



**Vestavia Hills
Design Review Board Agenda
May 1, 2025
6:00 PM**

1. Call to Order
2. Roll Call
3. Approval Of Minutes
4. **DRB-25-6** Neil Shah is requesting **Architectural Review, Landscape Review, & Final Review Of Materials** for the property located at 1030 S. Liberty Rd. The purpose of this request is for a new building. The property is owned by Neil Shah and zoned Vestavia Hills PB.
5. Time Of Adjournment

CITY OF VESTAVIA HILLS

DESIGN REVIEW BOARD

MINUTES

APRIL 3, 2025

The Vestavia Hills Landscape and Architectural Control Board met in a regular session on this date at 6:00 PM. The roll was called with the following:

MEMBERS PRESENT: Robert Thompson, Chairman
David Giddens
Chris Pugh
Mae Coshatt
Jeff Slaton
John Wood

MEMBERS ABSENT: Joe Ellis

OTHER OFFICIALS PRESENT: Conrad Garrison, City Planner
Phil Kennedy

APPROVAL OF MINUTES

The minutes for February were presented for approval.

MOTION Motion to dispense with the reading of the minutes for January was made by Ms. Coshatt and 2nd was by Mr. Wood. Motion as carried on a voice vote as follows:

Mrs. Coshatt – yes
Mr. Pugh – yes
Mr. Wood – yes
Motion carries.
Mr. Slaton– yes
Mr. Giddens – yes
Mr. Thompson – yes

ARCHITECTURAL REVIEW & FINAL REVIEW OF MATERIALS

D-25-2 David Blackmon is requesting **Architectural Review & Final Review Of Materials** for the property located at 680 Olde Towne Rd. The purpose of this request is for a new building. The property is owned by April Edwards and zoned Vestavia Hills B-3.

David Blackmon present to explain the mural request. The Board agreed with the plan.

MOTION Motion to approve Architectural Review & Final Review Of Materials For 680 Old Towne Rd. was made by Mr. Slaton. Second was made by Mr. Wood. Voice vote as follows:

Mrs. Coshatt – yes	Mr. Slaton– yes
Mr. Pugh – yes	Mr. Giddens – yes
Mr. Wood – yes	Mr. Thompson – yes
Motion carries.	

ARCHITECTURAL REVIEW, FINAL REVIEW OF MATERIALS, & LANDSCAPING REVIEW

D-25-3 Patchwork Retail Venture, LLC is requesting **Architectural Review, Landscape Review, & Final Review Of Materials** for the property located at 3010 Healthy Way. The purpose of this request is for a new building. The property is owned by Patchwork Retail Venture, LLC and zoned Vestavia Hills PB.

Jack Marshall explained the request and the approval from the Patchwork Farms ARC.

The Board agreed with the plan.

MOTION Motion to approve Architectural Review, Final Review of Materials, & Landscape Review Of Materials For 3010 Healthy Way was made by Mrs. Coshatt. Second was made by Mr. Slaton. Voice vote as follows:

Mrs. Coshatt – yes	Mr. Slaton– yes
Mr. Pugh – yes	Mr. Giddens – yes
Mr. Wood – yes	Mr. Thompson – yes
Motion carries.	

ARCHITECTURAL REVIEW, FINAL REVIEW OF MATERIALS, & LANDSCAPING REVIEW

D-25-4 City of Vestavia Hills is requesting **Architectural Review, Landscape Review, & Final Review Of Materials** for the property located at 1493 Montgomery Hwy. The purpose of this request is for a new gateway. The property is owned by Steve Issis and zoned Vestavia Hills B-3.

Ethan Fisher and Duane Pritchett explained the request and the South 31 entryway project.

The Board agreed with the design but asked that they consider different letter sizes and spaces.

MOTION Motion to approve Architectural Review, Final Review of Materials, & Landscape Review Of Materials For 1493 Montgomery Hwy. was made by Mrs. Coshatt. Second was made by Mr. Slaton. Voice vote as follows:

Mrs. Coshatt – yes
Mr. Pugh – yes
Mr. Wood – yes
Motion carries.

