



**Vestavia Hills  
Board of Zoning Adjustment Agenda  
February 20, 2025  
6:00 PM**

1. Roll Call
2. Approval Of Minutes: : January 23, 2025
3. BZA-24-29      **Brian Rooks** is requesting a **Rear Setback Variance** for the property located at **3923 Westminster Lane**. The purpose of this request is to reduce the rear setback to 10' in lieu of the required 20', to cover patio area in backyard. The property is owned by Keith Windle and is zoned **Vestavia Hills R-6**.
4. BZA-25-1      **Amanda Ware** is requesting a **Front Setback Variance & Variance For Location of Fence in the Front Setback** for the property located at **2324 Branchwater Lane**. The purpose of this request is to reduce the front setback to 44' in lieu of the required 60' & to re-build a privacy fence in the front setback. The property is owned by Tom Tate and is zoned **Vestavia Hills R-1**.
5. BZA-25-2      **Greg Burchell** is requesting a **Rear & Side Setback Variances** for the property located at **2711 Ossa Wintha Drive**. The purpose of this request is to reduce the rear setback to 7' in lieu of the required 15' & to reduce the side setback to 6' in lieu of the required 15', to rebuild and enlarge garage. The property is owned by Greg Burchell and is zoned **Vestavia Hills R-2**.
6. BZA-25-3      **Derrick Owens** is requesting a **Front Setback Variance** for the property located at **1824 Highfield Drive**. The purpose of this request is to reduce the front setback to 46' in lieu of the required 50, to add on to existing carport and close it in. The property is owned by James and Whitney Bosley and is zoned **Vestavia Hills R-3**.
7. Time Of Adjournment

**CITY OF VESTAVIA HILLS**  
**BOARD OF ZONING ADJUSTMENT**  
**MINUTES**

**January 23, 2025**

The Board of Zoning Adjustment of the City of Vestavia Hills met in regular session on this date at 6:00 PM. The roll was called with the following:

**MEMBERS PRESENT:**

Rick Rice, Chairman  
Stephen Greer  
Loring Jones  
Marty Martin, Alt  
Thomas Parchman  
Vinay Patel, Alt  
Tony Renta

**MEMBERS ABSENT**

**OTHER OFFICIALS PRESENT:** Jack Wakefield, Planner/GIS

**\*The hearing that was scheduled for January 16, 2025 did not have a quorum. The meeting was opened with only two members present (Parchman and Greer). A motion was made by Mr. Parchman and seconded by Mr. Greer to recess the hearing to January 23, 2025. \***

**\*On January 23, 2025 the meeting was reconvened. Mr. Renta made the motion to reconvene and seconded by Mr. Parchman. \***

**APPROVAL OF MINUTES**

The minutes of December 19, 2024 were presented for approval.

**MOTION** Motion to dispense with the reading of the minutes of December 19, 2024 was made by Mr. Jones and 2<sup>nd</sup> was by Mr. Greer. Motion as carried on a voice vote as follows:

|                    |                     |
|--------------------|---------------------|
| Mr. Greer – yes    | Mr. Patel – yes     |
| Mr. Jones – yes    | Mr. Renta – yes     |
| Mr. Martin – yes   | Chairman Rice – yes |
| Mr. Parchman – yes |                     |
| Motion carried.    |                     |

**VARIANCE FOR LOCATION OF FENCE**

**BZA-24-28**      **Amanda Chambers** is requesting a **Variance for Location of Fence in the Front Setback** for the property located at **1905 Seneca Road**. The purpose of this request is to build a privacy fence in the front setback. The property is owned by Amanda Chambers and is zoned **Vestavia Hills R-2**.

Mr. Wakefield explained that this is a request to build a privacy fence within the front setback.

Amanda Chambers, 1905 Seneca Road, was present for the case and stated that the hardship for the fence placement was that she lives on a corner lot. The fence is needed for safety on the side of the house where the lot meets to road.

Mr. Renta asked for clarification on the distance the fence will push out.

Ms. Chambers stated that it will be 54' from the roadway and about 6' off the rear lot line.

It was established that the fence would be 12' in front of the 50' building line on that side frontage.

The Board asked about a neighbor concern (written) of the maintenance of foliage that splits the two properties in the rear.

Mr. Wakefield stated that this is a civil issue and it would be helpful if the applicant worked with the rear neighbor on maintenance of bushes and trees. If no maintenance is done, and the foliage damaged the neighbor's property, the applicant could be on the hook.

Ms. Chambers stated that she would work to maintain that area and work with her neighbor.

Chairman Rice opened the floor for a public hearing. There being no one present in regard to the request; Chairman Rice closed the public hearing and opened the floor for a motion.

**MOTION**      Motion to APPROVE a Variance for Location of Fence in the Front Setback. Approval for fence 12' in front of 50' building line., for the property located at 1905 Seneca Road was made by Mr. Jones and 2nd was by Mr. Greer. Motion was carried on a roll call vote as follows:

|                    |                     |
|--------------------|---------------------|
| Mr. Greer – yes    | Mr. Patel – yes     |
| Mr. Jones – yes    | Mr. Renta – yes     |
| Mr. Martin – yes   | Chairman Rice – yes |
| Mr. Parchman – yes |                     |
| Motion carried.    |                     |

**FRONT SETBACK VARIANCE**

**BZA-24-30**      **Joseph Miller** is requesting a **Front Setback Variance** for the property located at **3536 Squire Lane**. The purpose of this request is to reduce the front setback to 22' in lieu of the required 60', to build a garage and living space addition. The property is owned by William and Alicia Gettys and is zoned **Vestavia Hills R-1**.

Mr. Wakefield explained that this is a request to build garage and living space addition.

Joey Miller was present for the case and stated the corner lot, along with the steep terrain on the lot, limits buildable area. There are major grade changes on a large portion of the lot, that makes building unfeasible.

Mr. Martin asked when the house was built.

Mr. Miller stated that it was built in 2018 in Jefferson County and then annexed into the City.

Mr. Martin asked if this is the original owner.

Mr. Miller said no, they bought this house.

Chairman Rice asked if the bay windows in the area where the structure would be attached to the house, would come down.

Mr. Miller stated that they will be taken down.

Chairman Rice opened the floor for a public hearing. There being no one present in regard to the request; Chairman Rice closed the public hearing and opened the floor for a motion.

**MOTION**      Motion to APPROVE a 38' Front Setback Variance to Reduce the Setback to 22' in Lieu of the Required 60', for the property located at 3536 Squire Lane was made by Mr. Jones and 2nd was by Mr. Greer. Motion was carried on a roll call vote as follows:

|                    |                     |
|--------------------|---------------------|
| Mr. Greer – yes    | Mr. Patel – yes     |
| Mr. Jones – yes    | Mr. Renta – yes     |
| Mr. Martin – yes   | Chairman Rice – yes |
| Mr. Parchman – yes |                     |
| Motion carried.    |                     |

**VARIANCE FOR LOCATION OF FENCE & SIDE & REAR SETBACK**

**BZA-24-31**      **Patrick Gilbert** is requesting a **Variance for Location of Fence in the Front Setback & Side Setback Variance** for the property located at **3768 Glass Drive**. The purpose of this request is to build a privacy fence in the front setback & to reduce the side setback to 2' in lieu of the required 10', to build an outdoor living space. The property is owned by Wedgworth Construction and is zoned **Vestavia Hills R-4**.

Mr. Wakefield explained that this is a request to build a outdoor living space near pool and a fence in the front setback to enclose the pool.

Patrick Gilbert was present for the case and stated that their hardship is an odd-shaped corner lot. He stated the plans shown has a storage space in the easement. That will not exist within the easement.

Mr. Martin asked if this is currently under construction and the timeline to complete.

Mr. Gilbert stated yes and that he hopes to complete it within 30 days.

Chairman Rice asked if this will be open air or enclosed.

Mr. Gilbert stated it will just be a roof structure and open air.

Chairman Rice clarified the side setback request and asked if it can be moved back into the lot.

Mr. Gilbert stated that it's possible.

Mr. Wakefield asked if the structure would be 10' from the house.

Mr. Gilbert stated it would not be 10' from house.

Mr. Wakefield stated that the Code requires 10' of space from accessory structure and house.

Mr. Wakefield asked if he kept the 2' on the side, would that give him the 10' required.

Mr. Gilbert stated that they could flip the structure to meet the 10'.

Chairman Rice opened the floor for a public hearing. There being no one present in regard to the request; Chairman Rice closed the public hearing and opened the floor for a motion.

**MOTION** Motion to APPROVE Variance for Location of Fence in the Front Setback. 8' Side Setback Variance to Reduce the Setback to 2' in Lieu of the Required 10'. 20' Rear Setback Variance to Reduce the Setback to 5' in Lieu of the Required 25'. Front Setback Variance was previously given in April 2021, for the property located at 3768 Glass Drive was made by Mr. Jones and 2nd was by Mr. Parchman. Motion was carried on a roll call vote as follows:

|                    |                     |
|--------------------|---------------------|
| Mr. Greer – yes    | Mr. Patel – yes     |
| Mr. Jones – yes    | Mr. Renta – yes     |
| Mr. Martin – yes   | Chairman Rice – yes |
| Mr. Parchman – yes |                     |
| Motion carried.    |                     |

At 6:46 PM, Mr. Jones made a motion to adjourn. The meeting adjourned at 6:46 PM.

Jack Wakefield, Planner/GIS



VESTAVIA HILLS

## **Board of Zoning Adjustment Planners Report**

### **MEETING DATE**

February 20, 2025

### **AGENDA ITEM**

BZA-24-29 **Brian Rooks** is requesting a **Rear Setback Variance** for the property located at **3923 Westminster Lane**. The purpose of this request is to reduce the rear setback to 10' in lieu of the required 20', to cover patio area in backyard. The property is owned by Keith Windle and is zoned **Vestavia Hills R-6**.

### **BACKGROUND**

10' Rear Setback Variance to Reduce the Setback to 10' in Lieu of the Required 20'.

### **PLANNER'S REVIEW/RECOMMENDATION**

Applicant is seeking a rear setback variance to cover the rear patio. This was approved through the neighborhood HOA. The applicant contends this is not a usable patio in portions of the year. Direct sunlight on the patio makes it unusable during summer months and during the rainy season. The cover would allow the full time use of this area. There is an easement on the rear of the property, but the structure will not encroach into that. This is zoned Vestavia Hills R-6.

### **ATTACHMENTS**

1. Application
2. Engineering Comments
3. Description of Hardship
4. Current Survey
5. Proposed Survey
6. Rendering
7. Owner's Affidavit

Jack Wakefield  
City Planner



## BZA-24-29

### Variance Application

Status: Active

Submitted On: 12/16/2024

### Primary Location

3923 WESTMINSTER LN  
VESTAVIA HILLS, AL 35243

### Owner

Keith Windle  
Westminster Lane 3923  
Vestavia Hills, AL 35243

### Applicant

 Brian Rooks  
 912-344-6523  
 flintresidential@gmail.com  
 20 Eden Circle  
Birmingham, AL 35213

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## Agenda Information

 Agenda Scheduling

 Comments/Delay/Explanation

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## Applicant Information

I am filling this out as the  
Representative Agent

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## Billing/Responsible Party

Name

Keith Windle

Phone #

205-218-4343

Address

3923 Westminster Lane

City/State/Zip

Vestavia Hills, AL 35243

**Email**

kwindle@bradley.com

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**Representing Attorney/Other Agent**

**Name**

Brian Rooks

**Phone #**

912-344-6523

**Address**

20 Eden Circle

**City/State/Zip**

Birmingham, AL 35213

**Email**

flintresidential@gmail.com

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**Subject Property Information**

**Subject Property Address**

3923 Westminster Lane

**Legal Description of Subject Property ?**

Westminster

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**REASONS FOR REQUEST**

**Front Setback Variance**

☐

**Rear Setback Variance**

☒

Setback Required\*

20'

Setback Requested\*

10'

Side Setback Variance

☐

Other Setback Variance

☐

Lot Area Variance

☐

Lot Width Variance

☐

Variance for location of a fence.

☐

Sign Code Variance

☐

A decision of the Zoning Official which the applicant believes to be contrary to the meaning of the Zoning Ordinance.

☐

Other

☐

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## ZONING

Vestavia Hills Zoning for the subject property is

R8 Residential

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## PROJECT

Describe the scope of the project and/or the reason for requesting this variance.\*

Add a 20'x15' open air porch with pavers

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# HARDSHIP

Please answer the following questions regarding hardship and briefly summarize and describe those things which you feel justify the action requested in the box below. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).\*

Encroachment of the 20' setback.

Before any variance is granted, the BZA must find that ALL of the following conditions exist. Please describe each of the following details in order for the BZA to determine if these warrants the described hardship.

**1. There are extraordinary and exceptional conditions, which are peculiar to the piece of property in question because of its size, shape or topography, that are not applicable to the other lands or structures in the same district. Please explain:\***

Sewer easement

**2. Granting the variance requested will not confer upon the applicant any special privileges that are denied to other owners of property in the District in which the property is located. Please explain:\***

There are multiple homes, including the neighbor that already has a variance for the same type of structure in the rear yard.

**3. All literal interpretations of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by others of property in the district in which the property is located. Please explain:\***

Homeowner would like to enjoy the exterior of their home when weather is not favorable outside with a roof.

**4. The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare. Please explain:\***

Will follow the same designs as the other neighbor except not using a deck, pavers on grade instead.

**5. The special circumstances are not the intended result of the actions of the applicant (i.e., self-imposed hardship). Please explain:\***

Rear yard is not an adequate space to enjoy the outside without the proper cover and fan or air flow.

**6. The variance requested is the minimum variance that will make possible the legal use of the land, building or structure. Please explain:\***

Will stay within the allotted dimensions of the plans and no further.

**7. The no non-conforming use of neighboring lands, structures, or buildings in the same district, and no permitted or non-conforming use of lands, structures, or building in other districts shall be considered grounds for the issuance of a variance.**

**8. That a variance will not allow the permanent establishment of a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.\***

The addition of the rear porch structure will increase the value of the the home and any neighboring home

NOTE: In proving that an unnecessary hardship has been imposed on the property as a result of the strict interpretation of this Ordinance, the following conditions cannot be considered pertinent to the determination of whether or not an unnecessary hardship exists: (1) proof that a variance would increase the financial return from land; or (2) personal or economic hardship; or (3) self-imposed hardship. In other words, hardship alone is not sufficient to permit a variance. It must be an "unnecessary hardship." Mere financial loss of a kind, which might be common to all of the property owners in a district, is not an "unnecessary hardship."

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## OWNER AFFIDAVIT

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit. Owners authorization may be found on our main page.

### Representing Agent Signature ?

✓ Brian S. Rooks  
Dec 16, 2024



Feb 14, 2025

BZA-24-29

## Engineering Review

Variance Application

**Status:** Complete

**Became Active:** Jan 31, 2025

**Assignee:** Ethan Fisher

**Completed:** Feb 5, 2025

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### Applicant

Brian Rooks  
flintresidential@gmail.com  
20 Eden Circle  
Birmingham, AL 35213  
9123446523

### Primary Location

3923 WESTMINSTER LN  
VESTAVIA HILLS, AL 35243

### Owner:

Keith Windle  
3923 Westminster Lane Vestavia Hills,  
AL 35243

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### Comments

**Ethan Fisher, Jan 31, 2025**

Good afternoon,

What is the existing material that the addition is replacing? From the aerial it appears to be some sort of courtyard.

**Brian Rooks, Jan 31, 2025**

Yes it is a courtyard with pea gravel ground cover

**Ethan Fisher, Feb 5, 2025**

The addition of impervious coverage may require an analysis from a registered engineer to show that there are no adverse effects to adjacent properties. The engineering department will review in-depth during permitting.

KEITH WINDLE  
3923 WESTMINSTER LANE  
VESTAVIA HILLS, ALABAMA 35243

December 17, 2024

City of Vestavia Hills  
1032 Montgomery Highway  
Vestavia Hills, Alabama 35216

Subject: Variance Application – BZA-24-29

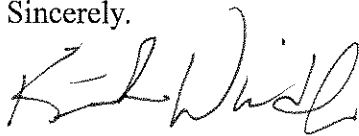
To Whom it May Concern:

I own the home and property located at 3923 Westminster Lane, and I am submitting this letter in support of the application for variance being submitted to the City of Vestavia Board of Zoning Appeals. I am applying for a variance that will permit me to build a covered porch in my back yard that will extend beyond the setback line.

Due to the small size and configuration of my lot, I am not able to utilize any portion of the outdoor area other than the back yard. My wife and I would like to be able to utilize the outdoor area regardless of the weather, but we are currently not able to utilize this area during hot weather, during times of direct sunlight or during rainy weather. The proposed porch will permit us to use and enjoy the outdoor area during these times.

Please consider the above-described hardship when reviewing our variance application.

Sincerely,

A handwritten signature in black ink, appearing to read "Keith Windle", written in a cursive style.

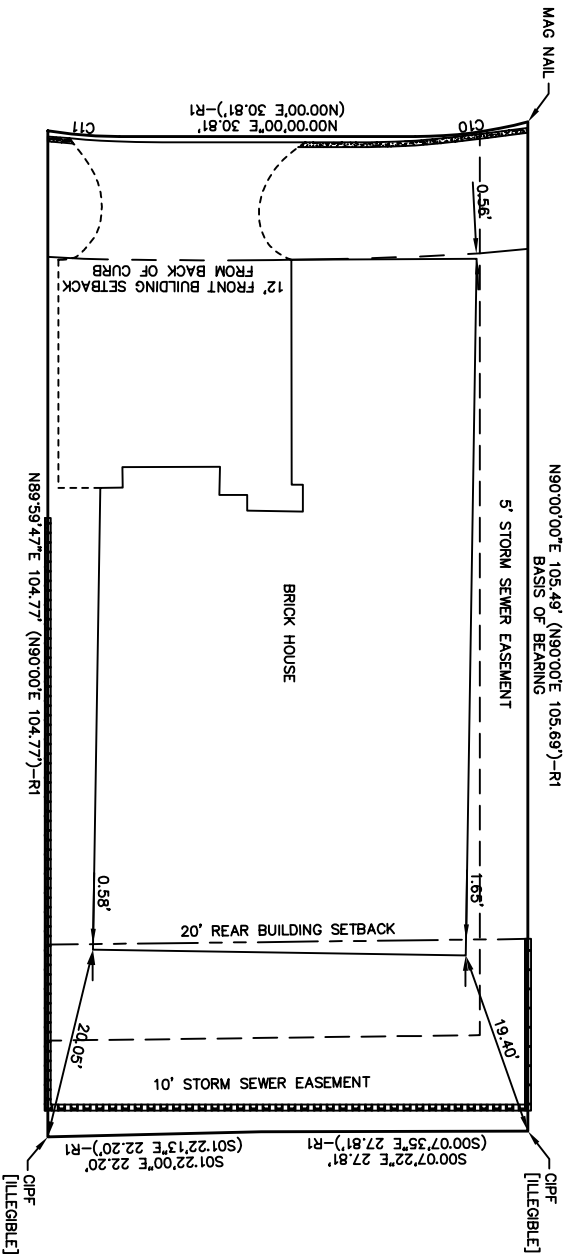
Keith Windle

- LEGEND OF SYMBOLS
- SECTION CORNER
  - IRON PIN FOUND
  - CAPPED IRON PIN SET
  - 1/2"x8" REBAR
  - (KSS CA-50206-LS)

- LEGEND OF ABBREVIATIONS
- E EAST
  - N NORTH
  - P.O.B. POINT OF BEGINNING
  - P.O.C. POINT OF COMMENCEMENT
  - R.O.W. RIGHT OF WAY
  - R RANGE
  - S TOWNSHIP
  - W WEST
  - ( ) RECORD INFORMATION

| CURVE TABLE |               |          |          |          |
|-------------|---------------|----------|----------|----------|
| CURVE       | CHORD BEARING | RADIUS   | LENGTH   | CHORD    |
| C10         | S07°23'25"E   | 46.00'   | 11.87'   | 11.83'   |
| (C10)       | (S07°23'25"E) | (46.00') | (11.87') | (11.83') |
| C11         | S04°39'56"W   | 46.00'   | 7.48'    | 7.48'    |
| (C11)       | (S04°39'56"W) | (46.00') | (7.48')  | (7.48')  |

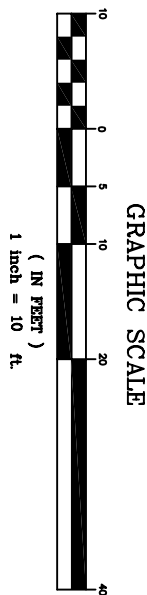
- NOTES:
- 1) BASIS OF BEARING IS THE NORTH LINE OF LOT 12 OF WESTMINSTER CARRIAGE HOMES (A PRIVATE COMMUNITY) AS RECORDED IN MAP BOOK 212, PAGE 11 (-R1) IN THE OFFICE OF THE JUDGE OF PROBATE OF JEFFERSON COUNTY, ALABAMA.
  - 2) REFERENCE MADE TO WESTMINSTER CARRIAGE HOMES (A PRIVATE COMMUNITY) AS RECORDED IN MAP BOOK 212, PAGE 11 (-R1) IN THE OFFICE OF THE JUDGE OF PROBATE OF JEFFERSON COUNTY, ALABAMA.
  - 3) THE PURPOSE OF THIS SURVEY IS TO CREATE A PLOT PLAN IN ORDER TO OBTAIN A BUILDING PERMIT TO DO ADDITIONAL WORK BEHIND THE ALREADY EXISTING HOME ON LOT 12.
  - 4) THE HOME LOCATED ON LOT 12 SITS ACROSS THE RECORD PLATS 20 FOOT REAR BUILDING SETBACK LINE. DISTANCE HOME IS OVER THIS LINE IS SHOWN ON THIS PLOT PLAN.
  - 5) BLOCK, BRICK, AND STUCCO WALLS CENTERLINE SITS ALONG THE BOUNDARY LINES OF LOT 12.
  - 6) NO TITLE SEARCH CONDUCTED BY THE SURVEYOR.



