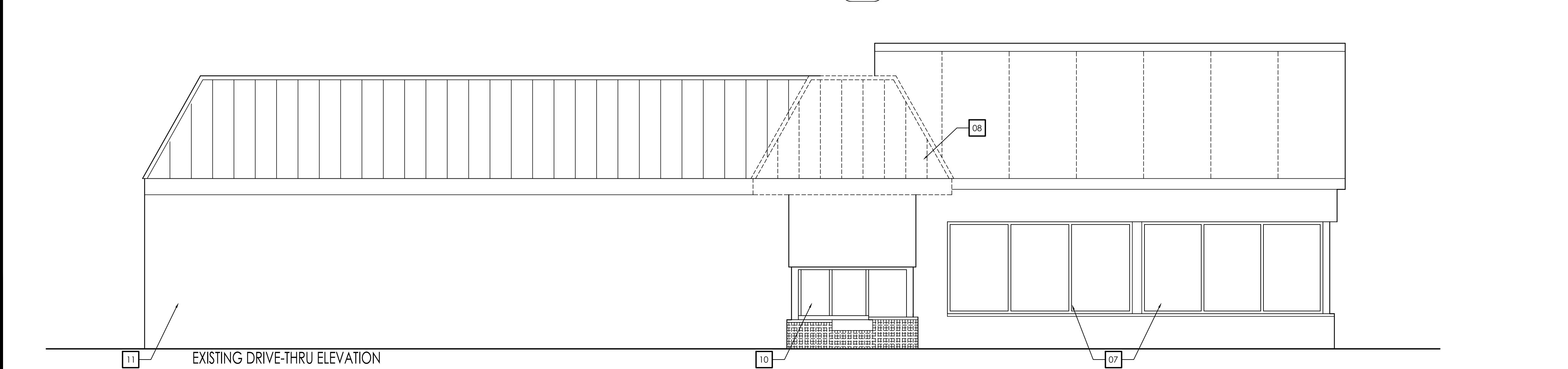
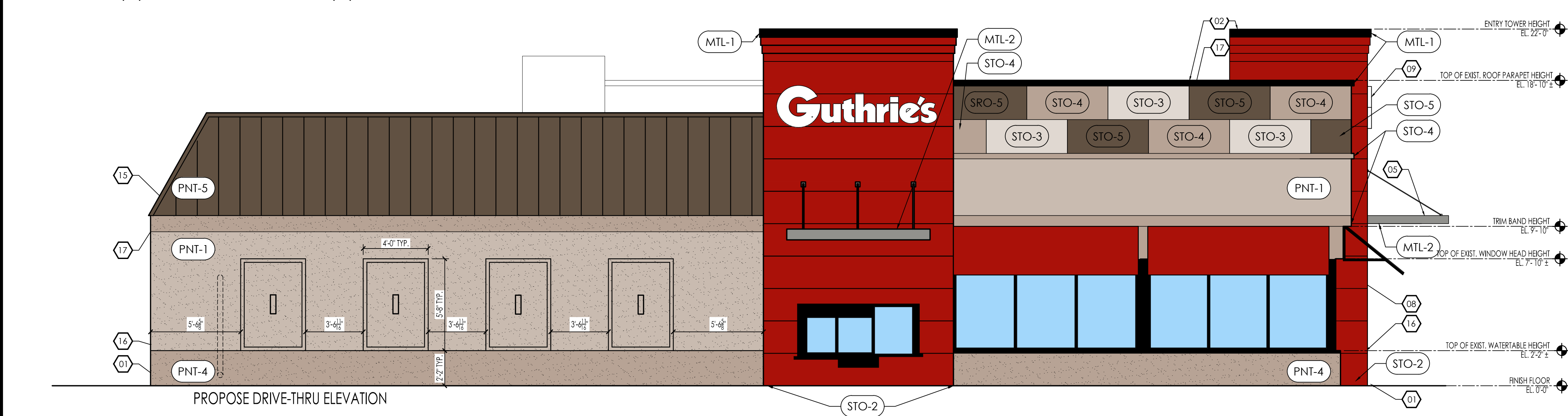