Mr. Slaton– yes
Mr. Giddens – yes
Mr. Thompson – yes

ARCHITECTURAL REVIEW, FINAL REVIEW OF MATERIALS, & LANDSCAPING REVIEW

D-25-5 GMC is requesting **Architectural Review, Landscape Review, & Final Review Of Materials** for the property located at 1100 Montgomery Hwy. The purpose of this request is for a renovation to an existing building. The property is owned by Exchange Right and zoned Vestavia Hills B-1.

Andi Gamble explained the request and the remediation of the CVS building into a bank.

The Board agreed with the design.




MOTION Motion to approve Architectural Review, Final Review of Materials, & Landscape Review Of Materials For 1100 Montgomery Hwy. was made by Mr. Wood. Second was made by Mr. Slaton. Voice vote as follows:

Mrs. Coshatt – yes
Mr. Pugh – yes
Mr. Wood – yes
Motion carries.

Mr. Slaton– yes
Mr. Giddens – yes
Mr. Thompson – yes

Conrad Garrison
City Planner

Design Review Board Application**Applicant****Primary Location****DRB-25-6**

 Christopher Evans
 706-850-1330
 chris@enearchitecture.com

1030 SOUTH LIBERTY RD
VESTAVIA HILLS, AL 35242

Submitted On: Apr 3, 2025

Owner of Property**Name**

Neal Shah

Address

1036 Kentucky Ave NE

City

ATLANTA

State

GA

Zip Code

30306

Phone Number

6786129009

Emailnealshah125@gmail.com

Billing/Responsible Party**Name**

Christopher Charles Evans

Address

297 Prince Ave Suite 28b

City

Athens

State

GA

Zip Code

30601

Phone Number

7068501330

EmailCHRIS@ENEARCHITECTURE.COM

Representing Attorney/Other Agent**Name**

Christopher Charles Evans

Address

297 Prince Ave Suite 28b

City

Athens

State

GA

Zip Code

30601

Phone Number

7068501330

EmailCHRIS@ENEARCHITECTURE.COM

Description of Property

Subject Property Address

1151 South Liberty RD

Property Zoning Classification

PUD - PB

Subdivision Name, Lot #, Block #, etc.

Lot 3B of Resurvey of Lot 3 of the Bray Town Center Phase II

Reason for Request

Check all that apply

Preliminary Review

--

Landscape Review

--

Architectural Review

true

Final Review of Materials

--

Other

--

Detailed Explanation

Design Review Board - New one-story childcare center.

Process

Check all that apply

New Building

true

Renovation of Existing Building

--

New Landscape Plan

--

Renovation to Existing Landscaping Plan

--

Other

--

Detailed Explanation

Day Care Building Design Narrative:

The new one-story childcare center is 12,772 sqft.

The design of the day care building is inspired by a contemporary style while adhering to the design guidelines of The Bray at Liberty and the specifications of the Goddard School.

The building massing elements are reflective of cubic volumes with varying heights, widths, and depths to create architectural shadows and points of interest. The footprint of the building provides a side yard for infant play, a front yard for play for all ages, and a rear playground accessible to all age groups. With a strong use of horizontal linear patterns and textures, the diverse exterior building materials we have selected will serve as a transitional element between the commercial and residential areas within The Bray Development. The chosen color palette features earth tones alongside shades of gray.

The front of the building, located on Brayfield Lane, will include a large canopy for weather protection, as well as a gated front yard that can be utilized for outdoor play during favorable weather. In addition to protection from the elements, Goddard requires the installation of bollards for safety. Our mushroom-style bollards will be made of concrete, accompanied by landscape boulders at the planting beds.

On the left side of the building, we have incorporated a large metal-framed pergola into the infant play area to comply with design requirements while providing shade for the infants. The pergola will feature a solid mesh covering for additional protection from the sun.

Along the rear elevations of the building, we will have metal awnings supported by tie-backs or cantilevered designs to provide coverage at each exterior door.

The playground equipment will feature natural colors and will be appropriately positioned according to Goddard standards, ensuring it is set back far enough from the street. Goddard requires fencing around the entire parcel, as detailed in our design documents.

Affidavit:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit.

Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

General: Provide three copies and one digital copy (pdf format) of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application. Drawings shall be folded to size 8 ½" by 11".

1. Architectural Review

- a. Site plan showing roadways, entrances, exits and parking
- b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
- c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.