I, H. Alan Kimbrough, hereby certify, that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information, and belief.

H. ALAN KIMBROUGH  
AL LICENSE NO. 21780

10/25/2024  
DATE



JOB: PLOT PLAN FOR BUILDING PERMIT PURPOSES LOCATED AT:  
3923 WESTMINSTER LANE, VESTAVIA HILLS, ALABAMA, 35243

PROJ. #: 24266

TYPE: PLOT PLAN

DETAIL: LOT 12 WESTMINSTER CARRIAGE HOMES  
(A PRIVATE COMMUNITY)  
MAP BOOK 212, PAGE 11

KIMBROUGH LAND SURVEYING SERVICES, LLC  
CA-50206-LS

FIELD DATE: 10/24/2024

522 COUNTY ROAD 132, ADDISON, ALABAMA 35540

KIMBROUGHSURVEYING@GMAIL.COM  
(256)348-3044

DATE: 10/25/2024

SCALE: 1"=10'

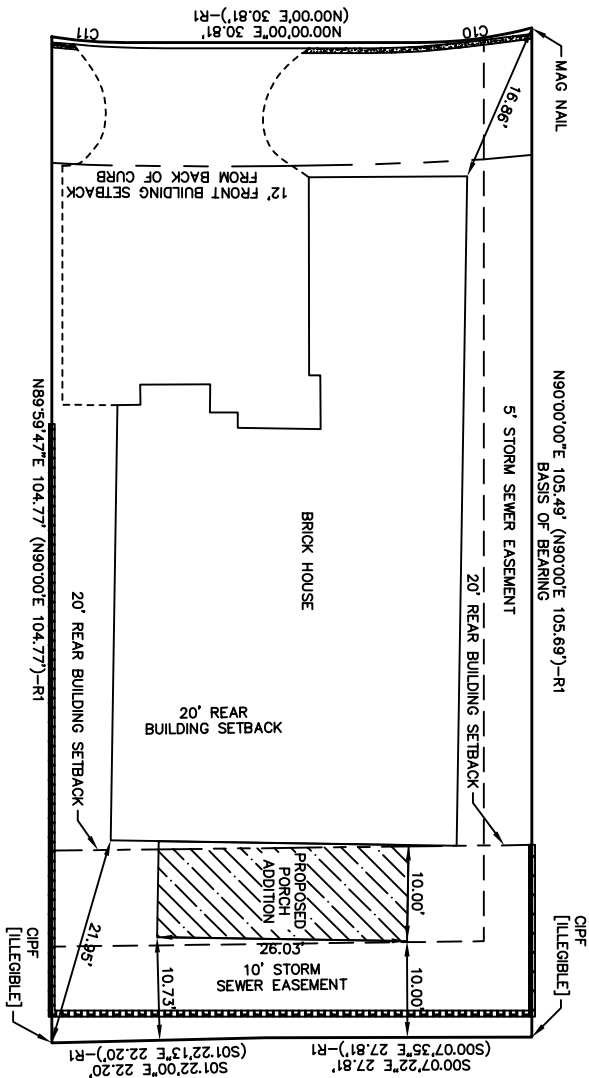
NO PART OF THIS DRAWING/MAP MAY BE REPRODUCED, ALTERED, OR COPIED BY ANY MEANS WITHOUT WRITTEN CONSENT OF THE SURVEYOR. THIS SURVEY/MAP IS NOT VALID UNLESS SIGNED BY A MET SIGNATURE AND SEALED WITH ORIGINAL EMBOSSED OR ORIGINAL STAMPED INK SEAL AND FIELD LOCATION ATTACHED TO DETERMINE THE LOCATION OF OR THE POSSIBLE EXTENT OF ANY EASEMENTS, RIGHTS-OF-WAY, SERVITUDES, OR OWNERSHIP WERE FURNISHED TO THE SURVEYOR, EXCEPT AS SHOWN AND LIABILITY IS ASSUMED BY THE SURVEYOR OR ANY REPRESENTATIVE OF KIMBROUGH SURVEYING SERVICES FOR THE LOSS RELATING TO ANY MATTER REPRESENTATIVE DELIVERY OF THE CERTIFIED SURVEY OR DOCUMENT SIGNATURE'S CERTAINLY BE CERTAIN BY THE CLIENT AND AFORESAID CLIENTS AND/OR CLIENTS REPRESENTATIVES ARE HEREBY LIMIT THE TORT OR LIABILITY FROM ANY CASE OF ACTION HERETO AN AMOUNT NOT TO EXCEED THE FEE CHARGED FOR SURVEYING SERVICES.

- LEGEND OF SYMBOLS
- SECTION CORNER
  - IRON PIN FOUND
  - CAPPED IRON PIN SET
  - 1/2"x8" REBAR
  - [KASS CA-50206-LS]

- LEGEND OF ABBREVIATIONS
- E EAST
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  - P.O.B. POINT OF BEGINNING
  - P.O.C. POINT OF COMMENCEMENT
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  - ( ) RECORD INFORMATION

| CURVE TABLE |               |          |          |          |
|-------------|---------------|----------|----------|----------|
| CURVE       | CHORD BEARING | RADIUS   | LENGTH   | CHORD    |
| C10         | S07°23'25"E   | 46.00'   | 11.87'   | 11.83'   |
| (C10)       | (S07°23'25"E) | (46.00') | (11.87') | (11.83') |
| C11         | S04°39'56"W   | 46.00'   | 7.49'    | 7.48'    |
| (C11)       | (S04°39'56"W) | (46.00') | (7.49')  | (7.48')  |

- NOTES:
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  - 3) THE PURPOSE OF THIS SURVEY IS TO CREATE A PLOT PLAN IN ORDER TO OBTAIN A BUILDING PERMIT TO DO ADDITIONAL WORK BEHIND THE ALREADY EXISTING HOME ON LOT 12.
  - 4) BLOCK, BRICK, AND STUCCO WALLS CENTERLINE SITS ALONG THE BOUNDARY LINES OF LOT 12.
  - 5) THE PROPOSED PORCH ADDITION IS SHOWN ON THIS PLOT PLAN AND IS DIMENSIONED TO THE REAR BOUNDARY LINE. PROPOSED ADDITION WILL BE ACROSS THE MINIMUM BUILDING LINE ACCORDING TO THE RECORD PLAT.
  - 6) NO TITLE SEARCH CONDUCTED BY THE SURVEYOR.



REVISION 1:  
ADDED PROPOSED PORCH ADDITION AS WELL AS SPECIAL NOTE 1 REGARDING THE REQUESTED ZONING VARIANCE.  
BLAK 10/25/2024

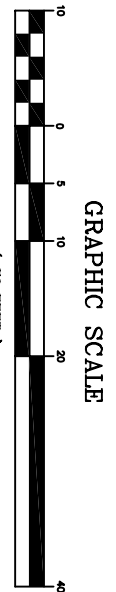
REVISION 2:  
REVISED THE HOUSE LOCATION TO ACCOMMODATE FOR THE HOUSE OVERHANG. ALSO A REVISION WAS MADE TO THE PROPOSED PORCH ADDITION TO ACCOMMODATE THE WIDTH OF THE 8'X8" POSTS TO BE USED AS THE ROOF SUPPORTS.  
BLAK 10/31/2024

REVISION 3:  
REVISED THE PROPOSED PORCH ADDITION TO ACCOMMODATE THE STORM SEWER EASEMENT.  
BLAK 1/30/2025

I, H. Alan Kimbrough, hereby certify, that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information, and belief.

H. ALAN KIMBROUGH  
AL LICENSE NO. 21780

1/30/2025  
DATE



**JOB:** PLOT PLAN FOR BUILDING PERMIT PURPOSES LOCATED AT:  
3923 WESTMINSTER LANE, VESTAVIA HILLS, ALABAMA, 35243

**DETAIL:** LOT 12 WESTMINSTER CARRIAGE HOMES  
(A PRIVATE COMMUNITY)  
MAP BOOK 212, PAGE 11

**PROJ. #:** 24266

**TYPE:** PLOT PLAN

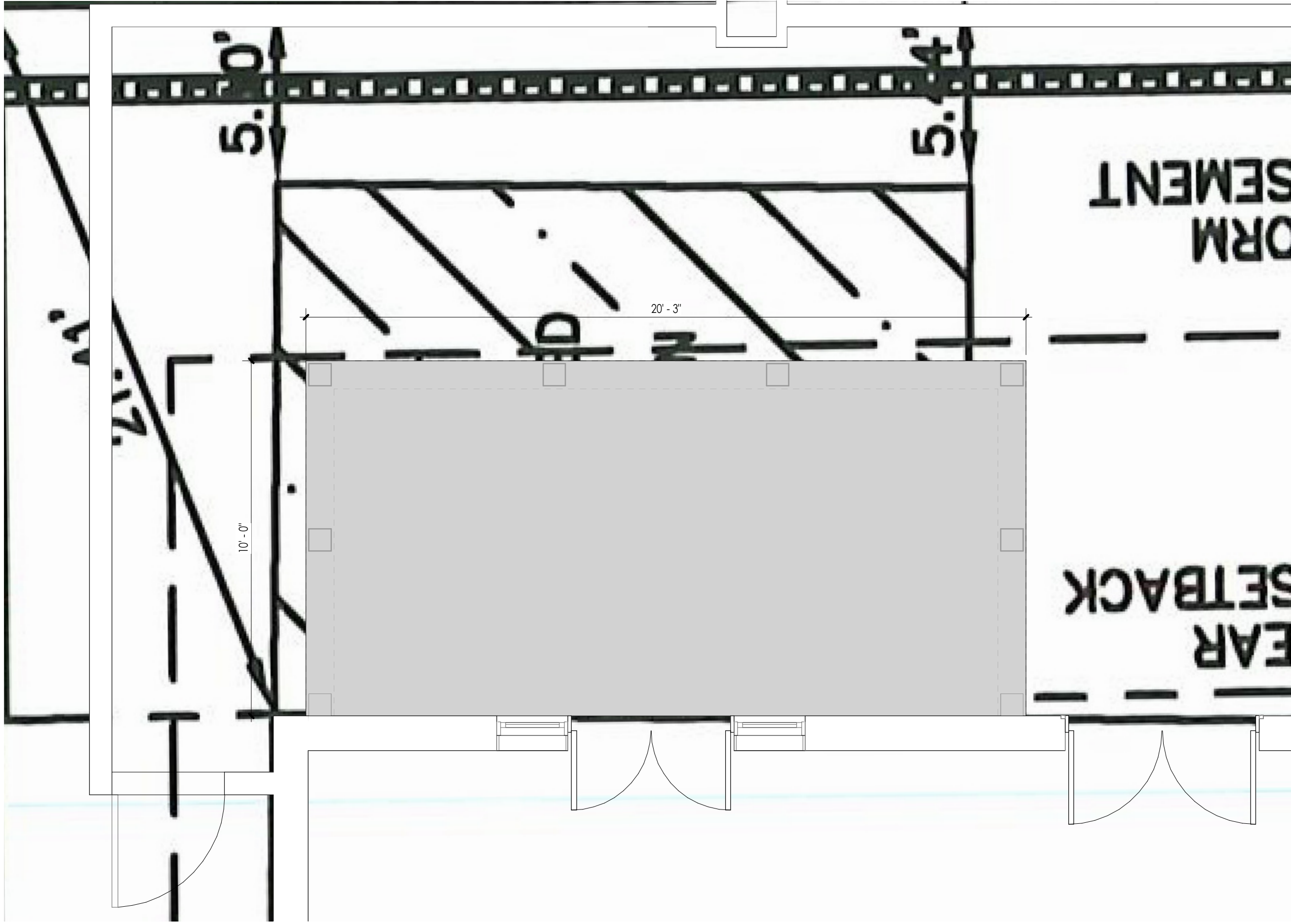
**FIELD DATE:** 10/24/2024

**REVISIED DATE:** 1/30/2025

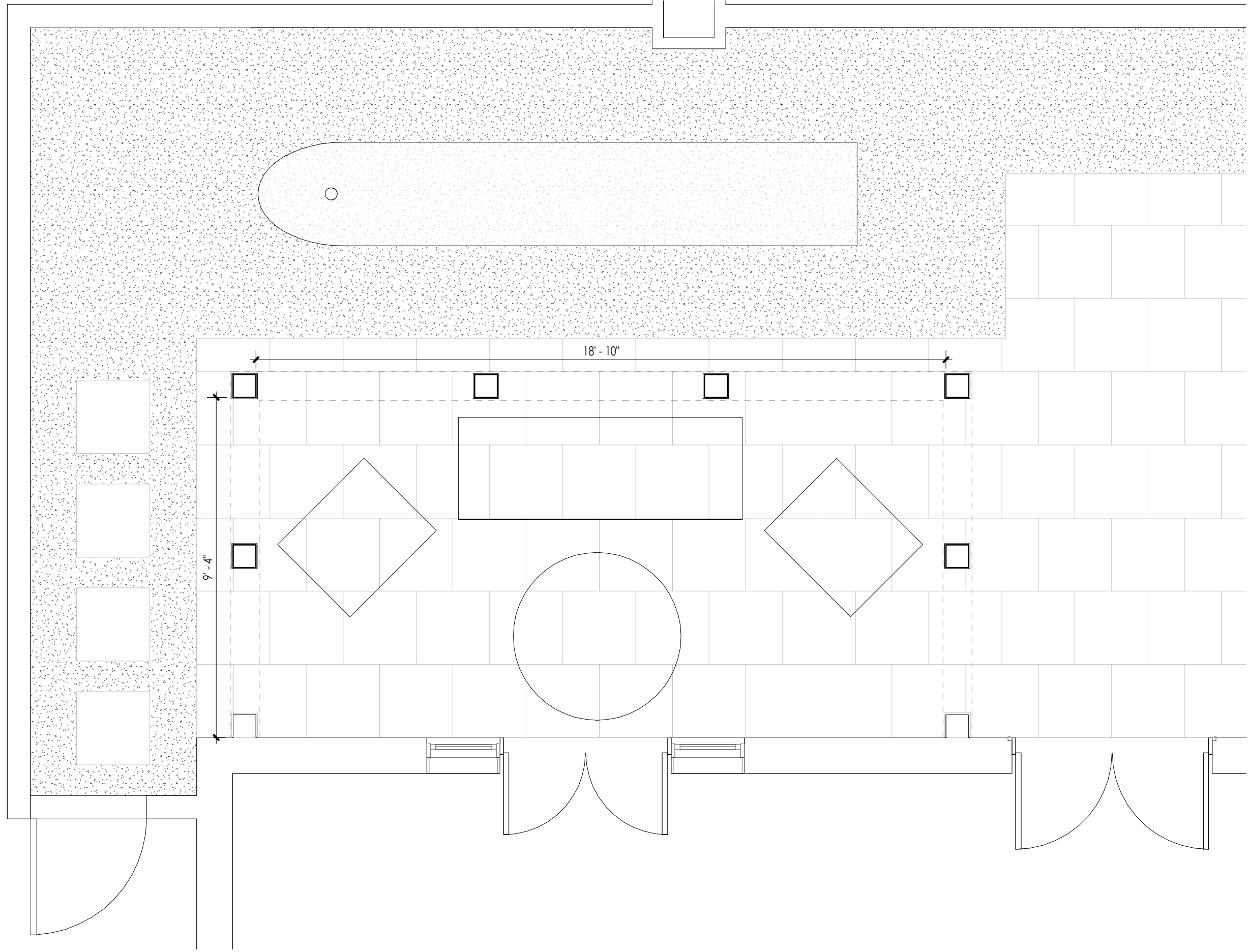
**SCALE:** 1"=10'

**CA-50206-LS**  
KIMBROUGH LAND SURVEYING SERVICES, LLC  
522 COUNTY ROAD 132, ADDISON, ALABAMA 35540  
KIMBROUGHSURVEYING@GMAIL.COM  
(256)348-3044

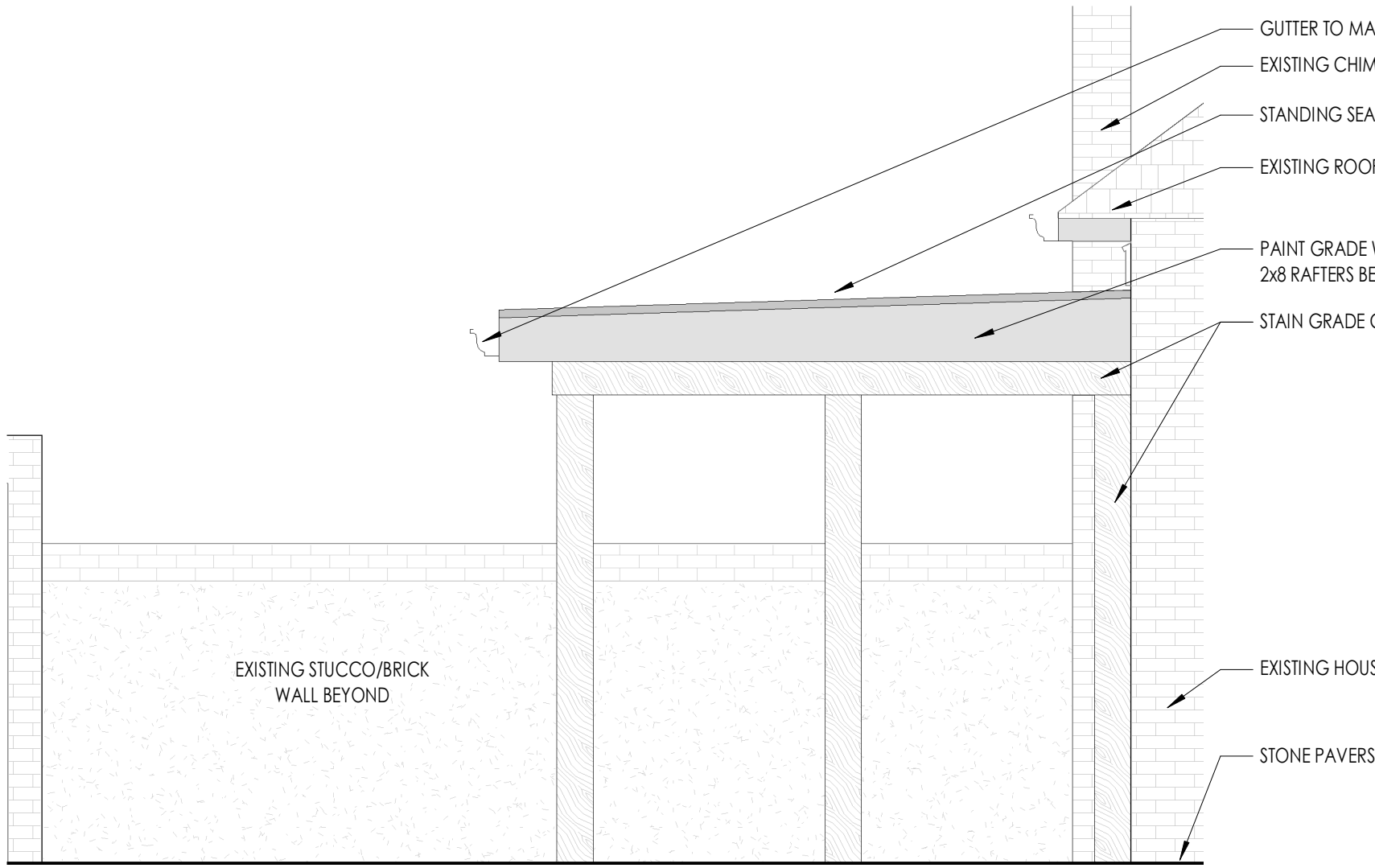
NO PART OF THIS DRAWING/MAP MAY BE REPRODUCED, ALTERED, OR COPIED BY ANY MEANS WITHOUT WRITTEN CONSENT OF THE SURVEYOR. THIS SURVEY/MAP IS NOT VALID UNLESS SIGNED BY A MET SIGNATURE AND SEALED WITH ORIGINAL EXPOSED OR ORIGINAL STAMPED INK SEAL AND FIELD LOCATION ATTEMPTED TO DETERMINE THE LOCATION OF OR THE POSSIBLE EXTENT OF RIGHTS-OF-WAY, SERVITUDE, OR OWNERSHIP WERE FURNISHED TO THE SURVEYOR, EXCEPT AS SHOWN UNLESS THE SURVEYOR HAS ACCEPTED DELIVERY OF THE CERTIFIED SURVEY OR DOCUMENT SIGNING THE CERTIFICATE BY THE CLIENT AND AFORESAID CLIENTS AND/OR CLIENTS REPRESENTATIVES ARE HEREBY LIMIT THE TORT OR LIABILITY FROM ANY CASE OF ACTION HERETO AN AMOUNT NOT TO EXCEED THE FEE CHARGED FOR SURVEYING SERVICES.