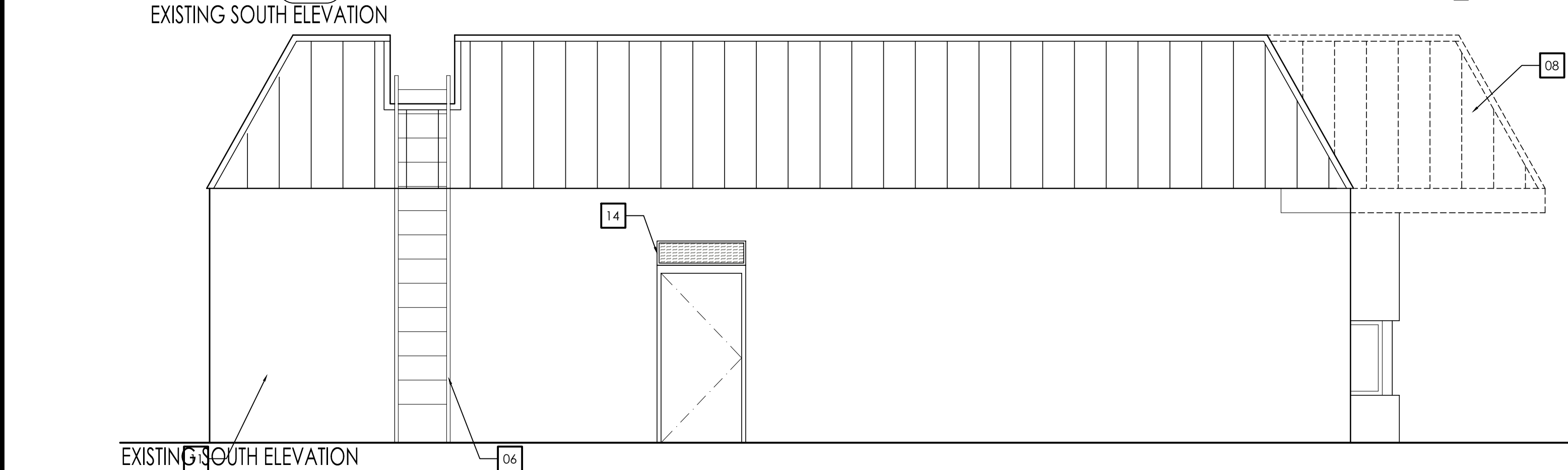
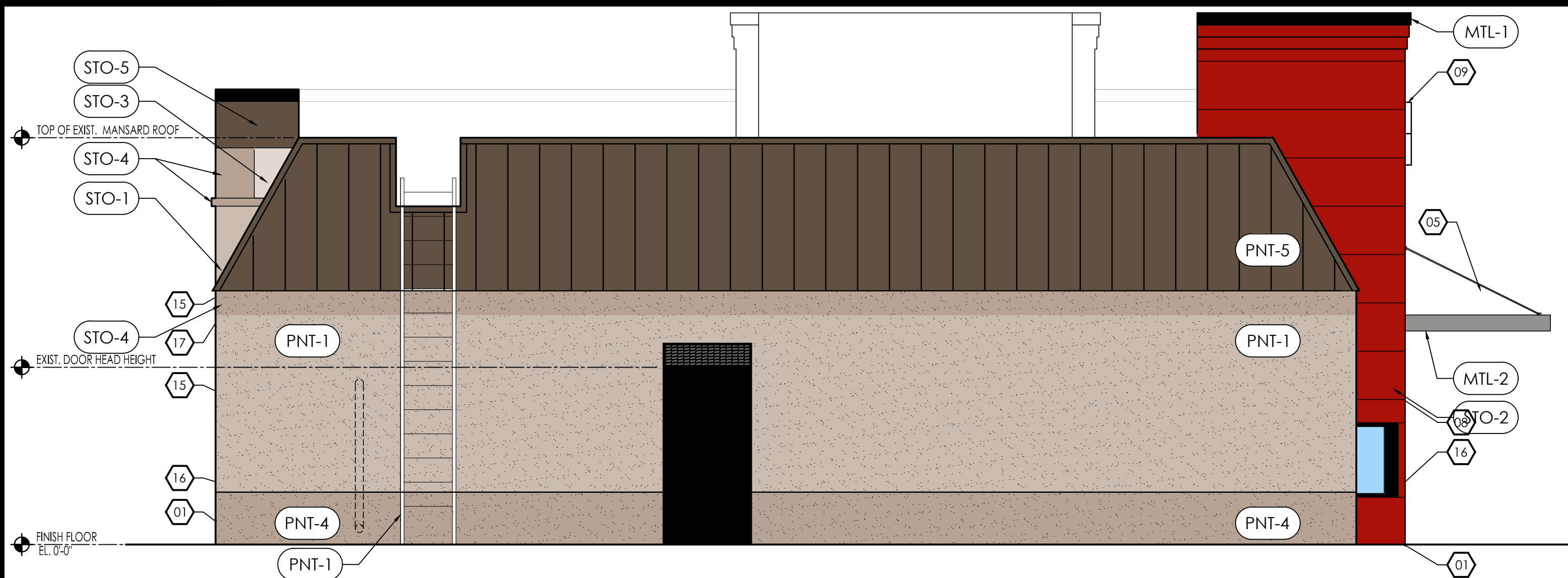
SHEET TITLE