2. Landscape Review

- a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
- b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
- c. Parking lots: Provide calculations of total square footage and square footage designed for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
- d. Irrigation plan for all landscaped areas.
- e. Statement of maintenance policy and provisions.

PLANTING

1. PRIOR TO PLANT INSTALLATION, CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF ALL THE SPECIFIED PLANT MATERIALS. CONTRACTOR SHALL SUBMIT DATED PHOTOGRAPHS OF ALL THE PLANT MATERIAL NOT PASSED BY LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO DELIVERY OF MATERIALS TO THE PROJECT. ALL PHOTOGRAPHS OF TREES AND PALMS SHALL HAVE A MEASURING TAPE FOR SCALE. CONTRACTOR SHALL SUBMIT PHOTOGRAPHS OF ALL PLANT MATERIALS TO BE INSTALLED TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO DELIVERY OF MATERIALS TO THE PROJECT.
2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PLANT MATERIALS, QUANTITIES AND NOTIFYING LANDSCAPE ARCHITECT OF ANY DISCREPANCIES FOR CORRECTION PRIOR TO THE INWARD OF CONTRACT AND COMMENCEMENT OF WORK.
3. LANDSCAPE ARCHITECT SHALL HAVE THE RIGHT AT ANY STAGE OF THE OPERATION TO REJECT ANY PLANT MATERIAL THAT DOES NOT COMPLY WITH THE REQUIREMENTS AS SPECIFIED IN THE CONTRACT DOCUMENTS AND WILL REQUIRE CONTRACTOR TO REPLACE THE REJECTED MATERIAL WITH MATERIAL MEETING THE REQUIREMENTS. MAINTENANCE OF ALL MATERIAL SHALL CONTINUE UNTIL FINAL ACCEPTANCE.
4. LANDSCAPE ARCHITECT MAY ADJUST THE LOCATION OF THE PLANT MATERIAL, SHOWING ON THE PLANS TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS OR TO ACCOMPLISH DESIGN INTENT.
5. NO PLANT MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF LANDSCAPE ARCHITECT.
6. LOCATION OF ALL PLANT MATERIAL SHALL COMPLY WITH THE CODES, STANDARDS, REGULATIONS, REQUIREMENTS, AND ORDINANCES OF ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK.
7. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND THE LANDSCAPE ARCHITECT'S PLANS. CONTRACTOR SHALL RECEIVE PERMANENT VEGETATIVE GROUND COVER, NOTIFY LANDSCAPE ARCHITECT OF ANY DIFFICULTY INTERFERING WITH THE PLANS.
8. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE FOLLOWING REQUIREMENTS:
 - 8.1. AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60.1
 - 8.2. NURSERY GROWN STOCK SHALL BE GROWN UNDER CLIMATE CONTROL CONDITIONS LIKE THOSE IN THE LOCALITY OF THE PROJECT.
 11. ALL SPECIFIED PLANT MATERIALS, SIZES ARE MINIMUM SIZES. ANY MATERIAL NOT MEETING THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 12. CONTAINER PLANTS SHALL HAVE BEEN GROWN IN A RIGID CONTAINER FOR A MINIMUM TIME AS FOLLOWS:
 - 12.1. TREES: 3 YEARS, SHRUBS: 1 YEAR, GROUND COVER: 6 MONTHS
 - 12.2. PLANTS SHALL BE WELL DEVELOPED AND HEALTHY. PLANTS SHALL BE WELL WATERED AND PROTECTED FROM DROUGHT. PLANTS SHALL BE WELL WATERED AND PROTECTED FROM DROUGHT.
 14. BALLED AND BURLAPPED PLANTS WILL NOT BE ACCEPTED WHEN THE ROOTBALL HAS BEEN CRACKED OR BROKEN.
 15. PLANTS GROWN IN GROW BAGS ARE PROHIBITED.
 16. SOO SHALL BE MACHINE CUT TO COMMERCIAL SIZE WITH A MINIMUM THICKNESS.
 17. PRIOR TO THE INSTALLATION OF PLANT MATERIAL, CONTRACTOR SHALL COME IN WRITING TO LANDSCAPE ARCHITECT THAT THE SOIL CONDITIONS AND SUBGRADE ELEVATIONS IN ALL PLANTING AREAS ARE SUITABLE FOR PLANTING AND CONFORM TO THE PROPOSED GRADING NOTED ON THE PLANS.
 19. CONTRACTOR SHALL ENSURE TOTAL WEED ERADICATION PRIOR TO INSTALLATION OF PLANT MATERIAL. CONTRACTOR SHALL SUBMIT WEED CONTROL SOLUTIONS THAT CONFORM TO STATE AND LOCAL CODES. PROTECT EXISTING PLANTS TO REMAIN FROM OVERSPRAY. DO NOT APPLY WITHIN ROOT ZONES OF EXISTING PLANT MATERIAL TO BE MAINTAINED.
 20. CONTRACTOR SHALL CONFIRM THAT ALL ORGANICS, SOO, WEEDS, ROOTS AND DEBRIS HAVE BEEN REMOVED FROM ALL AREAS WHERE PLANT MATERIALS ARE TO BE INSTALLED. ALL PAVEMENT AND CEMENTED BASE MATERIAL SHALL BE REMOVED COMPLETELY IN ALL AREAS WHERE PLANT MATERIALS IS TO BE INSTALLED. ANY DEPRESSIONS OR EXCAVATIONS BELOW THE APPROVED FINISHED GRADES PREPARED FOR BY THE OWNER OF SUCH OBJECT SHALL BE FILLED WITH APPROVED PLANTING MIX AND COMPACTED TO A DENSITY CONFORMING TO THE SURROUNDING GROUND.
 21. CONTRACTOR SHALL OBTAIN EACH SUBGRADE AND SUBGRADE ELEVATION AND STAKE THE LOCATION OF ALL TREES, PALMS FOR APPROVAL OF LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. IF PLANT MATERIALS ARE TO BE INSTALLED IN AREAS WHERE SUBGRADE IS NOT AT FINISHED GRADE, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL FROM THE OWNER.
 22. ALL SHRUBS AND TREES SHALL BE PLANTED IN A STRAIGHT AND UPRIGHT POSITION FOR ONE YEAR. IF CONTRACTOR CHOOSES TO USE 3 INCH TREES, CONTRACTOR SHALL SUBMIT A STAMPING PLANT PROCEDURE (DETAIL TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL).
 24. AREAS TO RECEIVE SOO SHALL BE GRADED TO LEVEL OUT ALL UNDULATIONS OR IRREGULARITIES IN THE SURFACE RESULTING FROM TILLAGE, FERTILIZING OR OTHER OPERATIONS. THE RESULTING SURFACE SHALL BE ROLLED WITH THE RESULTING GRADE TO BE NO HIGHER THAN THE ADJACENT PAVING OR OTHER GRADE ELEMENTS AFTER SOO HAS BEEN INSTALLED.
 25. PLANTING BEDS SHALL BE FINE GRADED TO A SMOOTH AND EVEN SURFACE, ASSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES AND ELIMINATING ANY DEPRESSIONS WHICH MAY COLLECT WATER.
 26. APPLY APPROVED PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS ACCORDING TO THE MANUFACTURER'S RECOMMENDED RATE.