1 | PATIO SURVEY PLAN  
3/8" = 1'-0"



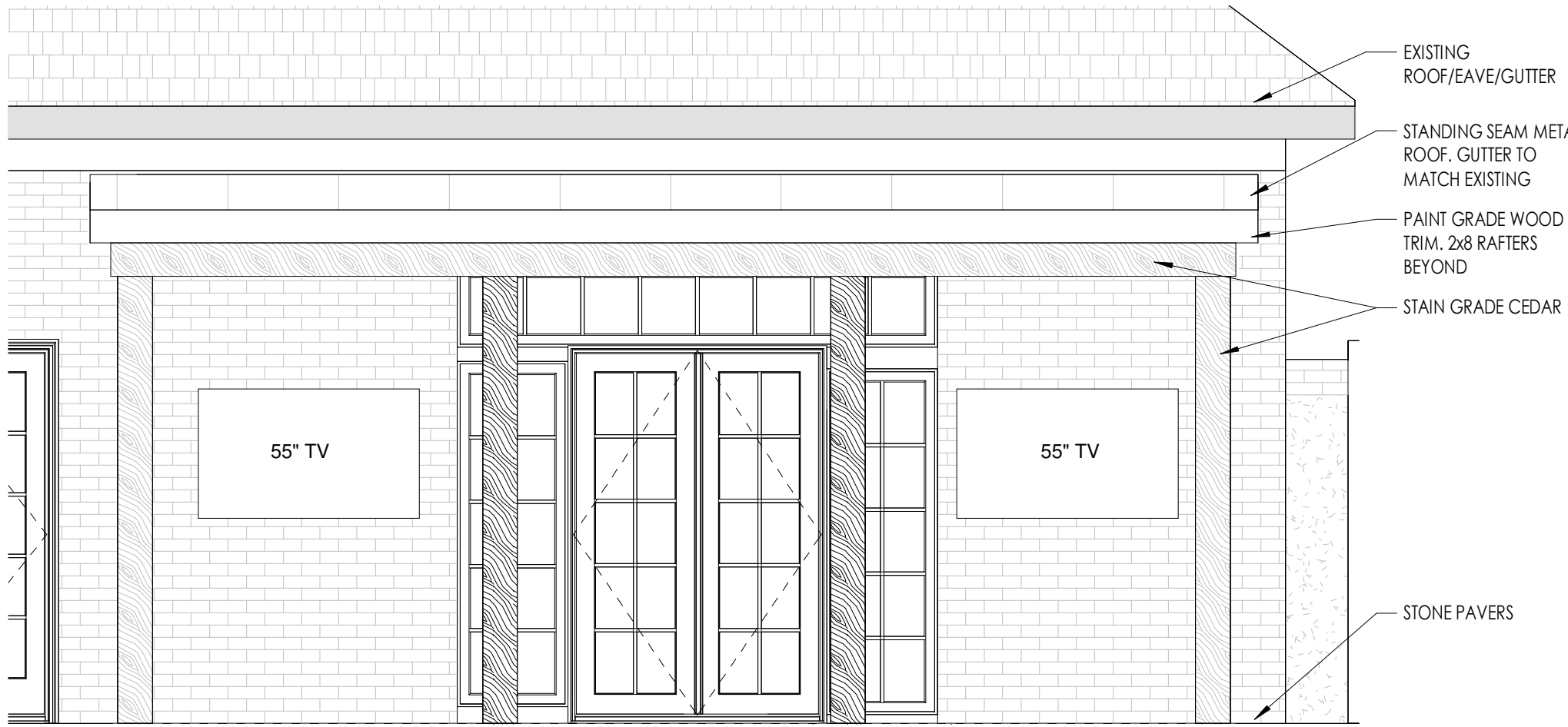
2 | PATIO PLAN  
3/8" = 1'-0"



3 | ELEVATION @ PATIO  
3/8" = 1'-0"



4 | ELEVATION @ PATIO  
3/8" = 1'-0"



5 | ELEVATION @ PATIO  
3/8" = 1'-0"

WINDLE PORCH  
3923 WESTMINSTER LANE  
VESTAVIA HILLS, AL 35243

FEBRUARY 4, 2024

FOR PERMIT

SCHEMATIC DESIGN

A101

PROJECT NUMBER:

LAD2405



**City of Vestavia Hills**  
**Office of the City Clerk**

**OWNER AFFIDAVIT (This form must be notarized):**

I do hereby declare that the following statements are correct concerning the subject property located at: 3923 Westminister Lane, Vestavia Hills, Alabama and that statements submitted in my application are true and that I am: *(please check all that apply).*

       the Property Owner and representing myself in said request.

✓ the Property Owner, but I am authorizing a Representing Agent by the name of: Brian Rooks to represent me in the following request:

And am requesting: (please check)

       Rezoning Request  
       Preliminary Plat Approval  
       Final Plat Approval  
       Conditional Use Approval

X Request for Variance  
       Special Exception  
       Design Review Approval

Signed:

Keh Welch

Owner Signature/Date

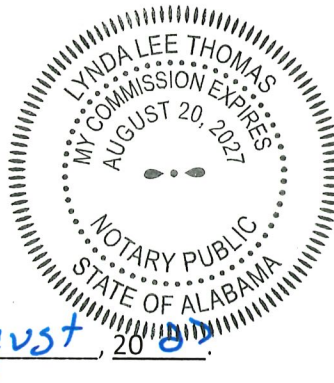
STATE OF ALABAMA

COUNTY OF Jefferson

Given under my hand and seal  
this 10<sup>th</sup> day of December, 2024.

Lynda Lee Thomas  
Notary Public

My commission expires 20<sup>th</sup> day of August, 2027.





VESTAVIA HILLS

## **Board of Zoning Adjustment Planners Report**

### **MEETING DATE**

February 20, 2025

### **AGENDA ITEM**

BZA-25-1 **Amanda Ware** is requesting a **Front Setback Variance & Variance For Location of Fence in the Front Setback** for the property located at **2324 Branchwater Lane**. The purpose of this request is to reduce the front setback to 44' in lieu of the required 60' & to re-build a privacy fence in the front setback. The property is owned by Tom Tate and is zoned **Vestavia Hills R-1**.

### **BACKGROUND**

16' Front Setback Variance to Reduce the Setback to 44' in Lieu of the Required 60' & Variance for Location of Fence in the Front Setback..

### **PLANNER'S REVIEW/RECOMMENDATION**

Applicant is seeking a front setback variance and a variance for the location of a fence in the front setback. The applicant contends the corner lot causes a hardship. All work being done is on existing infrastructure. The front setback variance is needed to re-install new stairs and handrails (above 30") in the front of the house. Also to re-install the fence (fences in the rear pool) on the side of the house. However, since this is a corner lot, the fence is located in the front setback. This is zoned Vestavia Hills R-1.

### **ATTACHMENTS**

1. Application
2. Drawing
3. Owner's Affidavit

Jack Wakefield  
City Planner



## BZA-25-1

### Variance Application

Status: Active

Submitted On: 1/8/2025

### Primary Location

2324 BRANCHWATER LN  
VESTAVIA HILLS, AL 35216

### Owner

Tom Tate  
Branch Water Lane 2324  
Vestavia Hills, AL 35216

### Applicant

 Amanda Ware  
 205-324-8545  
 aware@hinkleroofing.com  
 639 1st Court North  
Birmingham , AL 35203

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## Agenda Information

 Agenda Scheduling

 Comments/Delay/Explanation

---

## Applicant Information

I am filling this out as the  
Representative Agent

---

## Billing/Responsible Party

Name

Tom Tate

Phone #

205-542-1942

Address

2324 Branch Water Lane

City/State/Zip

Vestavia Hills, AL 35216

**Email**

tjtate52@gmail.com

---

**Representing Attorney/Other Agent**

**Name**

Scott Williams/Hinkle Roofing

**Phone #**

205-966-6631

**Address**

639 1st Court N

**City/State/Zip**

Birmingham, AL 35203

**Email**

swilliams@hinkleroofing.com

---

**Subject Property Information**

**Subject Property Address**

2324 Branch Water Lane

**Legal Description of Subject Property ?**

Map book 107 page 17 Lot B Block 8

---

**REASONS FOR REQUEST**

**Front Setback Variance**



**Setback Required\***

60'

Setback Requested\*

44

Rear Setback Variance

☐

Side Setback Variance

☐

Other Setback Variance

☐

Lot Area Variance

☐

Lot Width Variance

☐

Variance for location of a fence.

☒

Details ?

Sign Code Variance

☐

A decision of the Zoning Official which the applicant believes to be contrary to the meaning of the Zoning Ordinance.

☐

Other

☐

---

## ZONING

Vestavia Hills Zoning for the subject property is

R-1

---

## PROJECT

**Describe the scope of the project and/or the reason for requesting this variance.\***

Re-Installing new stairs and handrails on the porch in the front and also re-installing fence to the right side of the house. All of this was original to the house and we are just updating these areas due to rotten wood. It is a corner lot with the pool so the fence is built around it.

---

## HARDSHIP

**Please answer the following questions regarding hardship and briefly summarize and describe those things which you feel justify the action requested in the box below. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).\***

The stairs to his front porch are not up to code or the handrailings. The stairs have rotten wood as well as the fence. Owner is trying to update and maintain the house and would like it in good working condition.

Before any variance is granted, the BZA must find that ALL of the following conditions exist. Please describe each of the following details in order for the BZA to determine if these warrants the described hardship.

**1. There are extraordinary and exceptional conditions, which are peculiar to the piece of property in question because of its size, shape or topography, that are not applicable to the other lands or structures in the same district. Please explain:\***

It is a corner lot and already has the stairs and fence original to the house.

**2. Granting the variance requested will not confer upon the applicant any special privileges that are denied to other owners of property in the District in which the property is located. Please explain:\***

No it will not. He wants new stairs because they are rotten and for safety reasons to use his front door. Also his fence is original to the house and would like to replace the wood due to rotting.

**3. All literal interpretations of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by others of property in the district in which the property is located. Please explain:\***

No just replacing what is already there.

**4. The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare. Please explain:\***

No it is for safety and replacing what is already there.

**5. The special circumstances are not the intended result of the actions of the applicant (i.e., self-imposed hardship). Please explain:\***

No he is just updating/maintaining his property to bring it up to code.

**6. The variance requested is the minimum variance that will make possible the legal use of the land, building or structure. Please explain:\***

yes

**7. The no non-conforming use of neighboring lands, structures, or buildings in the same district, and no permitted or non-conforming use of lands, structures, or building in other districts shall be considered grounds for the issuance of a variance.**

8. That a variance will not allow the permanent establishment of a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.\*

Yes

NOTE: In proving that an unnecessary hardship has been imposed on the property as a result of the strict interpretation of this Ordinance, the following conditions cannot be considered pertinent to the determination of whether or not an unnecessary hardship exists: (1) proof that a variance would increase the financial return from land; or (2) personal or economic hardship; or (3) self-imposed hardship. In other words, hardship alone is not sufficient to permit a variance. It must be an "unnecessary hardship." Mere financial loss of a kind, which might be common to all of the property owners in a district, is not an "unnecessary hardship."

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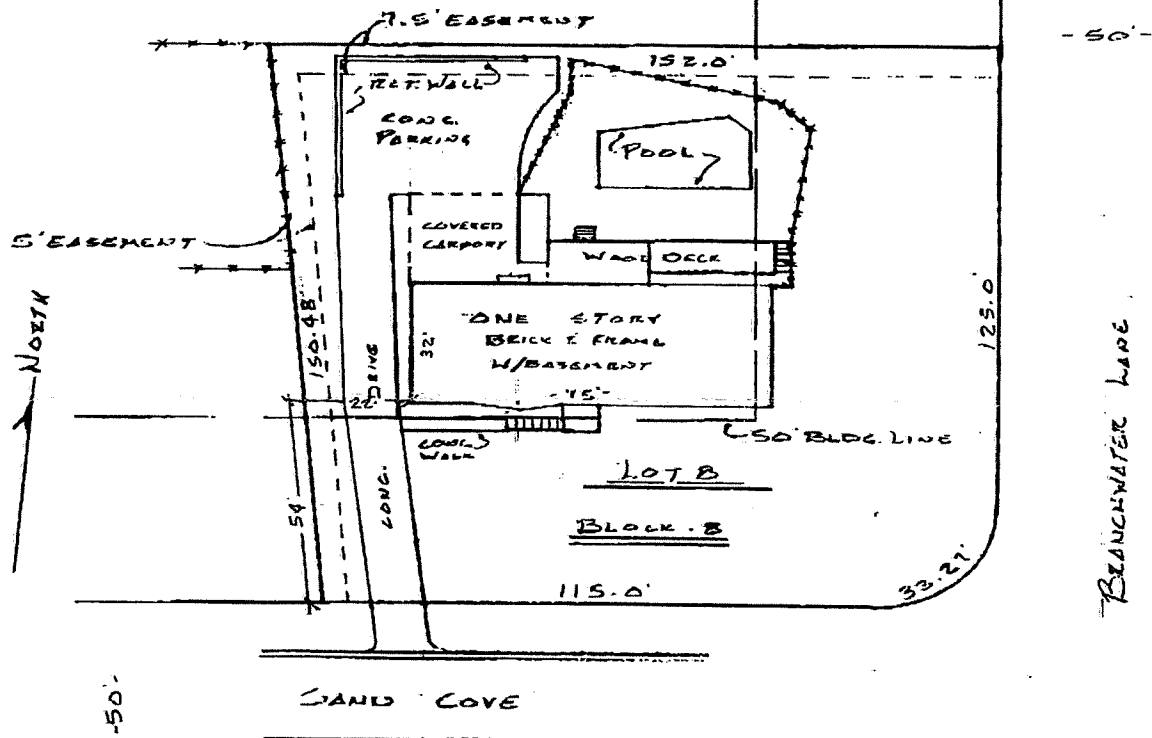
## OWNER AFFIDAVIT

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit. Owners authorization may be found on our main page.

Representing Agent Signature 

 Scott Williams  
Jan 8, 2025

251-135



STATE OF ALABAMA  
COUNTY OF JEFFERSON

I KARL HAGER, A REGISTERED LAND SURVEYOR IN THE STATE OF ALABAMA HEREBY AFFIRM THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE STATE OF ALABAMA FOR THE FOLLOWING DESCRIBED PROPERTY:

LOT B, BLOCK 8, ACCORDING TO THE MAP OF TANGLEWOOD PARK, 3RD SECTOR, 1st ADDITION AS RECORDED IN MAP BOOK 107, PAGE 17, IN THE OFFICE OF THE JUDGE OF PROBATE, JEFFERSON COUNTY, ALABAMA

I FURTHER AFFIRM THAT THERE ARE NO RIGHT OF WAYS, EASEMENTS OF JOINT DRIVEWAY OVER OR ACROSS SAID LAND VISIBLE ON THE SURFACE EXCEPT AS SHOWN, THAT THERE ARE NO ELECTRIC OR TELEPHONE WIRES (EXCLUDING THOSE WHICH SERVE THE PREMISES ONLY) OR STRUCTURES OR SUPPORTS THEREOF, INCLUDING POLES, ANCHOR OR GUY WIRES ON OR OVER SAID PROPERTY EXCEPT AS SHOWN; THAT I HAVE CONSULTED THE FEDERAL FLOOD HAZARD MAP (OR THE UNITED STATES DEPARTMENT OF THE INTERIOR GEOLOGICAL SURVEY MAP) AND FOUND THAT THIS PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD PRONE AREA; THAT THERE ARE NO ENCROACHMENTS TO SAME THAT ARE VISIBLE ON THE SURFACE EXCEPT AS SHOWN THAT THE IMPROVEMENTS ARE LOCATED AS SHOWN ABOVE.

ACCORDING TO MY SURVEY THIS THE 13TH DAY OF SEPTEMBER, 1991.  
THE CORRECT STREET ADDRESS IS 2324 SAND COVE CIRCLE.

*Karl Hager*

KARL HAGER, L.S.  
REG. NO. 11848



**City of Vestavia Hills**  
**Office of the City Clerk**

**OWNER AFFIDAVIT (This form must be notarized):**

I do hereby declare that the following statements are correct concerning the subject property located at: 2324 Sand Cove Circle, Vestavia Hills, Alabama and that statements submitted in my application are true and that I am: *(please check all that apply)*.

\_\_\_ the Property Owner and representing myself in said request.

☒ the Property Owner, but I am authorizing a Representing Agent by the name of: Scott Williams w/ Hinkle Roofing to represent me in the following request:

And am requesting: (please check)

\_\_\_ Rezoning Request  
\_\_\_ Preliminary Plat Approval  
\_\_\_ Final Plat Approval  
\_\_\_ Conditional Use Approval

☒ Request for Variance  
\_\_\_ Special Exception  
\_\_\_ Design Review Approval

Signed: \_\_\_\_\_

Owner Signature/Date

STATE OF ALABAMA

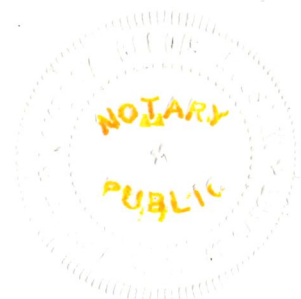
COUNTY OF Jefferson

Given under my hand and seal  
this 7th day of January, 2025.

Lawetta D. Webster

Notary Public

My commission expires 21st day of Dec., 2025.





VESTAVIA HILLS

## **Board of Zoning Adjustment Planners Report**

### **MEETING DATE**

February 20, 2025

### **AGENDA ITEM**

BZA-25-2 **Greg Burchell** is requesting a **Rear & Side Setback Variances** for the property located at **2711 Ossa Wintha Drive**. The purpose of this request is to reduce the rear setback to 7' in lieu of the required 15' & to reduce the side setback to 6' in lieu of the required 15', to rebuild and enlarge garage. The property is owned by Greg Burchell and is zoned **Vestavia Hills R-2**.

### **BACKGROUND**

8' Rear Setback Variance to Reduce the Setback to 7' in Lieu of the Required 15' & 9' Side Setback Variance to Reduce the Setback to 6' in Lieu of the Required 15'.

### **PLANNER'S REVIEW/RECOMMENDATION**

The applicant is seeking a rear and side setback variance to rebuild and enlarge the rear garage. The applicant contends that the corner lot, along with the topo/retaining wall limits moving the garage to another location on the lot. The upstairs will not be living space, but an open area for storage. Per Building Official comments, if approved, no 3" PVC piping be installed in the slab. This relates to worry about a bathroom being installed and subsequently a living space in the upper portion of the structure. The property is zoned Vestavia Hills R-2.

### **ATTACHMENTS**

1. Application
2. Building Dept Comments
3. Drawings
4. View of Existing Garage
5. Owner's Affidavit

Jack Wakefield  
City Planner



## BZA-25-2

### Variance Application

Status: Active

Submitted On: 1/21/2025

### Primary Location

2711 OSSA WINTHA DR  
VESTAVIA HILLS, AL 35243

### Owner

Greg Burchell  
2711 Ossa Wintha Drive  
Birmingham, AL 35243  
Birmingham, AL 35243

### Applicant

 Greg Burchell  
 205-335-4007  
 gregbr362@gmail.com  
2711 Ossa Wintha Drive  
 Birmingham, AL 35243  
Birmingham, AL 35243

---

## Agenda Information

 Agenda Scheduling

 Comments/Delay/Explanation

---

## Applicant Information

I am filling this out as the

Owner

---

## Billing/Responsible Party

Name

Greg Burchell

Phone #

2053354007

Address

2711 Ossa Wintha Drive

City/State/Zip

Vestavia Hills

Email

burchell72@gmail.com

---

## Subject Property Information

Subject Property Address

2711 Ossa Wintha Drive Vestavia

Legal Description of Subject Property ?