EXTERIOR ELEVATION

DRAWING NO.

A2.1

AHJ SEAL



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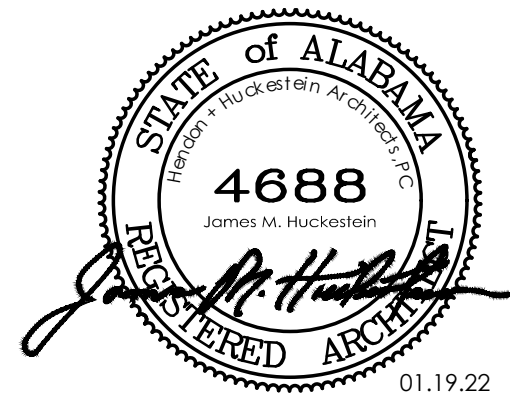
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Vestavia Hills, AL 35216

RELEASES / DESCRIPTION / DATES

DATE	____/____/____
DRAWN	MJ/RA
CHECKED	JMH
APPROVED	H+HA

NOT FOR CONSTRUCTION
RELEASED FOR CONSTRUCTION

PROJECT NUMBER
23029.01

SHEET TITLE

EXTERIOR ELEVATION

DRAWING NO.

A2.2

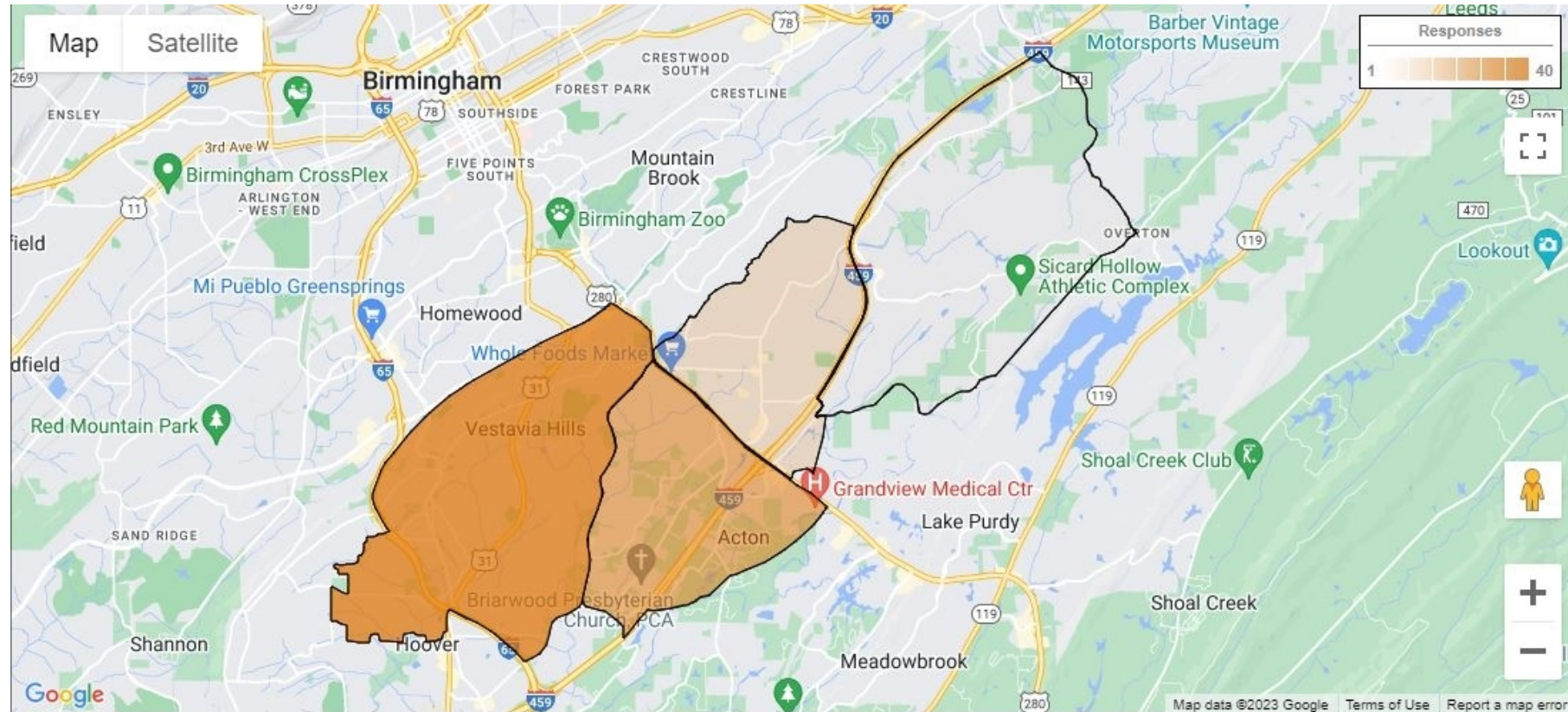
AHJ SEAL

Sidewalk Master Plan 2023



Community Input – Vestavia Hills Listens

80 Registered Respondents



35243
VESTAVIA HILLS

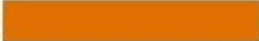
Community Input – Vestavia Hills Listens

248 Registered and Unregistered Respondents

248 responses

Summary Responses (248) Survey

In what area of Vestavia Hills do you reside?

		Response Percent	Response Count