MAINTENANCE AND CLEANING

1. MAINTENANCE SHALL BE DONE IMMEDIATELY AFTER EACH PLANT IS INSTALLED AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE. THIS WORK AND MATERIALS REQUIRED ARE INCLUDED IN THE CONTRACT SCOPE OF WORK.
2. MAINTENANCE SHALL INCLUDE THE FOLLOWING ACTIVITIES AND NECESSARY LABOR, EQUIPMENT, AND MATERIALS FOR:
 - 2.1. PROTECTING, IRRIGATING, MOWING, PRUNING AND/OR TRAINING, FERTILIZING, AND PEST CONTROL FOR EACH PLANT INSTALLED AS REQUIRED TO WARRANTY THE PLANTS HEALTH AND CONDITION AT FINAL ACCEPTANCE.
 - 2.2. SUPPLEMENTAL APPLICATIONS OF FERTILIZER TO MAINTAIN PLANT HEALTH.
 - 2.3. SUPPLEMENTAL APPLICATIONS OF FERTILIZER TO MAINTAIN PLANT HEALTH.
 - 2.4. CLEAN UP OF MATERIALS AND DEBRIS FROM LANDSCAPE AND HARDSCAPE WITHIN THE PROJECT LIMITS.
 - 2.5. MAINTAINING PLANT MATERIALS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND INSTRUCTIONS.
4. CONTRACTOR SHALL MONITOR THE WATERING NEEDS OF PLANT MATERIAL THROUGHOUT OPERATIONS AND UNTIL FINAL ACCEPTANCE.
5. CONTRACTOR SHALL DAILY MAINTAIN A CLEAN WORK AREA BY REMOVING TRASH, DEBRIS, UNUSED, DELETED, OR SURPLUS MATERIAL FROM THE SITE, KEEPING EQUIPMENT IN DESIGNATED AREAS, AND WASHING PAVED SURFACES OF MUD AND DIRT IN ACCORDANCE WITH THE EROSION CONTROL PLAN.
6. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR DIRECTION REGARDING DISPOSAL OF SURPLUS MATERIALS RESULTING FROM CONTRACTOR'S WORK.
7. ALL STRUCTURES DAMAGED OR REPAIRED BECAUSE OF CONTRACTOR'S OPERATIONS SHALL BE CORRECTED BY CONTRACTOR TO THE OWNER'S SATISFACTION AND ACCEPTANCE AT NO COST TO OWNER.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING PLANTING MATERIALS, RESEED, MULCH OR OTHERWISE RESTORE THE WORK TO SPECIFIED AND ACCEPTABLE FINISHED CONDITION.

WARRANTY PERIOD

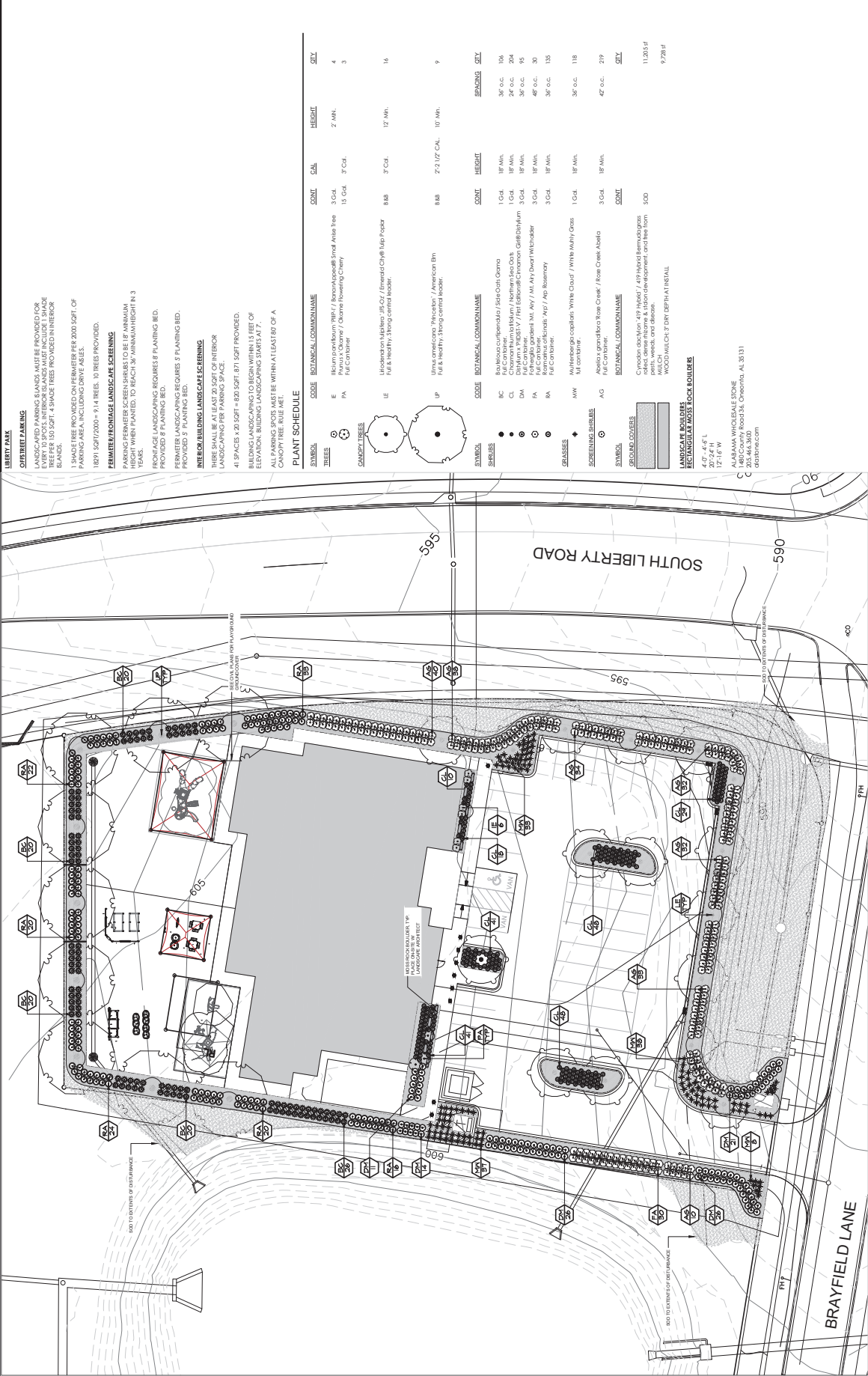
1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE WARRANTY PERIOD (1) YEAR FROM THE DATE OF FINAL COMPLETION. THE CONTRACTOR SHALL PROVIDE THIS WARRANTY IN WRITING TO THE OWNER. AS A CONDITION OF THE WARRANTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REQUIRED TO REPLACE THE PLANT MATERIAL DURING THE WARRANTY PERIOD. THE WARRANTY ON REPLACEMENT PLANT MATERIAL SHALL EXPIRE ON THE ORIGINAL WARRANTY PERIOD EXPIRATION DATE.