Single Family Residence

---

## REASONS FOR REQUEST

Front Setback Variance

☐

Rear Setback Variance

☒

Setback Required\*

15'

Setback Requested\*

7 feet

Side Setback Variance

☒

Setback Required\*

15 feet

Setback Requested\*

7 feet

Other Setback Variance

☐

Lot Area Variance

☐

Lot Width Variance

☐

Variance for location of a fence.

☐

Sign Code Variance

☐

A decision of the Zoning Official which the applicant believes to be contrary to the meaning of the Zoning Ordinance.

☐

Other

☐

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## ZONING

Vestavia Hills Zoning for the subject property is

R-2

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## PROJECT

Describe the scope of the project and/or the reason for requesting this variance.\*

I have a existing garage that sits on the current site and I desire to expand the building. The expanded building will increase the footprint from 15 ft x 40 ft to 30 ft x 40 ft. The existing building has been in place for years. I also want to include storage above the garage that includes bathrooms. Because of the existing building location, diagonal position of the primary residence on the property, sitting on a corner lot, there is not another reasonable option. The building will have an massive upgrade in asthetics, function and will enhance the property signifciantly.

# HARDSHIP

Please answer the following questions regarding hardship and briefly summarize and describe those things which you feel justify the action requested in the box below. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).\*

I am requesting a variance on the set-back to 7 ft on each side. I have a existing garage that sits on the current site and I desire to expand the building that has 7 ft setbacks. The expanded building will increase the footprint from 15 ft x 40 ft to 30 ft x 40 ft. The existing building has been in place for years. I also want to include living space and storage above the garage that includes bathrooms. It will have an attachment to the main residence. Because of the existing building location, the topography of the property with a retaining wall, the diagonal position of the primary residence on the property, sitting on a corner lot, there is not another reasonable option meets the asthetics and function. The building will have an massive upgrade in asthetics, function and will enhance the property signifciantly.

Before any variance is granted, the BZA must find that ALL of the following conditions exist. Please describe each of the following details in order for the BZA to determine if these warrants the described hardship.

**1. There are extraordinary and exceptional conditions, which are peculiar to the piece of property in question because of its size, shape or topography, that are not applicable to the other lands or structures in the same district. Please explain:\***

I am requesting a variance on the set-back to 7 ft on each side. I have a existing garage that sits on the current site and I desire to expand the building that has 7 ft setbacks. The expanded building will increase the footprint from 15 ft x 40 ft to 30 ft x 40 ft. The existing building has been in place for years. I also want to include living space and storage above the garage that includes bathrooms. It will have an attachment to the main residence. Because of the existing building location, the topography of the property with a retaining wall, the diagonal position of the primary residence on the property, sitting on a corner lot, there is not another reasonable option meets the asthetics and function. The building will have an massive upgrade in asthetics, function and will enhance the property signifciantly.

**2. Granting the variance requested will not confer upon the applicant any special privileges that are denied to other owners of property in the District in which the property is located. Please explain:\***

The unique position of the primary residence footprint located diagonally on property relative to the neighboring property in a standard configuration, and the corner lot position of the property, does not grant special privileges because neighboring properties do not have the same issues.

**3. All literal interpretations of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by others of property in the district in which the property is located. Please explain:\***

The unique position of the primary residence footprint located diagonally on property relative to the neighboring property in a standard configuration, and the corner lot position of the property, does not grant special privileges because neighboring properties do not have the same issues.

**4. The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare. Please explain:\***

The neighbor properties will be enhanced by the new expanded structure by improving the aesthetics of the neighborhood, increased property value. The neighbors on each side have agreed with this plan.

**5. The special circumstances are not the intended result of the actions of the applicant (i.e., self-imposed hardship). Please explain:\***

The unique position of the primary residence footprint located diagonally on property relative to the neighboring property in a standard configuration, and the corner lot position of the property, is the minimum variance that will make possible for the function and legal use of the land, building and structure.

6. The variance requested is the minimum variance that will make possible the legal use of the land, building or structure. Please explain:\*

The unique position of the primary residence footprint located diagonally on property relative to the neighboring property in a standard configuration, and the corner lot position of the property, is the minimum variance that will make possible for the function and legal use of the land, building and structure.

7. The no non-conforming use of neighboring lands, structures, or buildings in the same district, and no permitted or non-conforming use of lands, structures, or building in other districts shall be considered grounds for the issuance of a variance.

8. That a variance will not allow the permanent establishment of a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.\*

Agreed

NOTE: In proving that an unnecessary hardship has been imposed on the property as a result of the strict interpretation of this Ordinance, the following conditions cannot be considered pertinent to the determination of whether or not an unnecessary hardship exists: (1) proof that a variance would increase the financial return from land; or (2) personal or economic hardship; or (3) self-imposed hardship. In other words, hardship alone is not sufficient to permit a variance. It must be an "unnecessary hardship." Mere financial loss of a kind, which might be common to all of the property owners in a district, is not an "unnecessary hardship."

---

## OWNER AFFIDAVIT

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit. Owners authorization may be found on our main page.

### Owner Signature

✓ Gregory Brian Burchell  
Jan 21, 2025



## Building Inspector Review



Complete ▾

Complete

Assignee



Keith Blanton

Due date



None



Jack Wakefield ✓

Remove Note • Jan 29, 2025 at 3:42 pm

Proposed plan does not include the living space above the garage. They have indicated they are scrapping that idea (as it is not a permitted use) and want to have the space for storage instead.



Rebecca Leavings

Remove Note • Feb 5, 2025 at 11:39 am

@Keith Blanton can you review the proposed height? This appears to be far in excess of a 1 story structure.



Keith Blanton

Remove Note • Feb 6, 2025 at 7:57 am

I'm good with the height. I don't think we should allow any 3" PVC piping to be installed in the slab if this is approved. They would just add a bathroom later when we finish our inspections. That needs to be made in the motion if approved in my opinion.

Comment

Internal Note

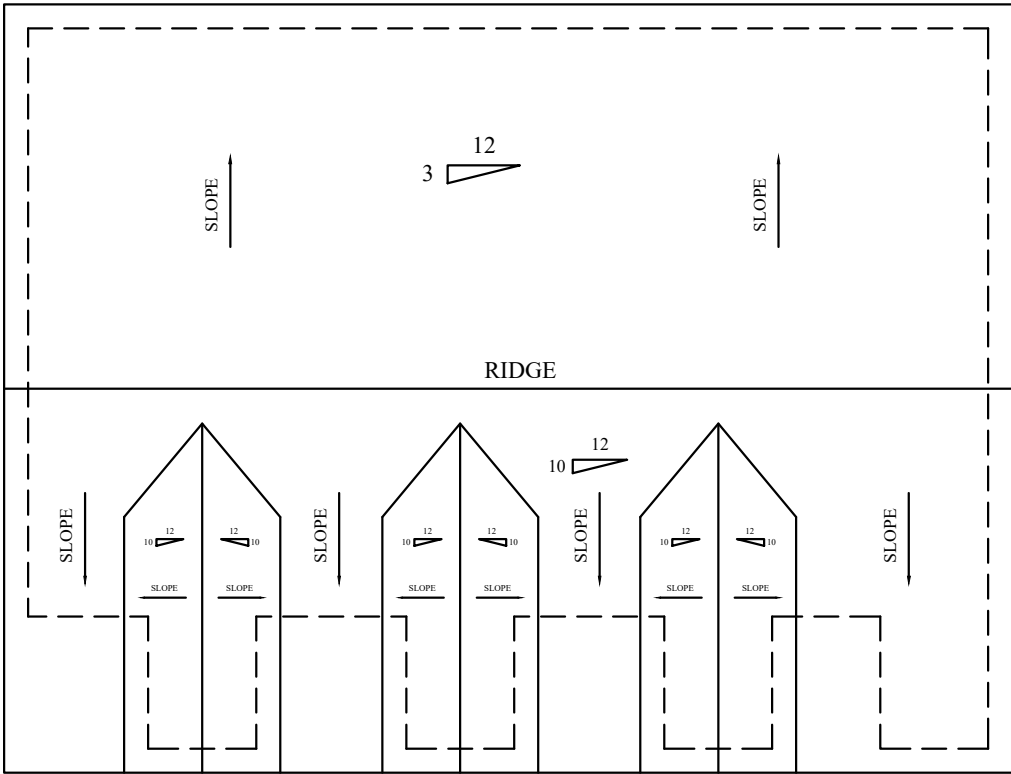
Say something about this ...



A-1.0  
1

FRONT ELEVATION VIEW

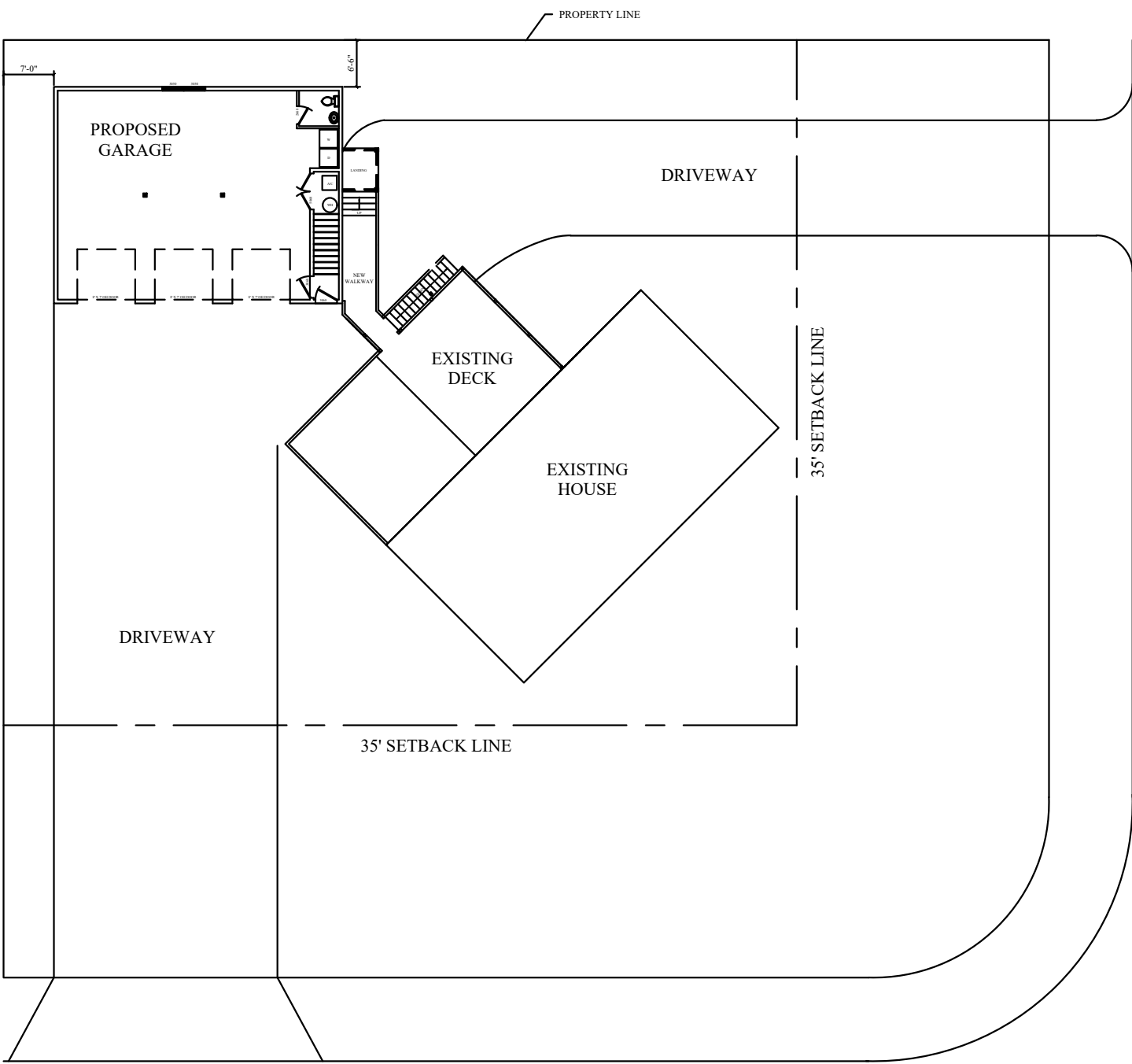
SCALE: 3/8" = 1'-0"



A-1.0  
2

ROOF PLAN

SCALE: 1/8" = 1'-0"



OSSA WINTHA DRIVE

OSSA WINTHA PLACE

# NEW GARAGE PLANS FOR THE BURCHELL FAMILY

## DRAWING INDEX

- A-1.0: TITLE SHEET / PROJECT NOTES / ROOF PLAN
- A-1.1: FOUNDATION PLAN
- A-1.2: FLOOR PLAN
- A-1.4: FRONT & RIGHT SIDE ELEVATIONS PLAN
- A-1.5: REAR & LEFT SIDE ELEVATIONS PLAN
- A-1.6: DOOR & WINDOW SCHEDULE
- A-1.7: ELECTRICAL PLAN
- A-1.8: PLOT PLAN
- D-1.0: TYPICAL DETAIL SHEET

## PROJECT NOTES

- THE DRAWINGS AND DETAILS CONTAINED HEREIN HAVE BEEN DEVELOPED FOR THE BUILDERS USE. THE DESIGNER IS NOT RESPONSIBLE FOR PROVIDING CONSTRUCTION ADMINISTRATION SERVICES OR CONDUCTING ON-SITE CONSTRUCTION VISITS.
- THESE DRAWINGS DO NOT CONSTITUTE AN APPROVAL OF FOUNDATION OR STRUCTURAL DESIGNS. THE HOME BUILDING IS RESPONSIBLE FOR ALL FOUNDATION RELATED AND STRUCTURAL FRAMING DESIGN AND COORDINATION.
- THE HOME BUILDING IS RESPONSIBLE FOR THE SELECTION, SPECIFICATION, INCORPORATION/COORDINATION, CONSTRUCTION, ERECTION AND/OR PERFORMANCE OF ALL BUILDING MATERIALS, RETAINING WALLS, FOUNDATIONS, STRUCTURAL COMPONENTS AND/OR IMPLEMENTATION OF WATERPROOFING DETAILS. THE DESIGNER DOES NOT PROVIDE AND IS NOT RESPONSIBLE FOR DIRECT OR IMPLIED WARRANTIES, PRODUCT SELECTION, INSTALLATION PERFORMANCE OR COORDINATION WITH OTHER CONSTRUCTED COMPONENTS OF THE BUILDING.
- ALL CONSTRUCTION SHALL COMPLY WITH BUILDING CODES AND REQUIREMENTS HAVING JURISDICTION OVER THE PROJECT LOCATION.
- AVOID SCALING OF THE DRAWINGS TO CONSTRUCT THE BUILDING. IF DIMENSIONS ARE IN QUESTION OR DO NOT COORDINATE, THE CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE DESIGNER PRIOR TO CONTINUING WITH THE CONSTRUCTION WORK. **IF ANY DIMENSIONS RELATED TO EXISTING CONDITIONS, THOSE DIMENSIONS SHALL BE FIELD VERIFIED.**
- DIMENSIONS FOR HEIGHT ELEVATIONS AND SECTIONS ARE CALLED FROM THE TOP OF FINISHED FLOOR ELEVATIONS.
- 1/2" MOISTURE RESISTANT GWB SHALL BE PROVIDED AT BATHROOMS, LAUNDRY ROOM AND HARD-SURFACE CEILINGS AT AREAS SUBJECT TO MOISTURE. THE HOME BUILDER IS RESPONSIBLE FOR WATER RESISTANT GWB PERFORMANCE REQUIREMENTS.
- WHERE WOOD BLOCKING IS NECESSARY FOR ADDITIONAL SUPPORT, THE CONTRACTOR SHALL PROVIDE ALL REQUIRED BRACING, WOOD BLOCKING AND PLYWOOD BACKING IN PARTITIONS, AS REQUIRED FOR ANY MILLWORK, WALL-HUNG COUNTERS, LEDGERS, SHELVEING, EQUIPMENT, ETC.
- ALL FINISH WORK SHALL BE SMOOTH, FREE FROM ABRASION AND/OR TOOL MARKS ON ALL EXPOSED SURFACES. ALL MATERIALS ARE TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- BEAMS, HEADERS, AND LINTELS SHALL BE SIZED BY MANUFACTURER'S ENGINEER. A RECORD COPY SHALL BE SENT TO THE DESIGNER FOR REVIEW AND REFERENCE ONLY.
- ALL DOOR JAMBS AND WINDOW OPENINGS SHALL BE DOUBLE STUDDED.
- WINDOW DESIGNATIONS ARE PROVIDED AS THE OUTER SASH DIMENSIONS OF THE UNIT - "FRAMED WIDTH" (FW). WHERE IT DOES NOT ADVERSELY AFFECT THE APPEARANCE OF THE HOUSE, AND DOES NOT AFFECT CRITICAL DIMENSIONS, THE WINDOW SIZES SHOWN ON THE WINDOW MAY BE MODIFIED SLIGHTLY TO BETTER SUIT A STANDARD WINDOW SIZE BY THE SELECTED MANUFACTURER.
- OWNER SHALL REVIEW AND APPROVE ALL POWER, CABLE, AND TELEPHONE OUTLET LOCATIONS PRIOR TO INSTALLATION. THE OWNER WILL NOT BE RESPONSIBLE FOR RELOCATION OF OUTLETS, ETC. SHOULD THE CONTRACTOR PROCEED WITH INSTALLATION PRIOR TO APPROVAL.
- PIPING LOCATED ABOVE GRADE AND INSIDE THE BUILDING SHALL BE CONCEALED IN CHASES OR FURRED WALL SPACES. PROVIDE INSULATION AS REQUIRED.
- CONTRACTOR TO VERIFY LOCATIONS OF THERMOSTATS AND ELECTRICAL FLOOR OUTLETS (IF ANY) WITH OWNER PRIOR TO PLACEMENT.
- THE ELECTRICAL CONTRACTOR SHALL SIZE THE ELECTRICAL EQUIPMENT SO THAT IT MEETS OR EXCEEDS THE LOCAL CODE REQUIREMENTS.
- THE HVAC CONTRACTOR SHALL SIZE THE HEATING AND COOLING LOADS SO THAT THEY MEET OR EXCEED REQUIREMENTS BASED ON LOCAL CODES, CLIMATIC CONDITIONS, BUILDING ORIENTATION, AND INTERIOR VOLUMES. PROVIDE FOR PROPER ZONING OF CONDITIONED AIR AS NECESSARY FOR A BALANCED SYSTEM.
- THE PLUMBING CONTRACTOR SHALL INSTALL ALL PLUMBING WORK IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS.