Cahaba Heights (zoned for VH Elementary Cahaba Heights)		10.5%	26
Dolly Ridge/Rocky Ridge (zoned for VH Elementary Dolly Ridge)		38.7%	96
East (zoned for VH Elementary East)		16.1%	40
Liberty Park (zoned for VH Elementary Liberty Park)		0.8%	2
West (zoned for VH Elementary West)		33.9%	84



Community Input – Vestavia Hills Listens

248 Registered and Unregistered Respondents

List the top 3 streets (in order of importance) that you would like to be considered for sidewalks.

Answered : 248

Skipped : 0

▼ Hide Word Cloud

Rocky Ridge Road Tanglewood Dolly Drive Dr Rd from Cahaba Vestavia hill Shades Crest Columbiana Forest Lincoya place indian Graylynn Aspen Cove



VESTAVIA
HILLS

Community Input – Vestavia Hills Listens

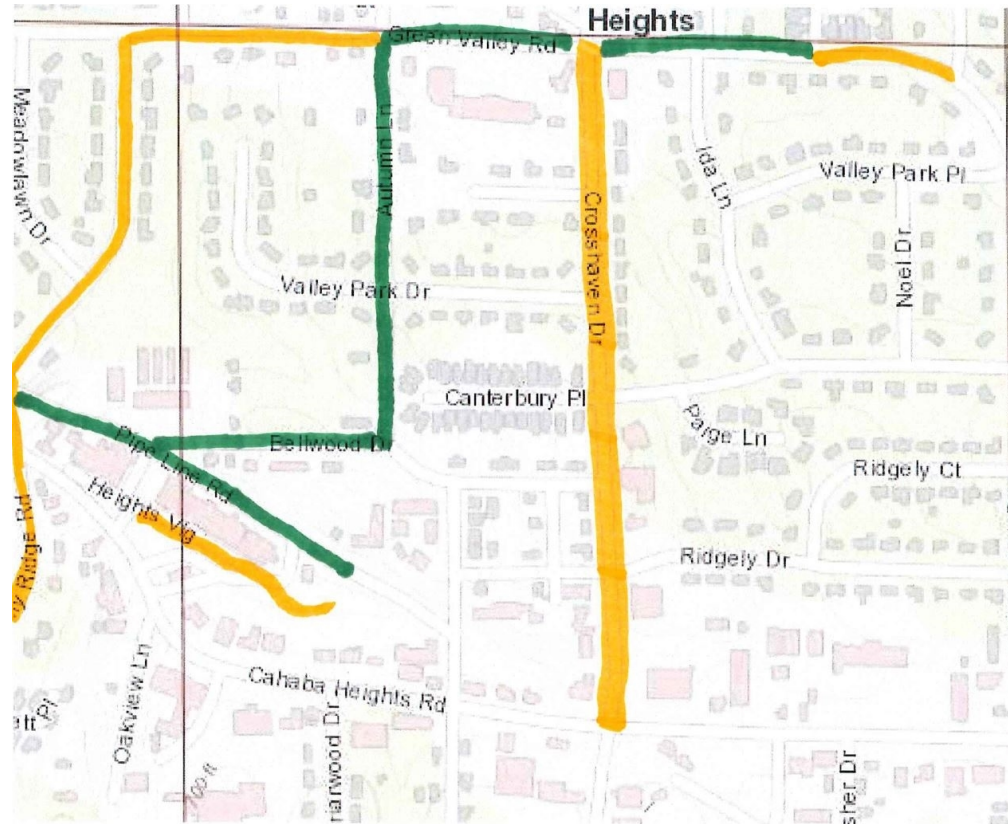
Respondents Most Willing to Contribute Financially to Sidewalks and Willing to Utilize Front Yard