GENERAL

1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING UTILITIES AND STRUCTURES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS FOR CONSTRUCTION. CONTRACTOR SHALL PROVIDE THE DRAWINGS AND OTHER INFORMATION NECESSARY TO OBTAIN ALL REQUIRED PERMITS AND SCHEDULE ALL INSPECTIONS AND TESTING ACCORDING TO THE REQUIREMENTS OF SAID AGENCIES AND THE CONTRACT DOCUMENTS. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR SECURING CONSTRUCTION PERMITS, TESTING, OR INSPECTIONS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SCHEDULE ALL INSPECTIONS AND TESTING ACCORDING TO THE REQUIREMENTS OF SAID AGENCIES AND THE CONTRACT DOCUMENTS. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR SECURING CONSTRUCTION PERMITS, TESTING, OR INSPECTIONS.
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7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SCHEDULE ALL INSPECTIONS AND TESTING ACCORDING TO THE REQUIREMENTS OF SAID AGENCIES AND THE CONTRACT DOCUMENTS. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR SECURING CONSTRUCTION PERMITS, TESTING, OR INSPECTIONS.
8. CONTRACTOR SHALL EMPLOY AS REQUIRED BY THE CONTRACT DOCUMENTS AND/OR GOVERNING AUTHORITIES, A QUALIFIED TESTING LABORATORY APPROVED BY OTHERS FOR ADDITIONAL REQUIREMENTS. REFERENCE TO "OTHERS" NECESSARY TO ENSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS, APPLICABLE STANDARDS, AND CODES.
9. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, CONTRACTOR SHALL VERIFY THE LOCATION AND COMPETITIVENESS OF RELATED WORK PERFORMED BY OTHERS WITHIN 48 HOURS OF DISCOVERY. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY POTENTIAL ERROR OR OMISSION THAT MAY RESULT FROM CONTRACTOR'S FAILURE TO DO SO. NOTIFY LANDSCAPE ARCHITECT.
10. CONTRACTOR SHALL IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT UPON DISCOVERY OF ANY POTENTIAL ERROR OR OMISSION IN THE CONTRACT DOCUMENTS. LANDSCAPE ARCHITECT WILL PROVIDE AMENDMENT, INTERPRETATION, OR CORRECTION OF THE CONTRACT DOCUMENTS.
11. IN ADDITION TO LANDSCAPE ARCHITECT'S CONTRACT DOCUMENTS, CONTRACTOR SHALL REFER TO THE CONTRACT DOCUMENTS PREPARED BY OTHERS FOR ADDITIONAL REQUIREMENTS. REFERENCE TO "OTHERS" THROUGHOUT THESE NOTES SHALL INCLUDE BUT NOT BE LIMITED TO ARCHITECT, MECHANICAL, ELECTRICAL, PLUMBING, POOL ENGINEER, IRRIGATION, STRUCTURAL AND CIVIL ENGINEER.
12. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE SITE AND BE RESPONSIBLE FOR THE ACCURACY AND CORRECTNESS OF SAME.
13. WRITTEN DIMENSION COORDINATES AND/OR ELECTRONIC FILES SHALL BE PROVIDED TO THE CONTRACTOR. CONTRACTOR SHALL VERIFY ALL DIMENSIONS DO NOT SCALE FROM THE CONTRACT DOCUMENTS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SCHEDULE ALL INSPECTIONS AND TESTING ACCORDING TO THE REQUIREMENTS OF SAID AGENCIES AND THE CONTRACT DOCUMENTS. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR SECURING CONSTRUCTION PERMITS, TESTING, OR INSPECTIONS.
15. REFER TO MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION GUIDELINES INSTRUCTIONS. IF THERE IS A DISCREPANCY BETWEEN THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IN WRITING WITHIN 48 HOURS OF DISCOVERY. LANDSCAPE ARCHITECT SHALL NOT BE LIABLE FOR ANY ERROR OR OMISSION THAT MAY RESULT FROM CONTRACTOR'S FAILURE TO DO SO. NOTIFY LANDSCAPE ARCHITECT.