## GENERAL NOTES

- INTERNATIONAL ERRORS AND OMISSIONS:** SHOULD ANY OMISSION, DISCREPANCY, AMBIGUITY, AND/OR ERROR IN THE DRAWINGS BE DISCOVERED OR SHOULD THERE BE ANY DOUBT AS TO THE MEANING OF INTENT THEREOF, THE CONTRACTOR IS TO REPORT SUCH FINDINGS TO THE DESIGNER UPON DISCOVERY. IF DURING THE COURSE OF CONSTRUCTION, DRAWING CONFLICTS ARE FOUND WITH THE EXISTING CONDITIONS, THE DESIGNER WILL INTERPRET OR CONSTRUE THE DRAWING(S) AND/OR EXISTING CONDITIONS SO AS TO SECURE THE MOST SUBSTANTIAL. COMPLETE AND ACCURATE PERFORMANCE OF THE WORK.
- AS-BUILT INFORMATION (IF ANY) SHOWN ON THESE DRAWINGS IS APPROXIMATE. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND/OR DIMENSIONS PRIOR TO BEGINNING DEMOLITION AND/OR CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE REPRESENTED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE DESIGNERS ATTENTION FOR CLARIFICATION.
- DIMENSIONS ON PLANS ARE TO THE APPROXIMATE FACE OF MATERIAL UNLESS SPECIFICALLY NOTED OTHERWISE. EXISTING DIMENSIONS (IF ANY), SITE CONDITIONS, PIPING, UTILITIES AND HARDSCAPE COMPONENTS SHOULD BE THOROUGHLY RESEARCHED PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING AND MAINTAINING THE INTEGRITY OF THE EXISTING CONDITIONS NOT AFFECTED BY THIS PROJECTS SCOPE OF WORK. IN THE CASE THAT DAMAGE OCCURS OR AN UNSAFE CONDITION DEVELOPS DUE TO CONSTRUCTION, THE CONTRACTOR IS TO REPAIR/REPLACE SUCH CONDITION AS APPROVED BY THE OWNER.
- ADJACENT WORK, INCLUDED UNDER OTHER CONSTRUCTION CONTRACTS, WHICH IS DAMAGED DURING EXECUTION OF THIS CONTRACT WORK, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR CAUSING THE DAMAGE. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR PRIOR TO FINAL ACCEPTANCE OF THE CONTRACT WORK.
- CONTRACTOR SHALL VERIFY AND COORDINATE SPECIFIC REQUIREMENTS FOR ANY/ALL OWNER-PROVIDED AND/OR INSTALLED EQUIPMENT DETERMINED PRIOR TO CONSTRUCTION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK INCLUDED IN THE CONTRACT DRAWINGS AND SPECIFICATIONS (IF ANY). CONTRACTOR TO INCLUDE IN BID, ALL MISCELLANEOUS MATERIAL REQUIRED FOR A COMPLETE INSTALLATION AND CONSTRUCTION OF THE DESIGN INTENT AS DEFINED IN THE CONTRACT DOCUMENTS. MISCELLANEOUS MATERIALS ARE DEFINED AS, BUT NOT LIMITED TO: FASTENERS, FURRING STRIPS, BLOCKING, BRACING, SAFETY EQUIPMENT AND OTHER MATERIALS NOT SPECIFICALLY INDICATED BUT REQUIRED FOR A COMPLETE INSTALLATION.
- IT IS ASSUMED THAT THE EXISTING SOILS ARE ADEQUATE TO SUPPORT THE PROPOSED BUILDING DESIGN. FOUNDATIONS, SIDEWALKS AND OTHER RELATED ITEMS HAVE BEEN DESIGNED FOR ALLOWABLE SOIL BEARING PRESSURE OF 2500 PSF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING INSPECTION OF SOIL CONDITIONS AFTER EXCAVATION (USING OWNERS TESTING SERVICE) TO VERIFY THAT BEARING CAPACITY IS SUFFICIENT AND TO MAINTAIN EXCAVATION IN SUCH A WAY THAT THE BEARING CAPACITY IS NOT COMPROMISED DURING PLACEMENT OF FOOTING.
- COORDINATE EXISTING WATER (DOMESTIC AND FIRE), SANITARY SEWER AND ELECTRICAL TRANSFORMER AND/OR SERVICE EQUIPMENT LOCATIONS WITH LOCAL POWER COMPANY AND/OR AUTHORITIES HAVE JURISDICTION.
- PROVIDE CONTROL JOINTS IN GYPSUM WALLBOARD AT 30'-0" O.C. (MAXIMUM PER MANUFACTURER RECOMMENDATION). WHERE POSSIBLE, LOCATE JOINTS ABOVE DOOR FRAMES. IF APPLICABLE, WHEN REFINISHING EXISTING GWB PARTITIONS, COORDINATE ALL NEW CONTROL JOINTS WITH EXISTING CONTROL JOINTS, WHERE THEY OCCUR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND PROVIDING REQUIRED BLOCKING FOR ALL WALL MOUNTED EQUIPMENT, MILLWORK AND FIXTURES. FIELD COORDINATE.
- THE ENTIRE STRUCTURE SHALL BE UN-SPRINKLERED IN ACCORDANCE WITH APPLICABLE CODES.
- ALL EXTERIOR DOORS ARE TO HAVE WEATHER STRIPPING WITH THRESHOLDS SET IN CAULKING BED.
- EXTERIOR GRADE SILICONE SEALANT BY APPROVED MANUFACTURER IS TO BE APPLIED TO ALL EXTERIOR MATERIAL JOINTS, INTERSECTIONS, BREAKS AND ANY OTHER POTENTIAL PASSAGE OF MOISTURE INTO THE BUILDING, UNLESS NOTED OTHERWISE. THE PERIMETERS OF ALL DOORS, STOREFRONT, CURTAIN WALL AND/OR LOUVERS ARE TO BE SEALED WITH AN APPROVED SILICONE SEALANT IN THEIR ENTIRETY.
- CONTRACTOR SHALL PROVIDE FLASHING FOR ALL WINDOWS AND DOOR JAMBS, SILLS AND HEADS.
- INSULATION R-VALUES FOR ASSEMBLIES ARE TO MEET REQUIREMENTS SPECIFIED HEREIN OR MANUFACTURER STANDARD INSULATION RATINGS, WHICHEVER IS GREATER.
- ALL METAL GUTTERS AND DOWNSPOUTS (IF ANY) GRAVEL STOPS, FASCIAS, FLASHING, LOUVERS, SCREENS, METAL STRUCTURES AND ANY ROOF PENETRATIONS ARE TO BE INSTALLED AND FABRICATED AS PER SMACNA STANDARDS OR IN ACCORDANCE WITH ROOFING MANUFACTURER'S RECOMMENDATIONS AS REQUIRED TO OBTAIN MANUFACTURER'S WARRANTIES.
- ALL SIDEWALKS AND CONCRETE PADS ARE TO BE LIGHT BROOM FINISHED, UNLESS DETERMINED OTHERWISE BY THE OWNER. ALL SIDEWALKS CONCRETE COLORS ARE TO MATCH UNLESS STAINING IS REQUIRED BY THE OWNER.
- PROVIDE MINIMUM 15 MIL VAPOR BARRIER UNDER ALL INTERIOR SLAB-ON-GRADE CONCRETE.



P. O. BOX 110  
CLEVELAND, AL. 35049  
(205) 559-2773  
RODDAMKEVIN@GMAIL.COM

PROJECT:  
**THE BURCHELL GARAGE**

2711 OSSA WINTHA DRIVE - VESTAVIA HILLS, AL 35243

| SPACE:                | SQ.FT. |
|-----------------------|--------|
| FINISHED:             |        |
| 2 <sup>ND</sup> FLOOR | 1,055  |
| UNFINISHED:           |        |
| GARAGE                | 1,200  |

DRAWN BY:  
KEVIN L. RODDAM

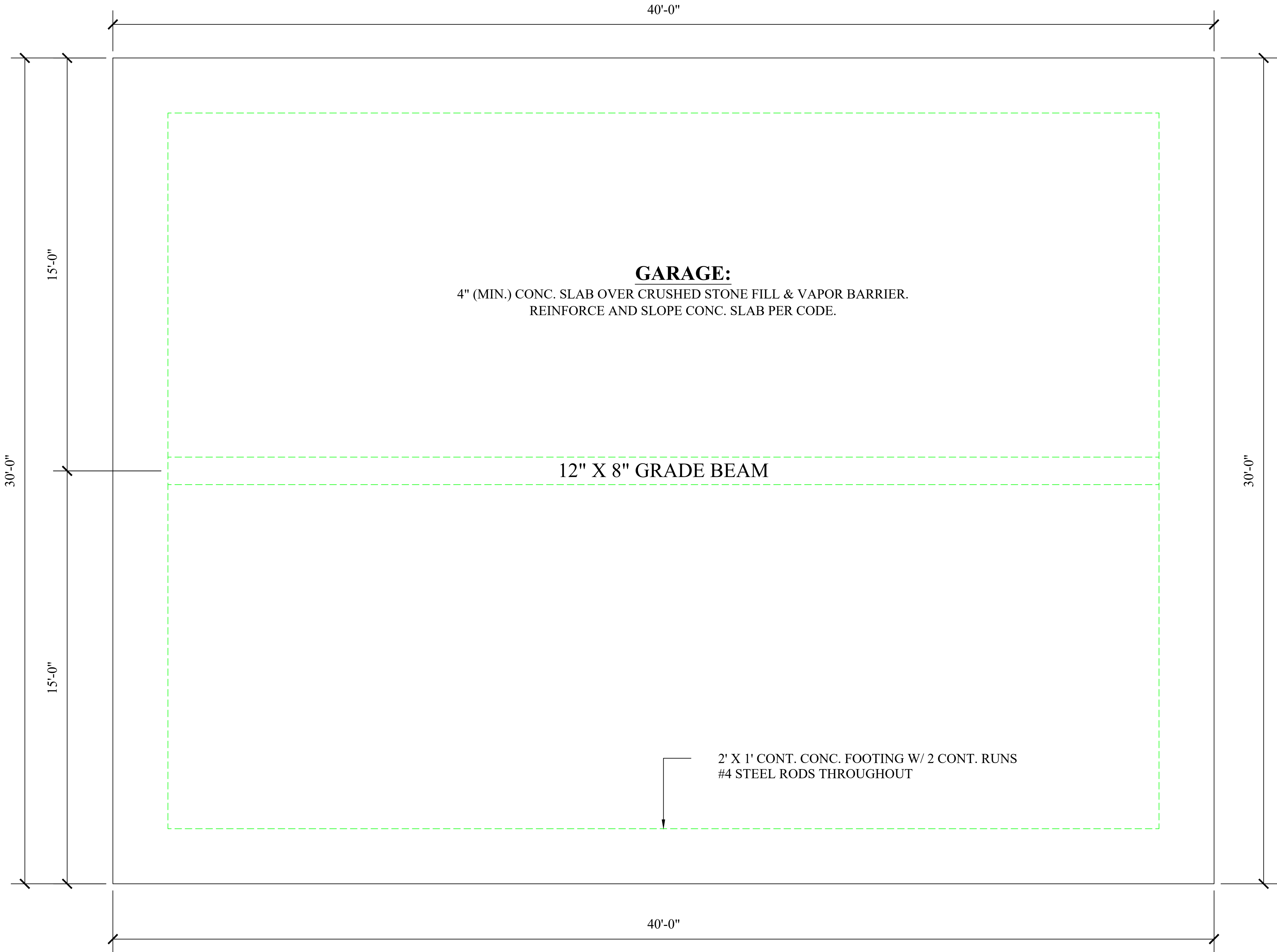
DATE:  
JANUARY 15, 2025

| REVISIONS |       |
|-----------|-------|
| NO:       | DATE: |
| 1         |       |
| 2         |       |
| 3         |       |

SCALE:  
AS NOTED

SHEET TITLE:  
COVER  
SHEET

SHEET NO.  
**A-1.0**



PROJECT:

# THE BURCHELL GARAGE

PROJECT LOCATION:  
2711 OSSA WINTHA DR.  
VESTAVIA HILLS, AL  
35243

DRAWN BY:  
KEVIN L. RODDAM

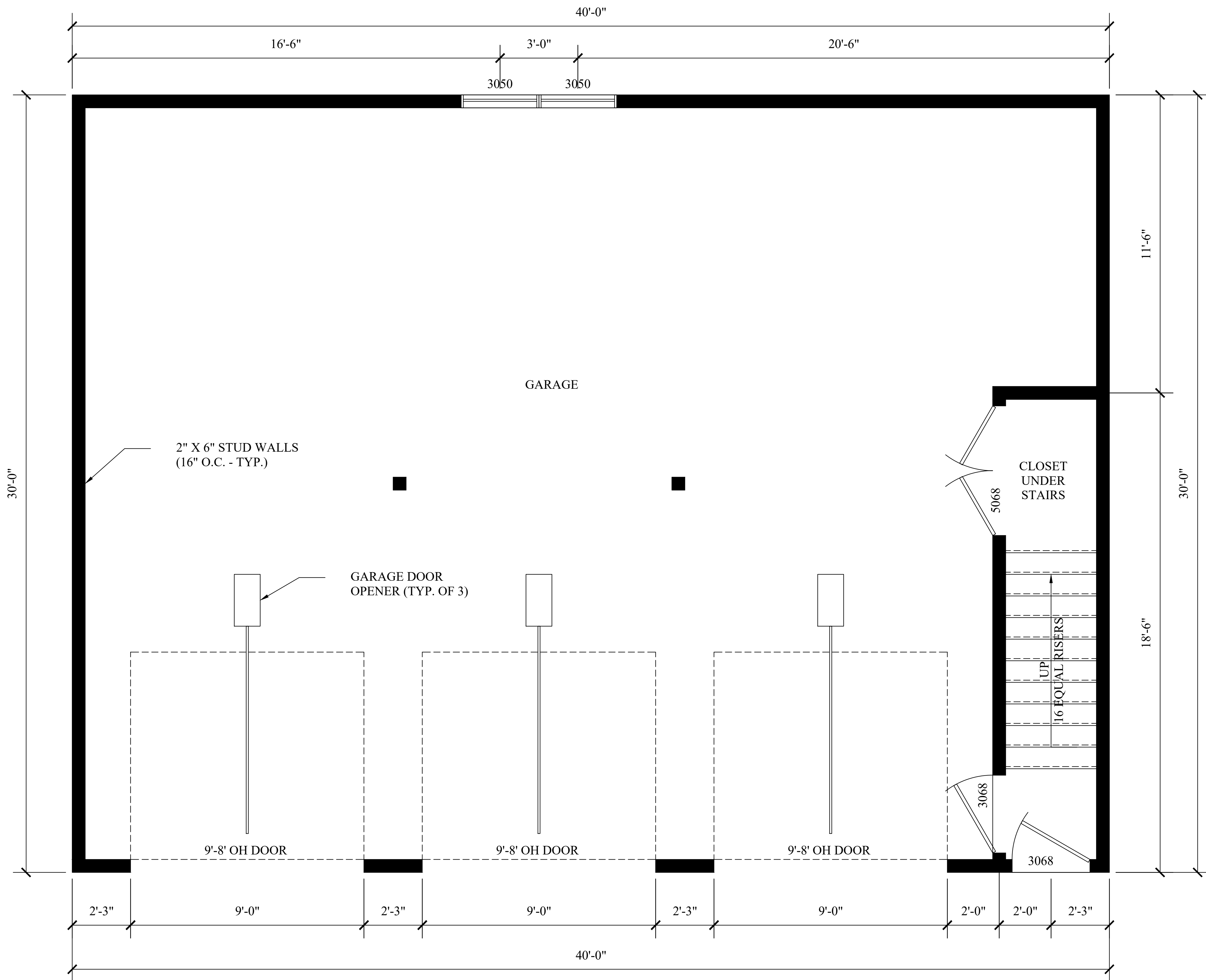
DATE:  
JANUARY 15, 2025

| REVISIONS |       |
|-----------|-------|
| NO:       | DATE: |
| 1         |       |
| 2         |       |
| 3         |       |

SCALE:  
1/2" = 1'-0"

SHEET TITLE:  
FOUNDATION  
PLAN

SHEET NO.  
**A-1.1**



PROJECT:  
**THE BURCHELL GARAGE**

PROJECT LOCATION:  
2711 OSSA WINTHA DR.  
VESTAVIA HILLS, AL  
35243

DRAWN BY:  
KEVIN L. RODDAM

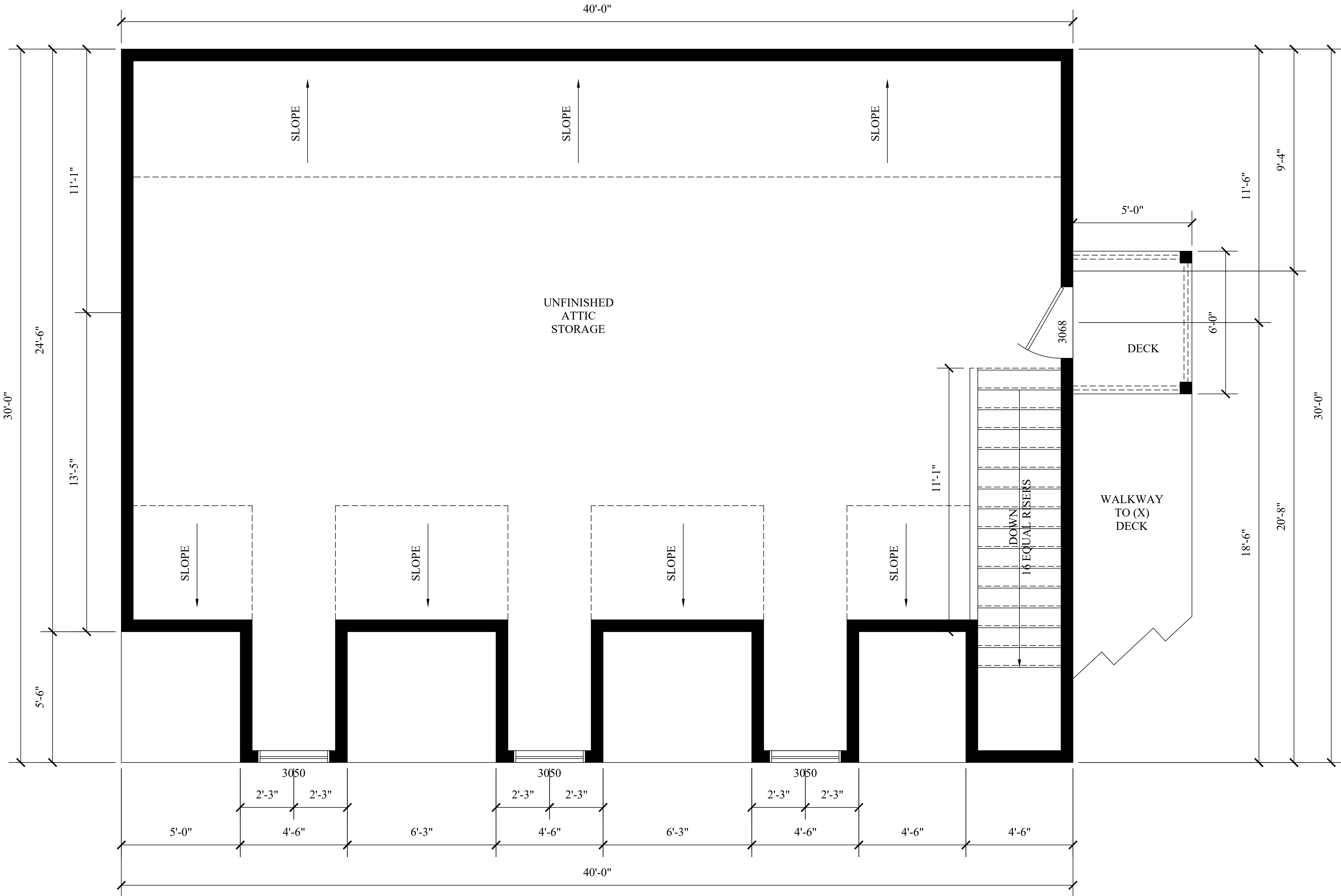
DATE:  
JANUARY 15, 2025

| REVISIONS |       |
|-----------|-------|
| NO:       | DATE: |
| 1         |       |
| 2         |       |
| 3         |       |

SCALE:  
1/2" = 1'-0"

SHEET TITLE:  
1<sup>ST</sup> FLOOR  
PLAN

SHEET NO.  
**A-1.2**





P. O. BOX 110  
CLEVELAND, AL 35049  
(205) 559-2773  
RODDAMKEVIN@GMAIL.COM

PROJECT:

# THE BURCHELL GARAGE

PROJECT LOCATION:

2711 OSSA WINTHA DR.  
VESTAVIA HILLS, AL 35243

DRAWN BY:

KEVIN L. RODDAM

DATE:

JANUARY 15, 2025

| REVISIONS |       |
|-----------|-------|
| NO:       | DATE: |
| 1         |       |
| 2         |       |
| 3         |       |

SCALE:

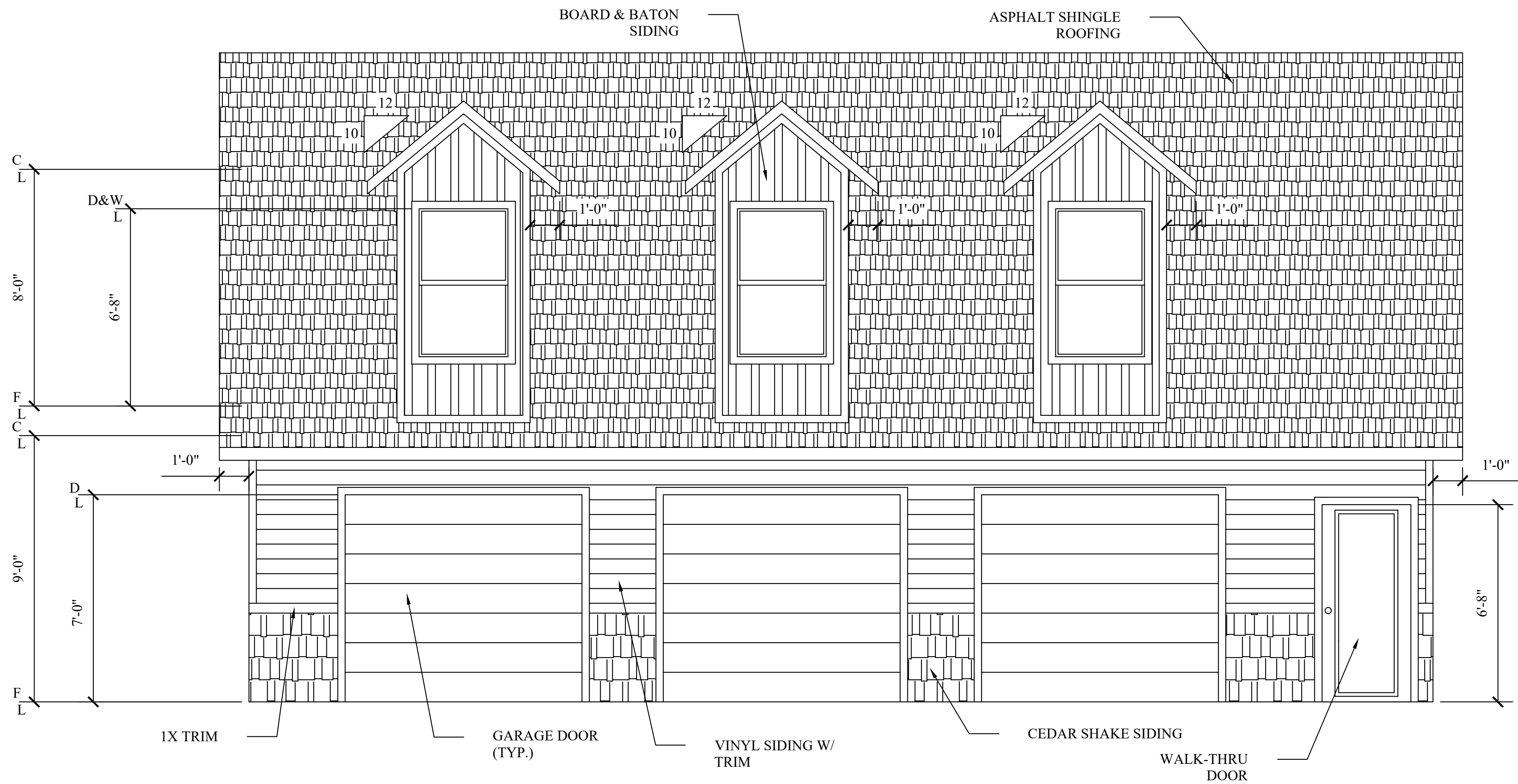
1/2" = 1'-0"