Pipeline Rd
Autumn Lane
Cahaba Heights Rd
Green Valley
Shades Crest Rd
Rocky Ridge Rd
Hwy 31 - Wald/Dunkin
Shades Crest Rd
Beverly Hills Dr
Columbiana
Dolly Ridge Rd to VHEDR



VESTAVIA
HILLS

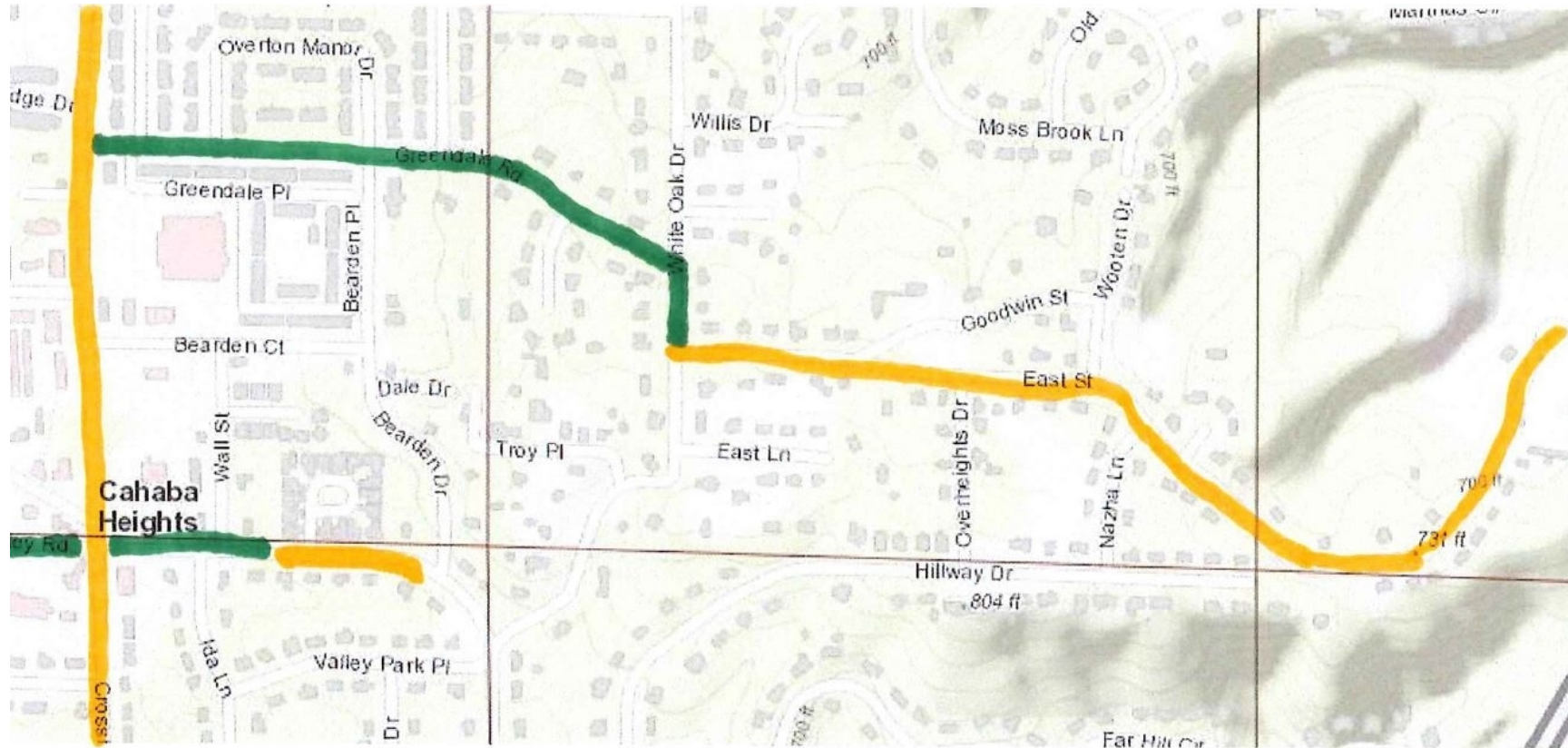
Cahaba Heights – Area One