LANDSCAPE

- SOIL PREPARATION AND SOIL MIX**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING UTILITIES AND STRUCTURES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS FOR CONSTRUCTION. CONTRACTOR SHALL PROVIDE THE DRAWINGS AND OTHER INFORMATION NECESSARY TO OBTAIN ALL REQUIRED PERMITS AND SCHEDULE ALL INSPECTIONS AND TESTING ACCORDING TO THE REQUIREMENTS OF SAID AGENCIES AND THE CONTRACT DOCUMENTS. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR SECURING CONSTRUCTION PERMITS, TESTING, OR INSPECTIONS.
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 9. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SCHEDULE ALL INSPECTIONS AND TESTING ACCORDING TO THE REQUIREMENTS OF SAID AGENCIES AND THE CONTRACT DOCUMENTS. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR SECURING CONSTRUCTION PERMITS, TESTING, OR INSPECTIONS.



LIBERTY PARK
OUTSIDE PARKING
 ALL TREES PLANTED IN THE PARKING LOT SHALL BE 1.5" DBH AT 4.5' TALL. ALL TREES PLANTED IN THE PARKING LOT SHALL BE 1.5" DBH AT 4.5' TALL. ALL TREES PLANTED IN THE PARKING LOT SHALL BE 1.5" DBH AT 4.5' TALL.
 1.5" DBH TREE PROVIDED ON PERMETER PER 2000 SQ FT OF PARKING AREA INCLUDING DRIVE AISLES.
 150 FT 3/8" DIAMETER 9' H. TREES PROVIDED.
PERMETER FRONTAGE LANDSCAPE SCREENING
 PARKING PERMETER SCREEN SHRUBS TO BE 18" MINIMUM HEIGHT WHEN PLANTED, TO REACH 36" MINIMUM HEIGHT IN 3 YEARS.
 FRONTAGE LANDSCAPING REQUIRES 5' PLANTING BED, PROVIDED 5' PLANTING BED.
 PERMETER LANDSCAPING REQUIRES 5' PLANTING BED, PROVIDED 5' PLANTING BED.
INTERIOR BUILDING LANDSCAPING
 TREES SHALL BE AT LEAST 20' SOUTH OF INTERIOR BUILDING.
 41 SPACES x 25' SQ FT = 1025 SQ FT. 271 SQ FT PROVIDED.
 BUILDING LANDSCAPING TO BE 18" MINIMUM HEIGHT OF ELEVATION. BUILDING LANDSCAPING SHALL BE AT LEAST 18" MINIMUM HEIGHT.
 ALL PLANTING SPOTS MUST BE WITHIN AT LEAST 10' OF A CANOPY TREE RULE NET.