SHEET TITLE:

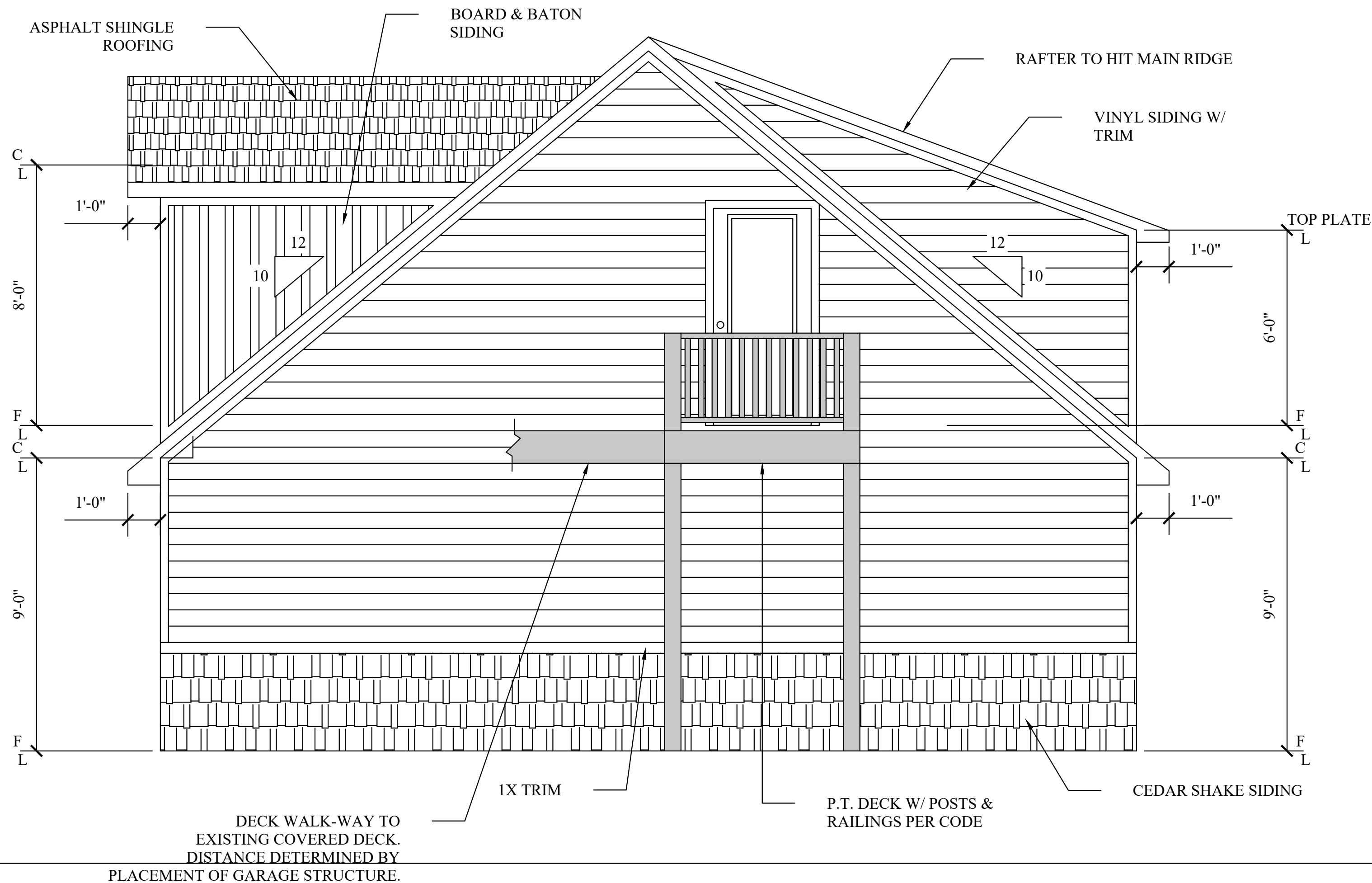
2<sup>ND</sup> FLOOR  
PLAN

SHEET NO.

## A-1.3



FRONT ELEVATION VIEW  
SCALE: 3/8" = 1'-0"



RIGHT SIDE ELEVATION VIEW  
SCALE: 3/8" = 1'-0"

PROJECT:  
**THE BURCHELL GARAGE**

PROJECT LOCATION:  
2711 OSSA WINTHA DR.  
VESTAVIA HILLS, AL  
35243

DRAWN BY:  
KEVIN L. RODDAM

DATE:  
JANUARY 15, 2025

REVISIONS

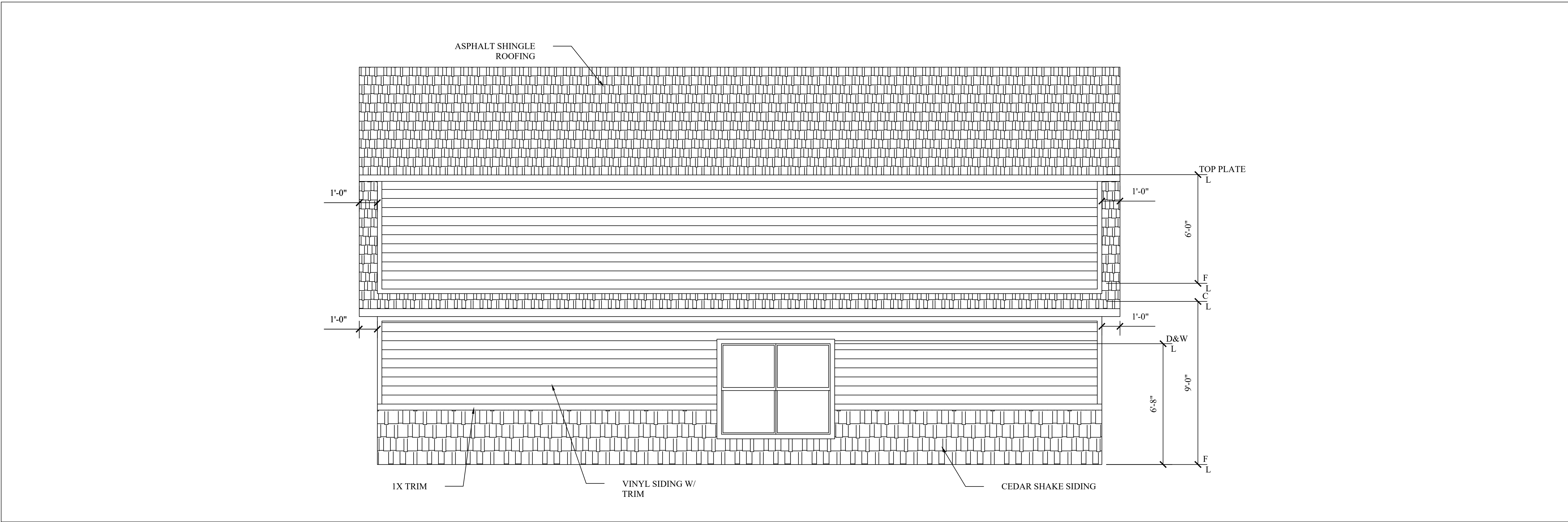
| NO: | DATE: |
|-----|-------|
| 1   |       |
| 2   |       |
| 3   |       |

SCALE:  
AS NOTED

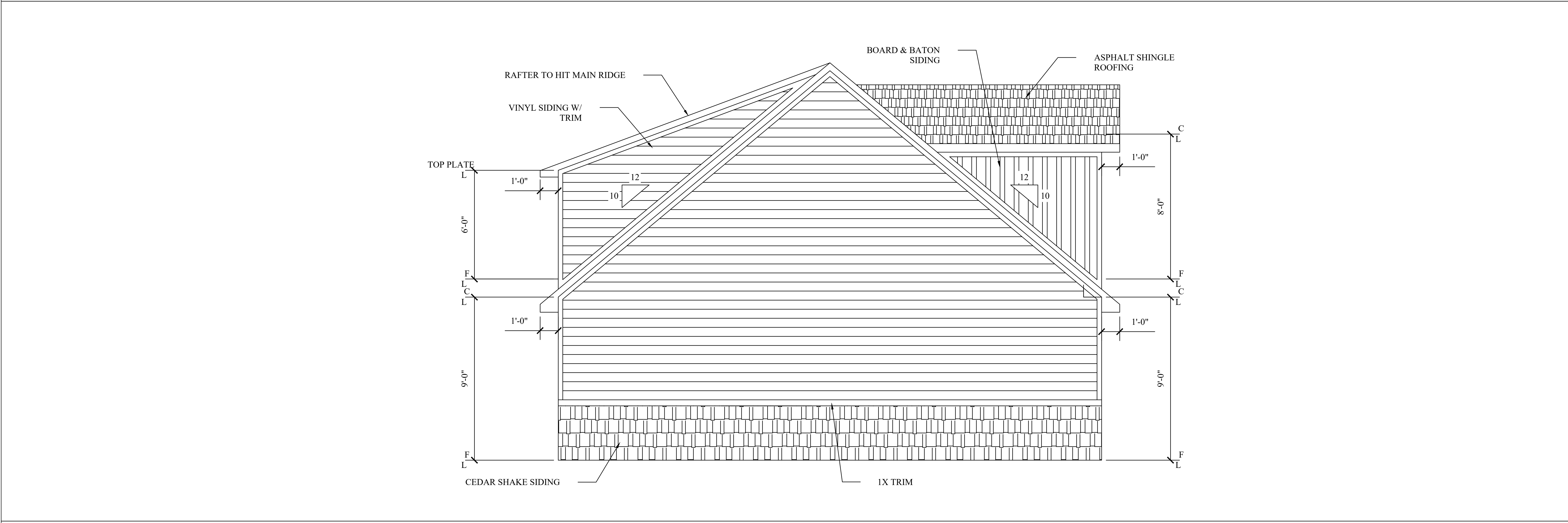
SHEET TITLE:  
ELEVATIONS  
PLAN

SHEET NO.

**A-1.4**



REAR ELEVATION VIEW  
SCALE: 3/8" = 1'-0"



LEFT SIDE ELEVATION VIEW  
SCALE: 3/8" = 1'-0"

PROJECT:  
**THE BURCHELL GARAGE**

PROJECT LOCATION:  
2711 OSSA WINTHA DR.  
VESTAVIA HILLS, AL 35243

DRAWN BY:  
KEVIN L. RODDAM

DATE:  
JANUARY 15, 2025

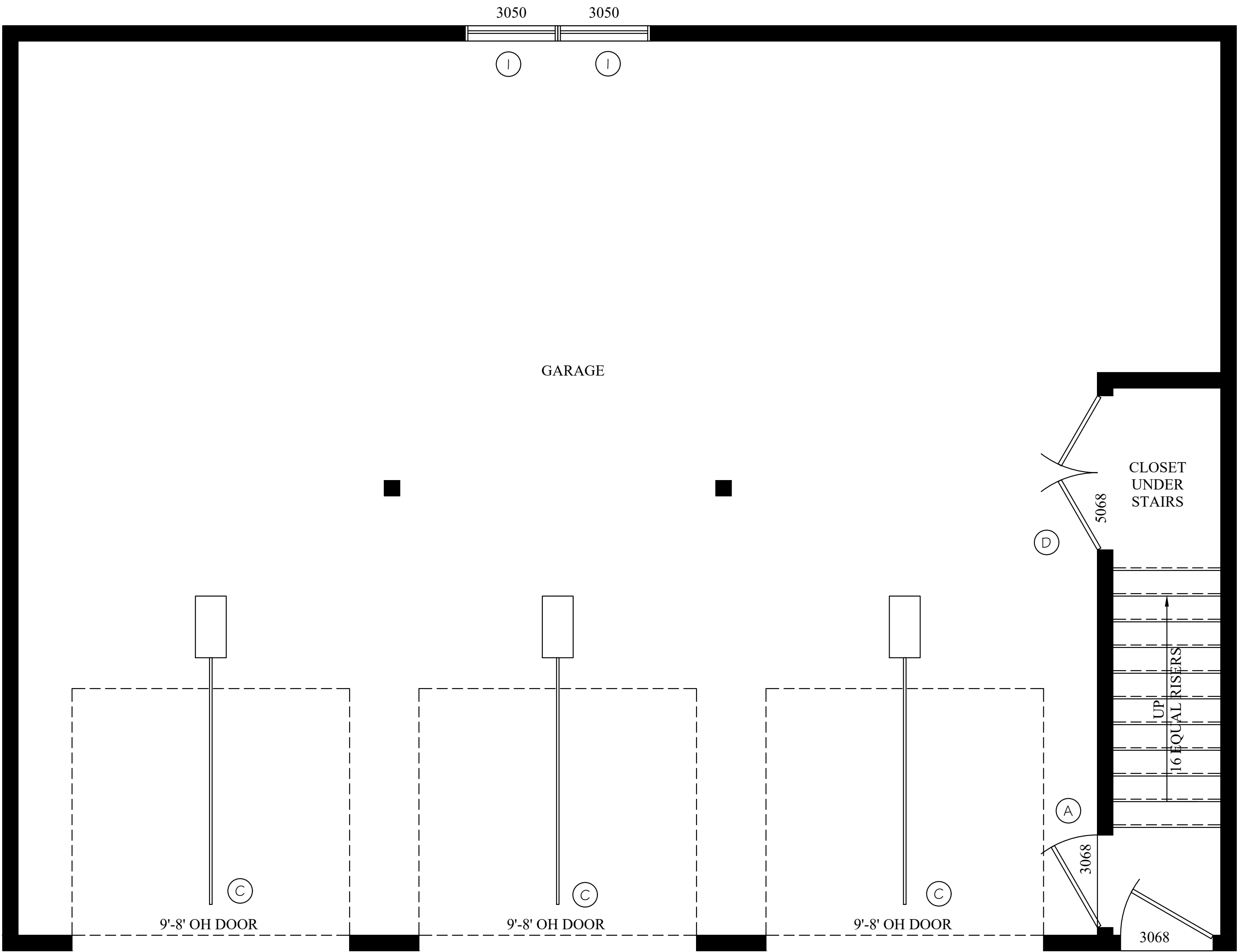
| REVISIONS |       |
|-----------|-------|
| NO:       | DATE: |
| 1         |       |
| 2         |       |
| 3         |       |

SCALE:  
AS NOTED

SHEET TITLE:  
ELEVATIONS  
PLAN

SHEET NO.

**A-1.5**



1<sup>ST</sup> FLOOR PLAN

SCALE: 3/8" = 1'-0"

A-1.6  
1

WINDOW SCHEDULE

| MARK | QTY. | STYLE                | SIZE  |        | TRANSOM |        | MATERIAL |
|------|------|----------------------|-------|--------|---------|--------|----------|
|      |      |                      | WIDTH | HEIGHT | WIDTH   | HEIGHT |          |
| ①    | 5    | OWNERS<br>DESCRETION | 3'-0" | 5'-0"  |         |        | VINYL    |
| ②    |      |                      |       |        |         |        |          |
| ③    |      |                      |       |        |         |        |          |
| ④    |      |                      |       |        |         |        |          |
| ⑤    |      |                      |       |        |         |        |          |
| ⑥    |      |                      |       |        |         |        |          |
| ⑦    |      |                      |       |        |         |        |          |

DH = DOUBLE HUNG    SH = SINGLE HUNG    TR = TRANSOM  
GL = GLIDER    AW = AWNING    SK = SKYLIGHT

NOTES:

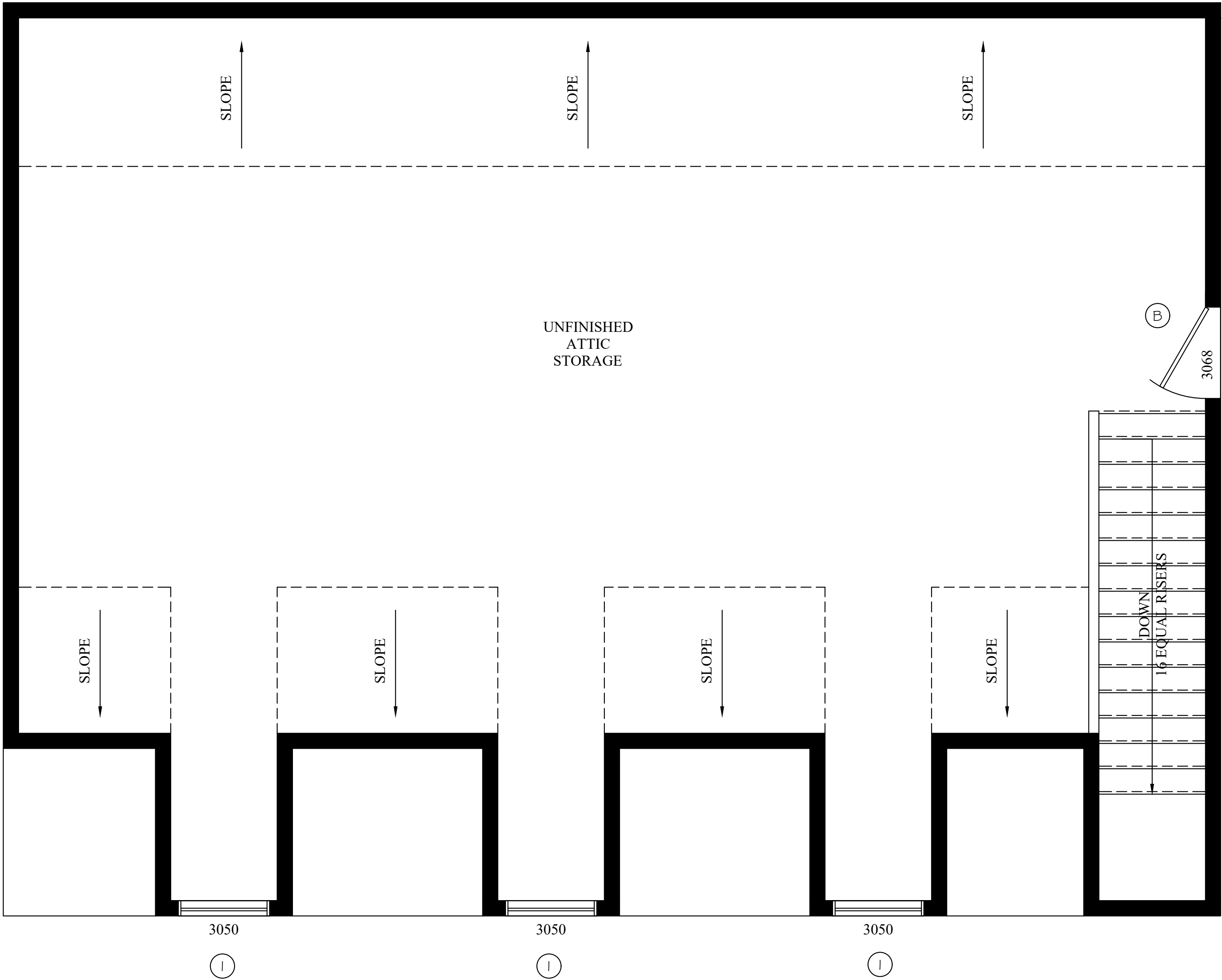
- CONTRACTOR TO CHECK AND VERIFY OPENING SIZES AND LAYOUT OF DOORS & WINDOWS BEFORE ORDERING AND INSTALLATION. MAKE ADJUSTMENTS AS NEEDED WITH THE DIRECTION OF THE OWNER.