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VESTAVIA
HILLS

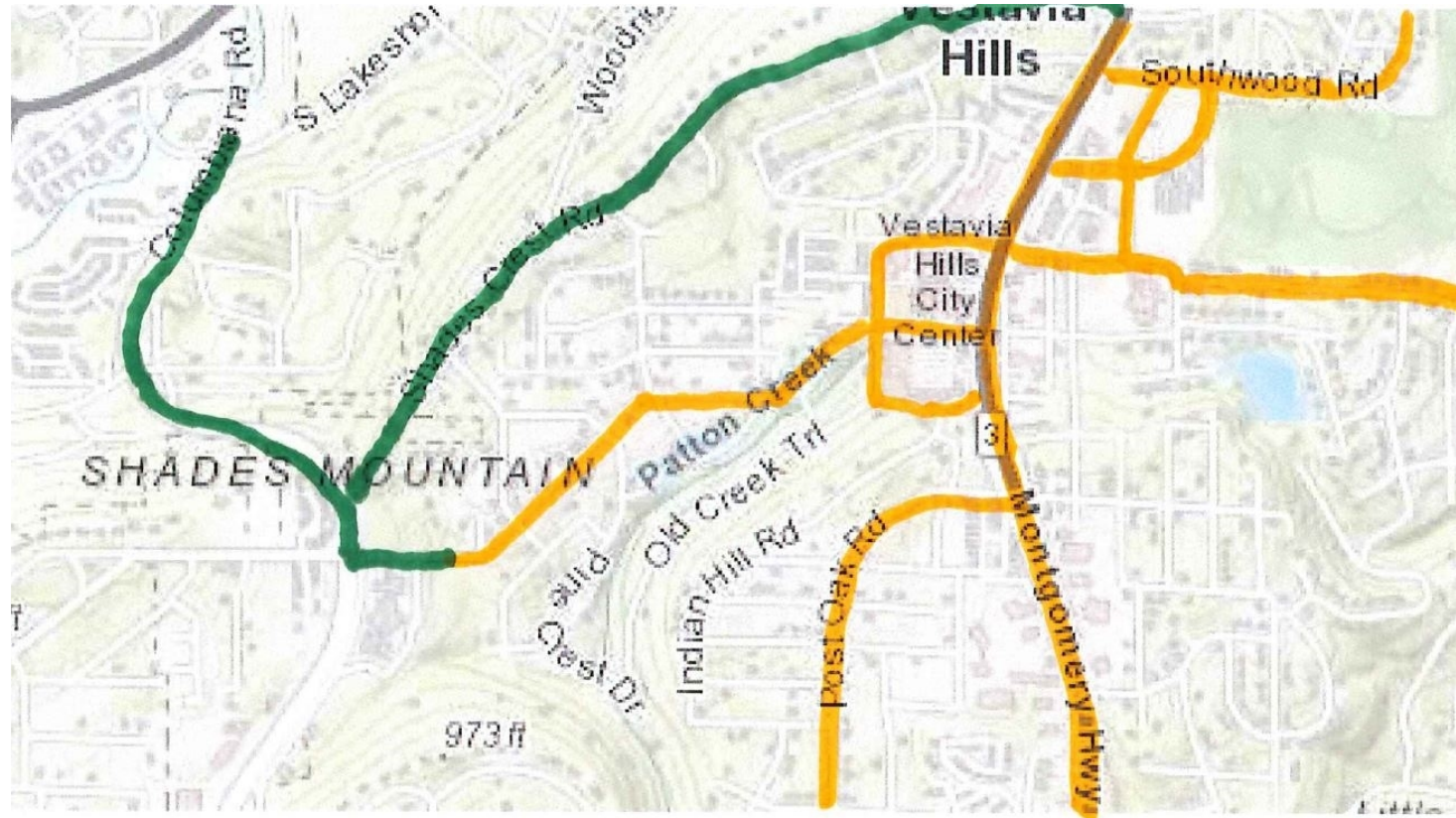
Cahaba Heights – Area Two



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VESTAVIA
HILLS

Shades Crest – Columbiana



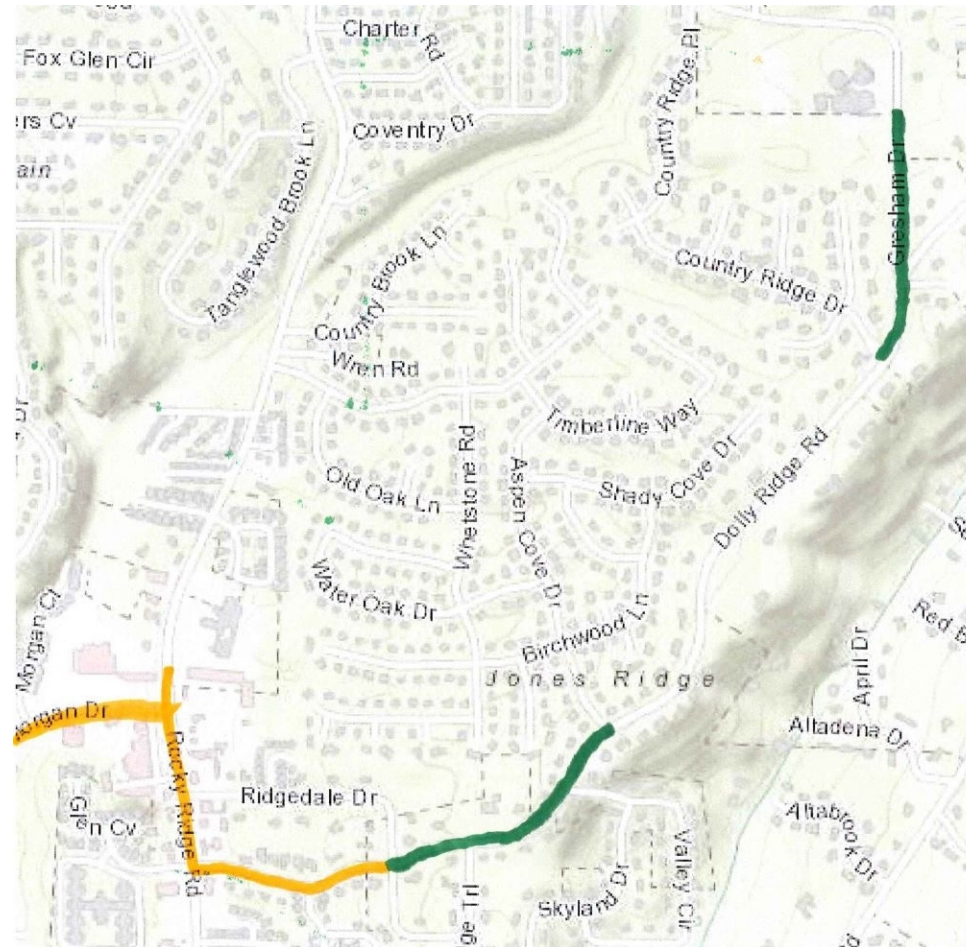
35243
VESTAVIA
HILLS

Columbiana to Pizitz



35243
VESTAVIA HILLS

Dolly Ridge Rd – Aspen Cove and VHEDR



35243
VESTAVIA
HILLS

Feasibility Study Variables

- Utility Conflicts
- Required Easements
- Property Owner Feedback
- Topography and Stormwater Impacts
- Construction Costs
- Multi-Jurisdictional Coordination