DOOR SCHEDULE

| MARK | QTY. | SIZE          | TRANSOM | INTERIOR<br>EXTERIOR | MATERIAL         | SWING      | LOCKSET | TYPE |
|------|------|---------------|---------|----------------------|------------------|------------|---------|------|
| Ⓐ    | 1    | 3'-0" X 6'-8" |         | EXTERIOR             | OWNERS<br>CHOICE | LEFT HUNG  | KEYED   | HG   |
| Ⓑ    | 2    | 3'-0" X 6'-8" |         | EXTERIOR             | OWNERS<br>CHOICE | RIGHT HUNG | KEYED   | HG   |
| Ⓒ    | 3    | 9' X 8'       |         | EXTERIOR             | OWNERS<br>CHOICE |            | KEYED   | GAR  |
| Ⓓ    | 1    | 5'-0" X 6'-8" |         | INTERIOR             | H.C. WD.         | FR         |         | HG   |
| Ⓔ    |      |               |         |                      |                  |            |         |      |
| Ⓕ    |      |               |         |                      |                  |            |         |      |
| Ⓖ    |      |               |         |                      |                  |            |         |      |
| Ⓗ    |      |               |         |                      |                  |            |         |      |
| Ⓙ    |      |               |         |                      |                  |            |         |      |
| Ⓚ    |      |               |         |                      |                  |            |         |      |
| Ⓛ    |      |               |         |                      |                  |            |         |      |
| Ⓜ    |      |               |         |                      |                  |            |         |      |
| Ⓝ    |      |               |         |                      |                  |            |         |      |

STL = STEEL    INS = INSULATED    S.G. = SAFETY GLASS    SC = SCREEN  
FG = FIBERGLASS    HC = HOLLOW CORE    WD = WOOD

HG = HINGED    PC = POCKET    SL = SLIDER    BF = BI=FOLD  
FR = FRENCH    GAR = GARAGE



2<sup>ND</sup> FLOOR PLAN

SCALE: 3/8" = 1'-0"

A-1.6  
2

PROJECT:

THE BURCHELL GARAGE

PROJECT LOCATION:

2711 OSSA WINTHA DR.  
VESTAVIA HILLS, AL  
35243

DRAWN BY:

KEVIN L. RODDAM

DATE:

JANUARY 15, 2025

REVISIONS

| NO: | DATE: |
|-----|-------|
| ①   |       |
| ②   |       |
| ③   |       |

SCALE:

AS NOTED

SHEET TITLE:

DOOR / WINDOW  
SCHEDULE

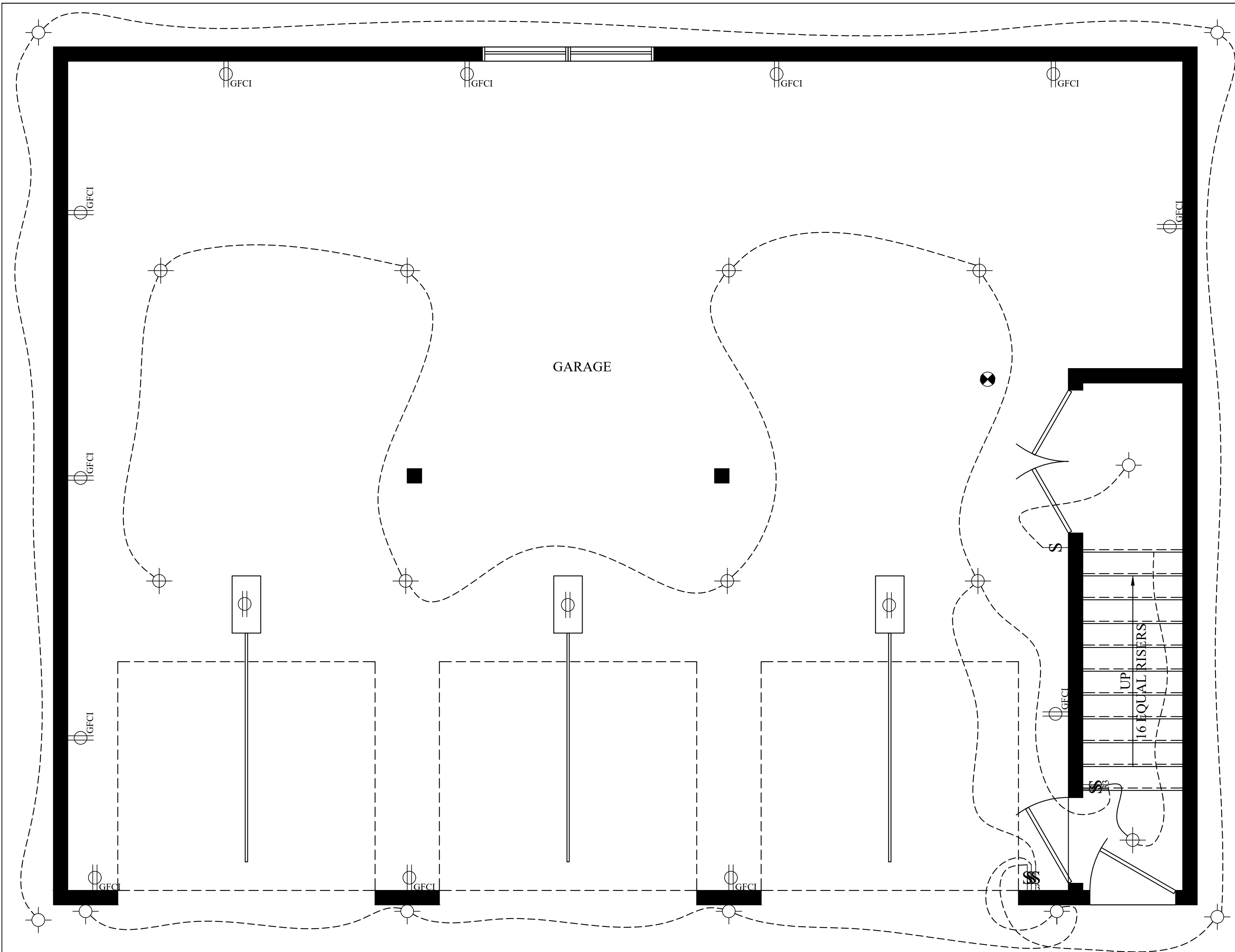
SHEET NO.

A-1.6



**CORNERSTONE**  
— HOME DESIGN, LLC. —

P.O. BOX 110  
CLEVELAND, AL 35049  
(205) 559-2773  
RODDAMKEVIN@GMAIL.COM



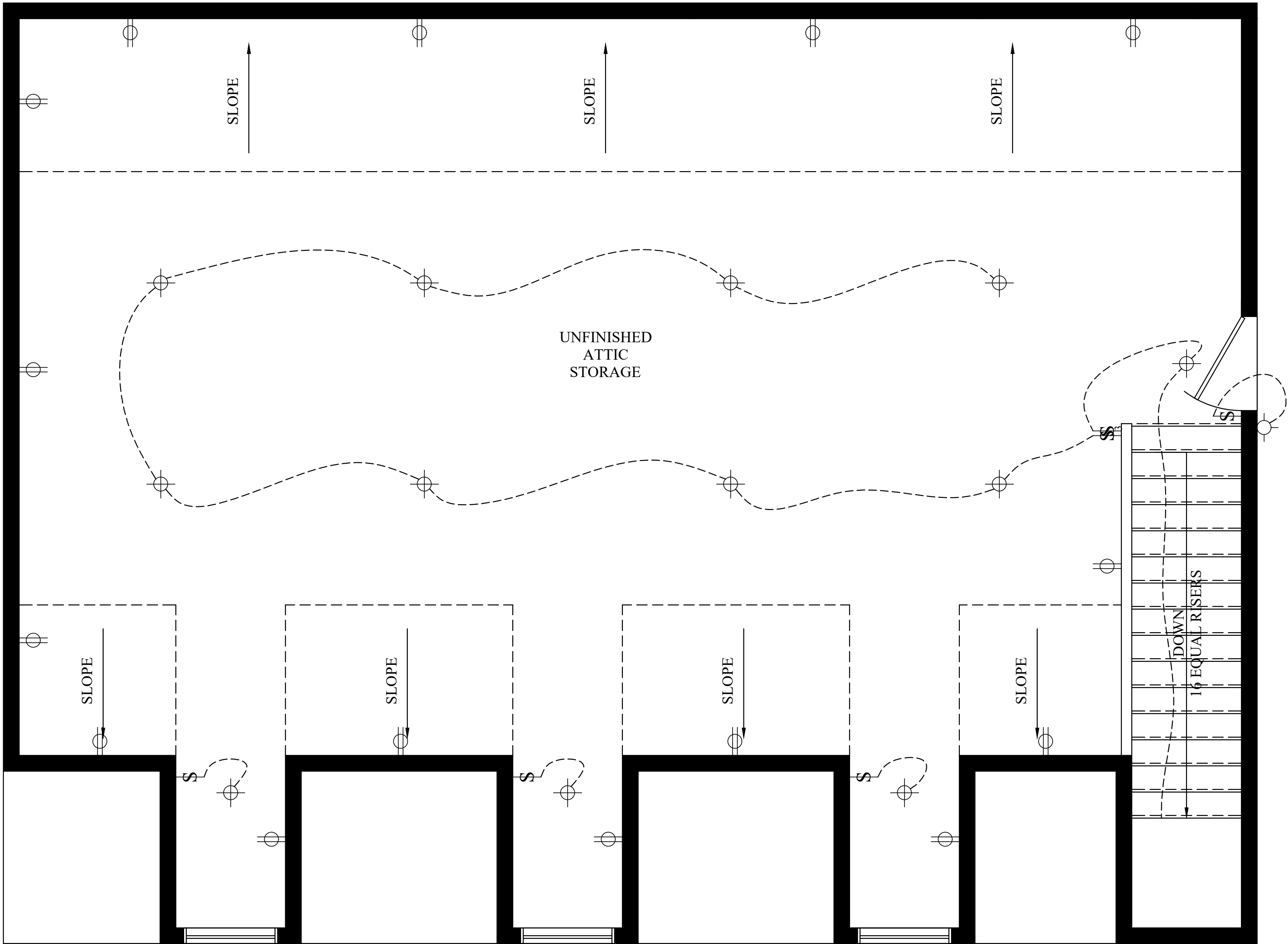
A-1.6  
1

1<sup>ST</sup> FLOOR PLAN

SCALE: 3/8" = 1'-0"

- NOTES:**
1. ANY ADDITIONAL ELECTRICAL NEEDS, APART FROM WHAT IS INDICATED ON THIS PLAN, TO BE DISCUSSED WITH THE OWNER.

| LEGEND |                      |
|--------|----------------------|
|        | LIGHT                |
|        | CAN LIGHT            |
|        | CEILING EXHAUST FAN  |
|        | CEILING FAN          |
|        | SMOKE ALARM          |
|        | SWITCH               |
|        | 3 WAY SWITCH         |
|        | DIMMER SWITCH        |
|        | 3 WAY DIMMER SWITCH  |
|        | OUTLET               |
|        | 220 VOLT OUTLET      |
|        | GFCI OUTLET          |
|        | OUTLET/CABLE HOOK-UP |



A-1.7  
2

2<sup>ND</sup> FLOOR PLAN

SCALE: 3/8" = 1'-0"



**CORNERSTONE**  
— HOME DESIGN, LLC. —

P.O. BOX 110  
CLEVELAND, AL 35049  
(205) 559-2773  
RODDAMKEVIN@GMAIL.COM

PROJECT:

# THE BURCHELL GARAGE

PROJECT LOCATION:

2711 OSSA WINTHA DR.  
VESTAVIA HILLS, AL 35243

DRAWN BY:

KEVIN L. RODDAM

DATE:

JANUARY 3, 2025

| REVISIONS |       |
|-----------|-------|
| NO:       | DATE: |
| 1         |       |
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SCALE:

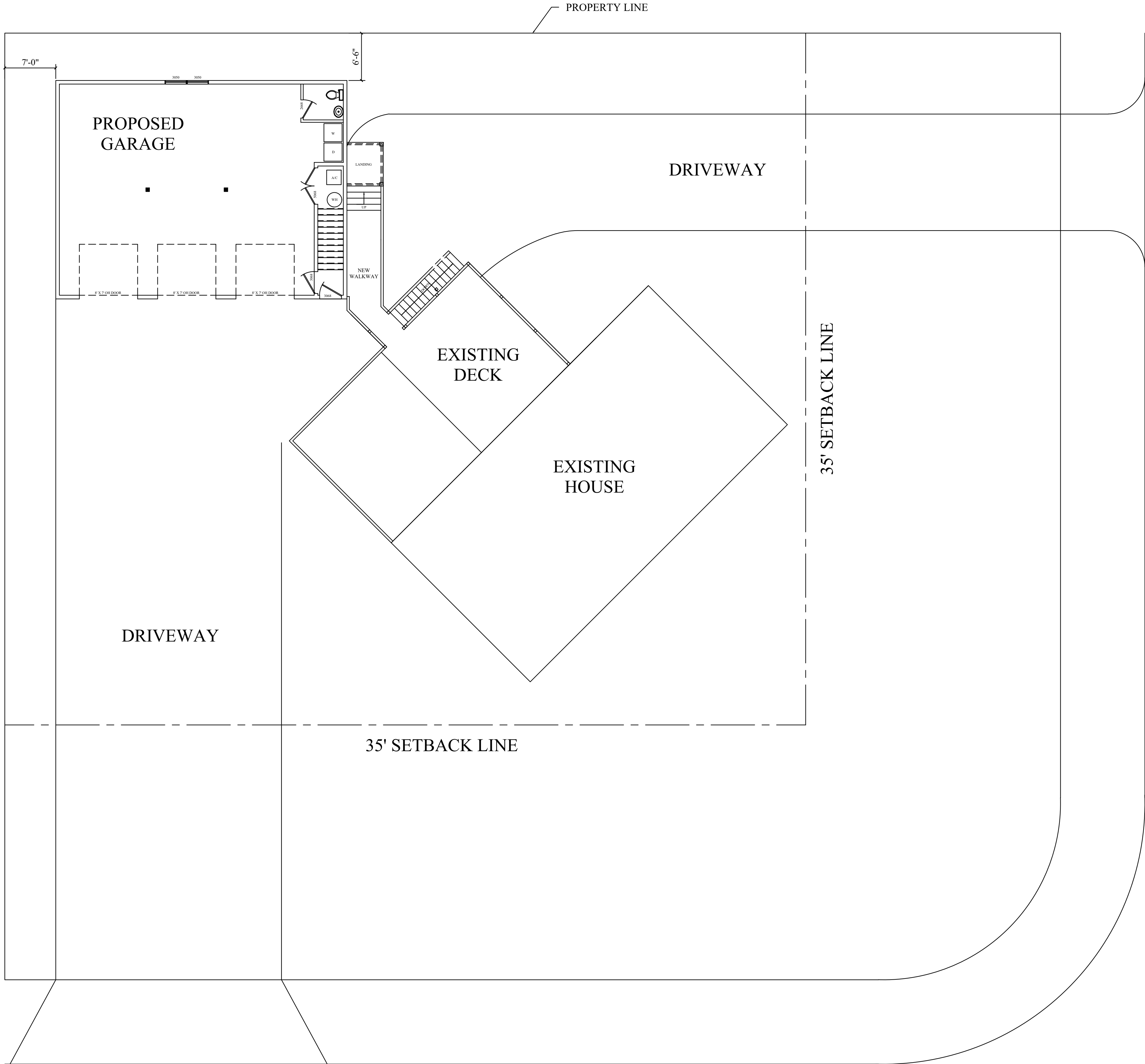
1/4" = 1'-0"

SHEET TITLE:

ELECTRICAL PLAN

SHEET NO.

A-1.7



OSSA WINTHA PLACE

OSSA WINTHA DRIVE



**CORNERSTONE**  
— HOME DESIGN, LLC. —

P. O. BOX 110  
CLEVELAND, AL 35049  
(205) 559-2773  
RODDAMKEVIN@GMAIL.COM

PROJECT:

THE BURCHELL GARAGE

PROJECT LOCATION:

2711 OSSA WINTHA DR.  
VESTAVIA HILLS, AL  
35243

DRAWN BY:

KEVIN L. RODDAM

DATE:

JANUARY 15, 2025

| REVISIONS |       |
|-----------|-------|
| NO:       | DATE: |
| 1         |       |
| 2         |       |
| 3         |       |

SCALE:

1/8" = 1'-0"

SHEET TITLE:

PLOT PLAN

SHEET NO.

A-1.8



- 
- P. O. BOX 110  
CLEVELAND, OH 44109  
(205) 559-2273  
RODDAMKEVIN@GMAIL.COM

**PROJECT:**

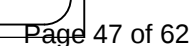
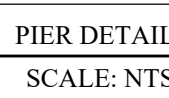
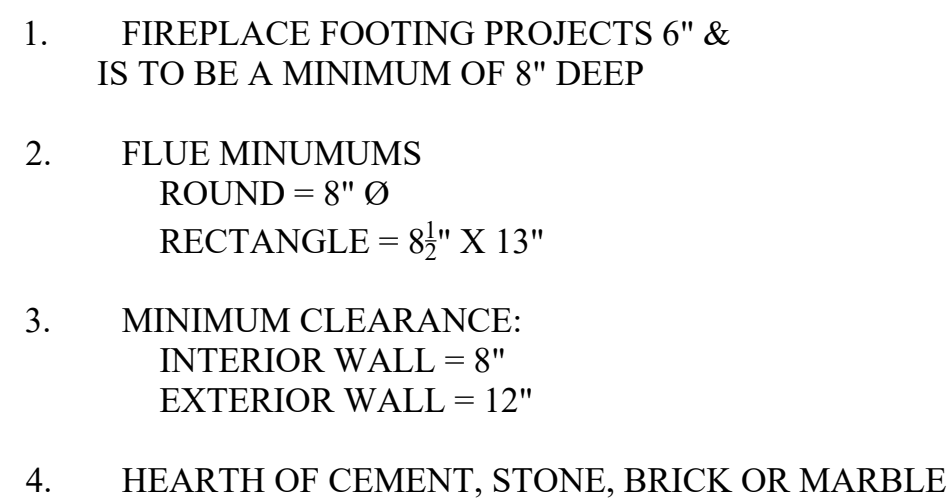
**PROJECT LOCATION:**

DATE:  
JANUARY 15, 2025

|                                                                                       |       |
|---------------------------------------------------------------------------------------|-------|
| NO:                                                                                   | DATE: |
|  |       |
|  |       |
|  |       |
|                                                                                       |       |

SHEET TITLE:  
TYPICAL  
DETAILS  
SHEET

## D1.0







**City of Vestavia Hills  
Office of the City Clerk**

**OWNER AFFIDAVIT (This form must be notarized):**

I do hereby declare that the following statements are correct concerning the subject property located at: 2711 BSSA WINTHA DR., Vestavia Hills, Alabama and that statements submitted in my application are true and that I am: *(please check all that apply).*

☒ the Property Owner and representing myself in said request.

\_\_\_\_\_ the Property Owner, but I am authorizing a Representing Agent by the name of: \_\_\_\_\_ to represent me in the following request:

And am requesting: (please check)

\_\_\_\_\_ Rezoning Request  
\_\_\_\_\_ Preliminary Plat Approval  
\_\_\_\_\_ Final Plat Approval  
\_\_\_\_\_ Conditional Use Approval

☒ Request for Variance  
☒ Special Exception  
☒ Design Review Approval

Signed:

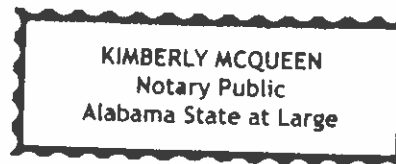
*[Signature]*  
Owner Signature/Date

STATE OF ALABAMA  
COUNTY OF Jefferson

Given under my hand and seal  
this 21<sup>st</sup> day of January, 2025

*[Signature]*  
Notary Public

My commission expires 16<sup>th</sup> day of September, 2025



My Commission Expires  
September 16, 2025

My Commission Expires  
September 16, 2025



VESTAVIA HILLS

## **Board of Zoning Adjustment Planners Report**

### **MEETING DATE**

February 20, 2025

### **AGENDA ITEM**

BZA-25-3 **Derrick Owens** is requesting a **Front Setback Variance** for the property located at **1824 Highfield Drive**. The purpose of this request is to reduce the front setback to 46' in lieu of the required 50, to add on to existing carport and close it in. The property is owned by James and Whitney Bosley and is zoned **Vestavia Hills R-3**.

### **BACKGROUND**

4' Front Setback Variance to Reduce the Setback to 46' in Lieu of the Required 50'.

### **PLANNER'S REVIEW/RECOMMENDATION**

The applicant is seeking a front setback variance to enclose the existing carport. The applicant contends the orientation of the house, and the location of the carport, makes it difficult to establish a garage space off the rear of the lot. The current carport cannot accompany multiple cars, and the enlarged garage would give enough space for 2 cars. This is zoned Vestavia Hills R-3.

### **ATTACHMENTS**

1. Application
2. Current Survey
3. Proposed Survey and Renderings
4. Owner's Affidavit

Jack Wakefield  
City Planner



## BZA-25-3

### Variance Application

Status: Active

Submitted On: 1/21/2025

### Primary Location

1824 HIGHFIELD DR  
VESTAVIA HILLS, AL 35216

### Owner

Jason and Whitney Bosley  
HIGHFIELD DR 1824 VESTAVIA  
HILLS, AL 35216

### Applicant

 Derrick Owens  
 205-324-9669  
 dbowens@krumdieck.com  
1425 Richard Arrington Jr.  
 Blvd S  
STE 202-A  
Birmingham, AL 35205

---

## Agenda Information

 Agenda Scheduling

 Comments/Delay/Explanation

---

## Applicant Information

I am filling this out as the  
Representative Agent

---

## Billing/Responsible Party

|                                  |                       |
|----------------------------------|-----------------------|
| <b>Name</b>                      | <b>Phone #</b>        |
| Krumdieck A+i Design             | 2053249669            |
| <b>Address</b>                   | <b>City/State/Zip</b> |
| 1425 Richard Arrington Jr Blvd S | 35205                 |

**Email**

dbowens@krumdieck.com

---

**Representing Attorney/Other Agent**

**Name**

Alex Krumdieck

**Phone #**

2053249669

**Address**

1425 Richard Arrington Jr Blvd S

**City/State/Zip**

35205

**Email**

akrumdieck@krumdieck.com

---

**Subject Property Information**

**Subject Property Address**

1824 Highfield Drive

**Legal Description of Subject Property ?**

Lot 12, Block 4, SEVENTH ADDITION TO SOUTHRIDGE ADDITION TO VESTAVIA HILLS

---

**REASONS FOR REQUEST**

**Front Setback Variance**



**Setback Required\***

50'

Setback Requested\*

46'

Rear Setback Variance

☐

Side Setback Variance

☐

Other Setback Variance

☐

Lot Area Variance

☐

Lot Width Variance

☐

Variance for location of a fence.

☐

Sign Code Variance

☐

A decision of the Zoning Official which the applicant believes to be contrary to the meaning of the Zoning Ordinance.

☐

Other

☐

---

## ZONING

Vestavia Hills Zoning for the subject property is

R-3

---

## PROJECT

Describe the scope of the project and/or the reason for requesting this variance.\*

Adding to the front of existing carport to enclose it into a garage so that both vehicles can fit with garage door closed. The rear of the carport is part of the existing house exterior/interior.

---

# HARDSHIP

Please answer the following questions regarding hardship and briefly summarize and describe those things which you feel justify the action requested in the box below. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).\*

Ordinance Number 2331 Vestavia Hills Zoning Code 50 ft front yard setback

Before any variance is granted, the BZA must find that ALL of the following conditions exist. Please describe each of the following details in order for the BZA to determine if these warrants the described hardship.

**1. There are extraordinary and exceptional conditions, which are peculiar to the piece of property in question because of its size, shape or topography, that are not applicable to the other lands or structures in the same district. Please explain:\***

The home is slightly **angled** on the site. The front of the existing carport is oriented to the street. The rear exterior/interior carport wall would be too difficult to move to create the garage space. The 4' variance to the front yard setback would give the space needed to enclose the garage area so the owner's vehicles can be parked safely.

**2. Granting the variance requested will not confer upon the applicant any special privileges that are denied to other owners of property in the District in which the property is located. Please explain:\***

This variance is asking for garage space to be added to the existing carport for safety.

**3. All literal interpretations of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by others of property in the district in which the property is located. Please explain:\***

Safety and security of owner and vehicles.

**4. The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare. Please explain:\***

Variance will provide owner with safety and security for family and property

**5. The special circumstances are not the intended result of the actions of the applicant (i.e., self-imposed hardship). Please explain:\***

The original carport was built for automobiles from the 1960s.

**6. The variance requested is the minimum variance that will make possible the legal use of the land, building or structure. Please explain:\***

The front extension of the carport to cover the average size of automobiles used today is adding 8' to the front of the carport extending over the 50' setback line by 4'.

**7. The no non-conforming use of neighboring lands, structures, or buildings in the same district, and no permitted or non-conforming use of lands, structures, or building in other districts shall be considered grounds for the issuance of a variance.**

**8. That a variance will not allow the permanent establishment of a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.\***

The usage will be for a enclosed garage.

NOTE: In proving that an unnecessary hardship has been imposed on the property as a result of the strict interpretation of this Ordinance, the following conditions cannot be considered pertinent to the determination of whether or not an unnecessary hardship exists: (1) proof that a variance would increase the financial return from land; or (2) personal or economic hardship; or (3) self-imposed hardship. In other words, hardship alone is not sufficient to permit a variance. It must be an "unnecessary hardship." Mere financial loss of a kind, which might be common to all of the property owners in a district, is not an "unnecessary hardship."

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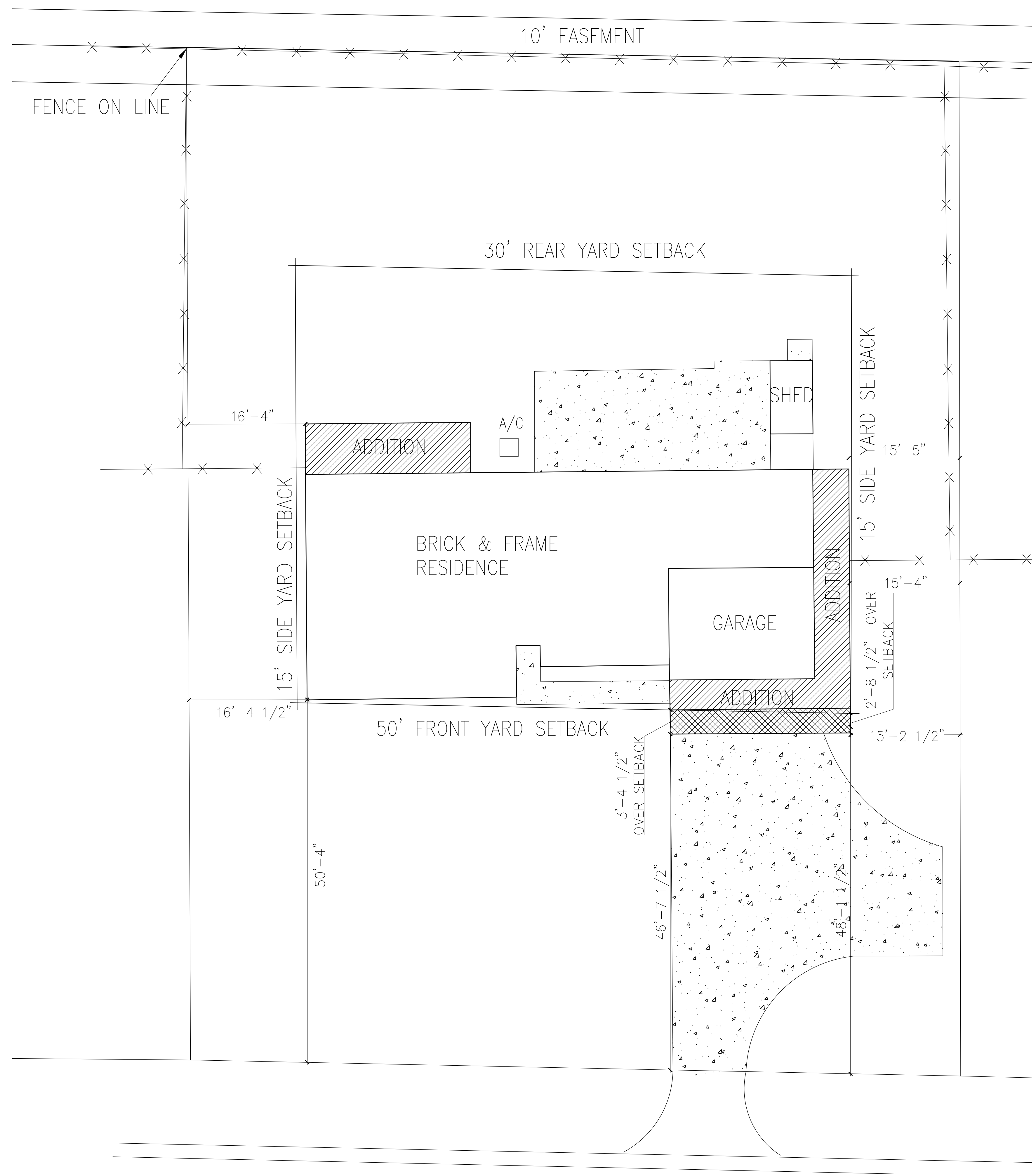
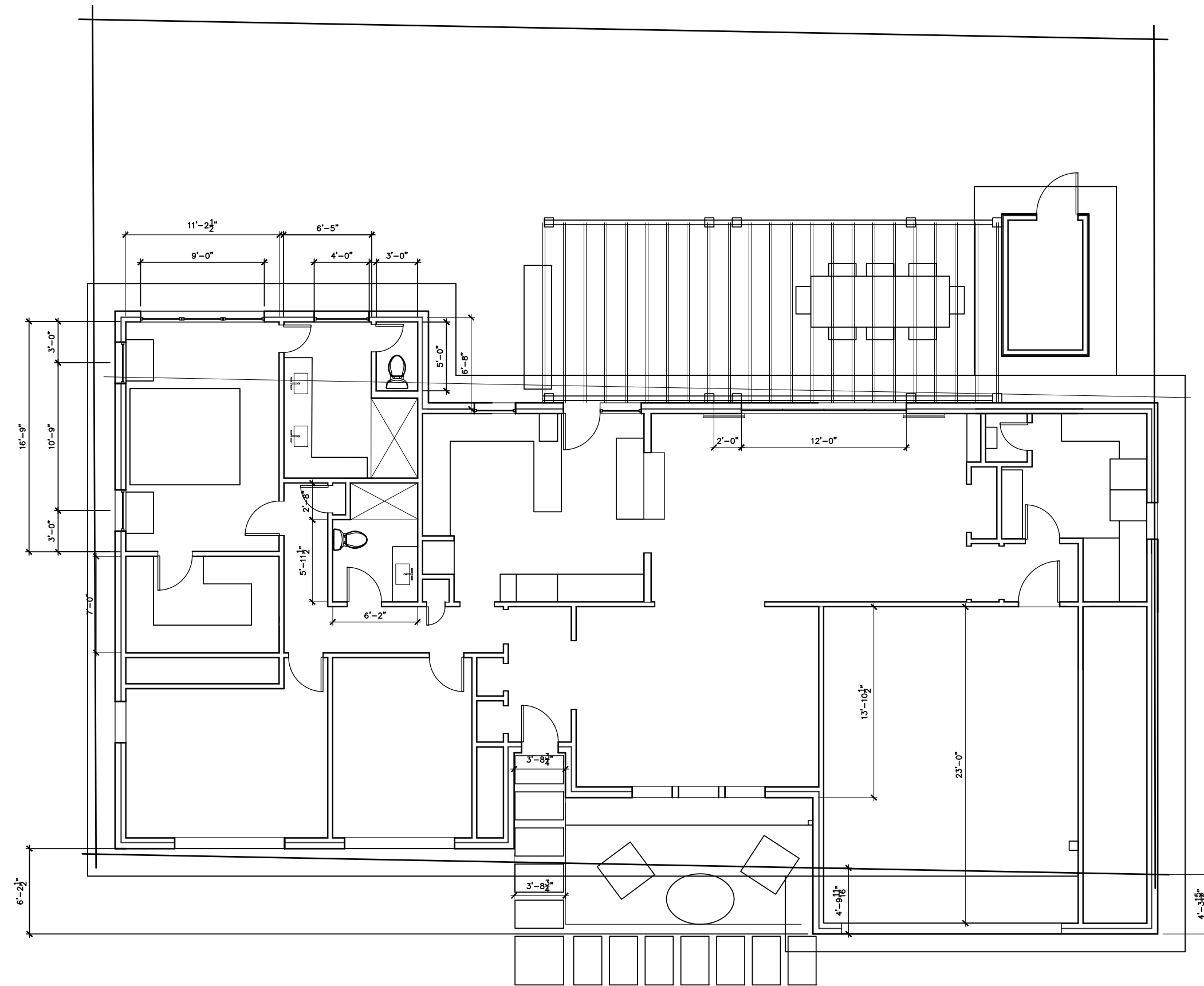
## OWNER AFFIDAVIT

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit. Owners authorization may be found on our main page.

### Representing Agent Signature

 Alex Krumdieck  
Jan 21, 2025

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[illegible]

**Krumdieck A + I**  
DESIGN  
architecture + interior  
1425 Richard Arrington Jr. Blvd. South, Suite 202-A Birmingham, Alabama 35205

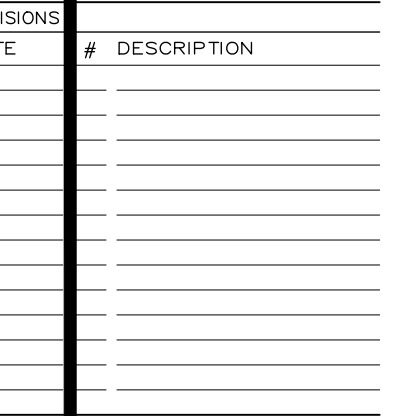
Remodel and Renovation to  
**The Bosley Residence**  
1824 Highfield Drive Birmingham, AL 35243

|      |                      |
|------|----------------------|
| JECT | 1824 Highfield Drive |
| E    | 01.02.25             |
| WN   | aw,do                |
| CK   | ok                   |
| ET   |                      |
| E    |                      |
| MNGS |                      |

CK SET

A000

. NO.



**Table 1.** Demographic characteristics of study population

|             |                      |
|-------------|----------------------|
| PROJECT     | 1824 Highfield Drive |
| DATE        | 01.17.25             |
| OWNER       | aw,do,ts             |
| ARCH        | ak                   |
| DETAILS     |                      |
| DESCRIPTION |                      |
| REMARKS     |                      |

|           |
|-----------|
| CHECK SET |
|-----------|

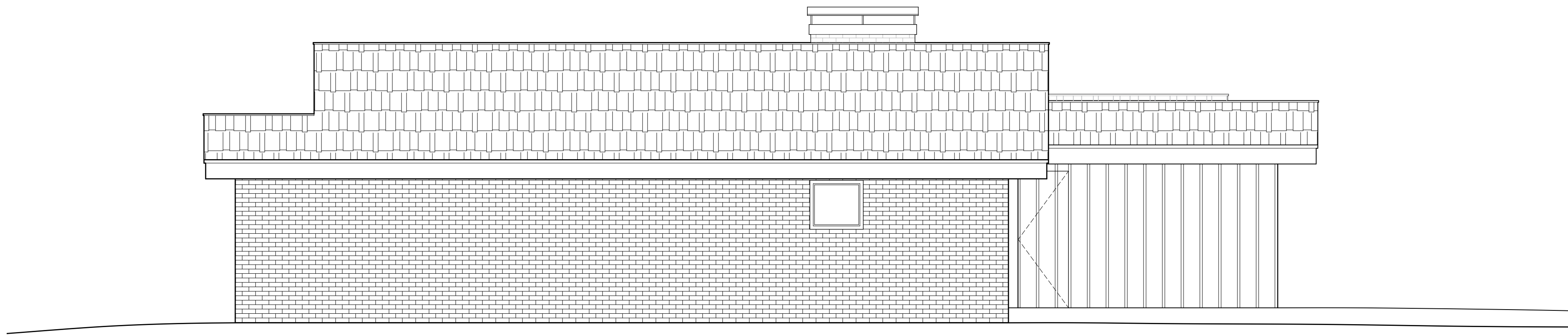
T. NO. \_\_\_\_\_

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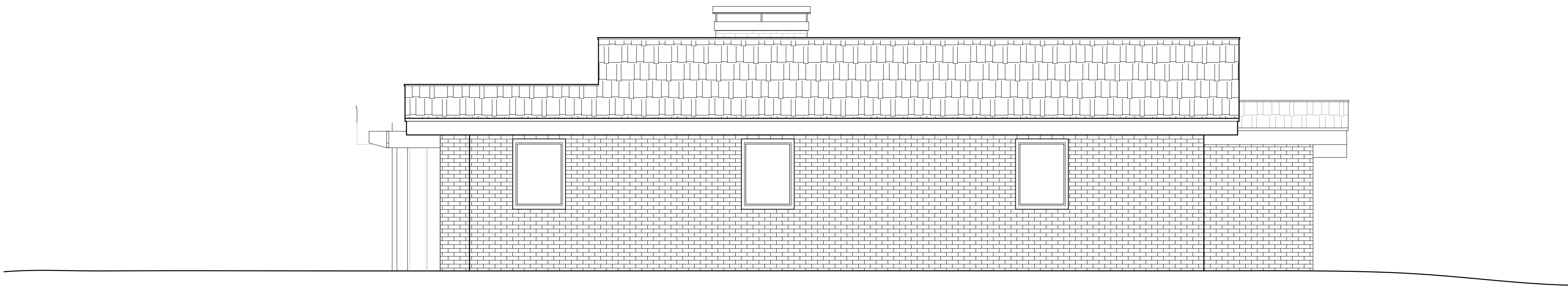




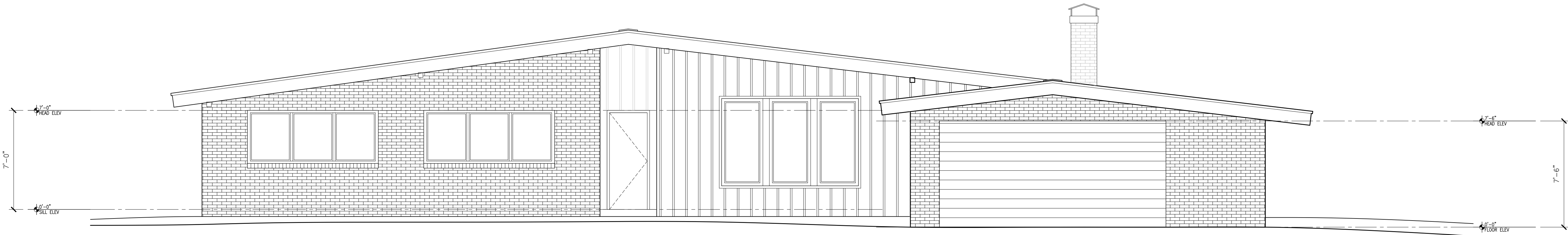
04 WEST ELEV  
scale: 1/4" = 1'-0"



03 SOUTH ELEV  
scale: 1/4" = 1'-0"



02 EAST ELEV  
scale: 1/4" = 1'-0"



01 NORTH ELEV  
scale: 1/4" = 1'-0"



| SEAL      |               |
|-----------|---------------|
| REVISIONS |               |
| DATE      | # DESCRIPTION |
|           |               |
|           |               |
|           |               |
|           |               |
|           |               |
|           |               |
|           |               |
|           |               |
|           |               |

Krumdieck A + I  
architecture + interior DESIGN  
1425 Richard Arrington Jr. Blvd. South, Suite 202-A Birmingham, Alabama 35205  
Remodel and Renovation to  
The Bosley Residence  
1824 Highfield Drive Birmingham, AL 35216

|         |                      |
|---------|----------------------|
| PROJECT | 1824 Highfield Drive |
| DATE    | 01.17.25             |
| DRAWN   | ew,do,ts             |
| CHECK   | ew                   |
| SHEET   | 01                   |
| TITLE   | DRAWINGS             |

CHECK SET

A300



**City of Vestavia Hills**  
**Office of the City Clerk**

**OWNER AFFIDAVIT (This form must be notarized):**

I do hereby declare that the following statements are correct concerning the subject property located at: 1824 Highfield Drive, Vestavia Hills, Alabama and that statements submitted in my application are true and that I am: *(please check all that apply)*.

       the Property Owner and representing myself in said request.

  X   the Property Owner, but I am authorizing a Representing Agent by the name of:  
Alex Krumdieck of Krumdieck Architecture and Interiors to represent me in the following request:

And am requesting: (please check)

- |                                         |                                      |
|-----------------------------------------|--------------------------------------|
| <u>      </u> Rezoning Request          | <u>  X  </u> Request for Variance    |
| <u>      </u> Preliminary Plat Approval | <u>      </u> Special Exception      |
| <u>      </u> Final Plat Approval       | <u>      </u> Design Review Approval |
| <u>      </u> Conditional Use Approval  |                                      |

Signed:

[Signature]  
Owner Signature/Date

STATE OF ALABAMA  
COUNTY OF Ala, Jefferson

Given under my hand and seal  
this 21<sup>st</sup> day of Jan, 2025.

[Signature]  
Notary Public

My commission expires 12/31 day of 12, 2025.