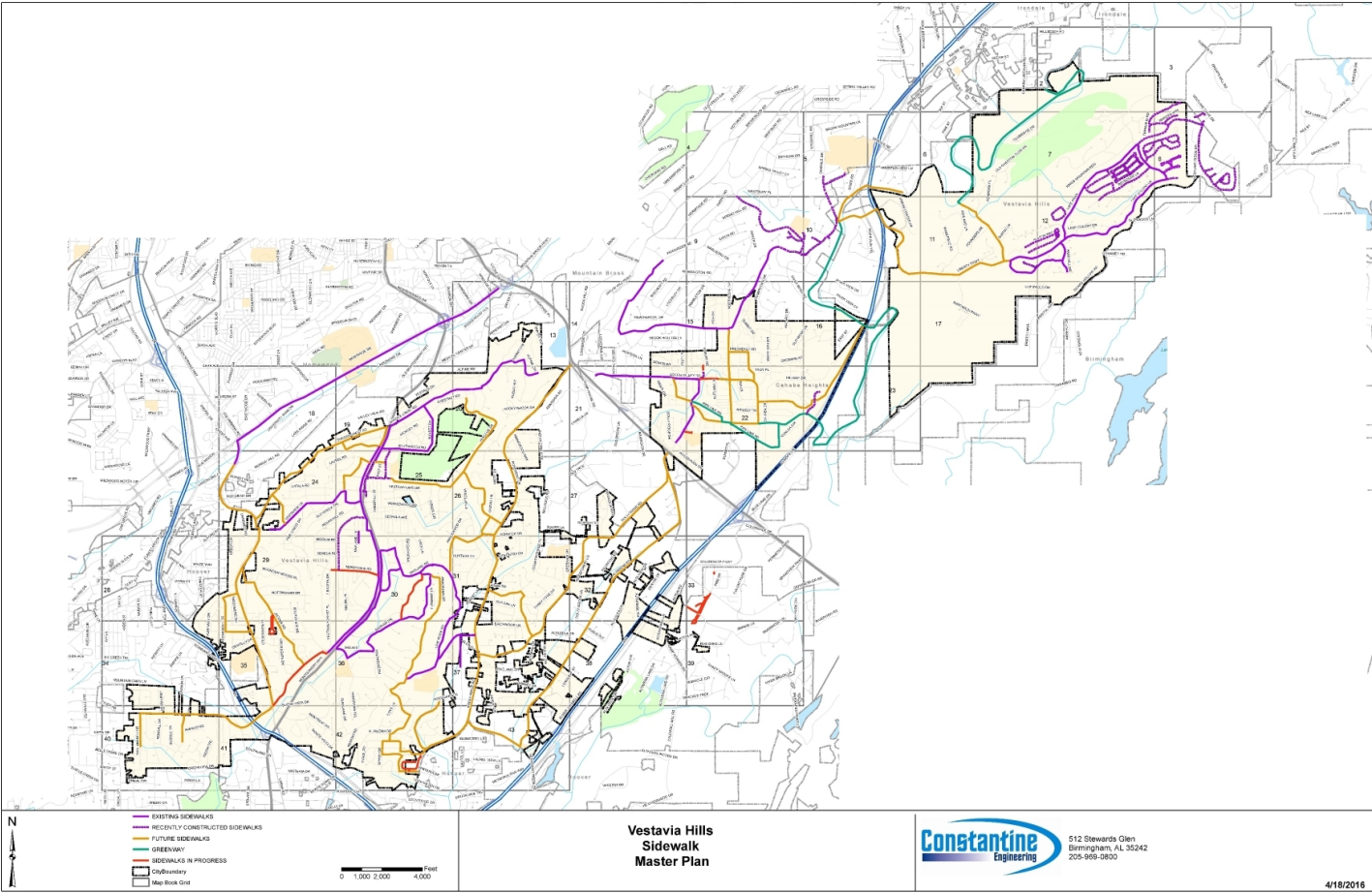


Preliminary Cost Estimates

Sidewalk Estimated Costs @ \$150 per LF		
Potential Projects	LF	Projected Costs
Columbiana Rd	3,400	\$ 510,000.00
Shades Crest and Columbiana	10,100	\$ 1,515,000.00
Dolly Ridge to Aspen Cove Dr	1,750	\$ 262,500.00
Dolly Ridge to VHEDR	1,590	\$ 238,500.00
Green Valley	1,300	\$ 195,000.00
Autumn Lane/Bellwood Dr	2,100	\$ 315,000.00
Pipeline Rd	1,400	\$ 210,000.00
Greendale to East St	2,800	\$ 420,000.00



Current Sidewalk Master Plan



VESTAVIA HILLS