PLANT SCHEDULE

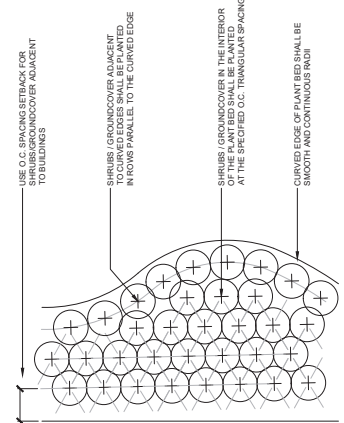
SYMBOL	CODE	BOTANICAL COMMON NAME	ZONE	CAL.	HEIGHT	QTY
TREES	E	Illinoensis (American Elm)	3 Cd	3' Cd	2' Min.	4
	PA	Prunus 'Oscar' / Orange Flowering Cherry	15 Cd	3' Cd		3
		Fuji Crabapple				
SCREENING SHRUBS	IE	Hydrangea 'Mistblue' (IE Cd)	8 Bb	3' Cd	12' Min.	16
		Fuji & Healthy - Strong central leader				
	IP	Illinoensis (American Elm)	8 Bb	2'-2 1/2' CAL.	10' Min.	9
		Fuji & Healthy - Strong central leader				
SCREENING SHRUBS	IC	Rosa blanda (Floraline) / Silk-O-Gold	1 Cd	18' Min.	36' o.c.	106
	CI	Claytonia (Claytonia) / Northern Snowflake	1 Cd	18' Min.	36' o.c.	204
	DM	Dryopteris (Dryopteris) / Cinnamon Fern	3 Cd	18' Min.	36' o.c.	95
	FA	Forseythia (Forseythia) / Yellow	3 Cd	18' Min.	48' o.c.	30
	RA	Ranunculus (Ranunculus) / Anemone	3 Cd	18' Min.	36' o.c.	135
SCREENING SHRUBS	MW	Mulberry (Morus) / White Mulberry	1 Cd	18' Min.	36' o.c.	118
		Mulberry (Morus) / White Mulberry				
SCREENING SHRUBS	AG	Amelanchier (Amelanchier) / Flowering	3 Cd	18' Min.	42' o.c.	219
		Fuji Crabapple				
GROUND COVERS		Crocus (Crocus) / 49 Hybrid	500		11,205 sq ft	
		peris, weeds, and dandelion				
		WOOD MULCH 2" DEEP AT INSTALL			9,278 sq ft	

LANDSCAPE MATERIALS
 4.0' - 4.5' H
 20' x 24" H
 12' x 18" H
 C
 ALABAMA WHOLESALE STONE
 1000 S.W. 10th Street
 Northville, AL 35111
 205.464.3000
 distributors.com



NOTE:

- SEE LANDSCAPE NOTES FOR ADDITIONAL INFORMATION
- CONTRACTOR TO DELINEATE OUTLINE OF PLANTING BEDS FOR PAVING PRIOR TO INSTALLATION
- CONTRACTOR TO VERIFY PLANTING BEDS PRIOR TO INSTALLATION



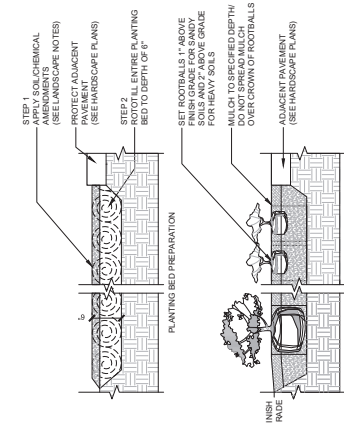
2 SHRUB / GROUND COVER LAYOUT

 1/12" = 1'-0"

 P-02-F04.04

NOTE:

- SEE LANDSCAPE NOTES FOR ADDITIONAL INFORMATION
- CONTRACTOR TO DELINEATE OUTLINE OF PLANTING BEDS FOR PAVING PRIOR TO INSTALLATION
- CONTRACTOR TO VERIFY PLANTING BEDS PRIOR TO INSTALLATION



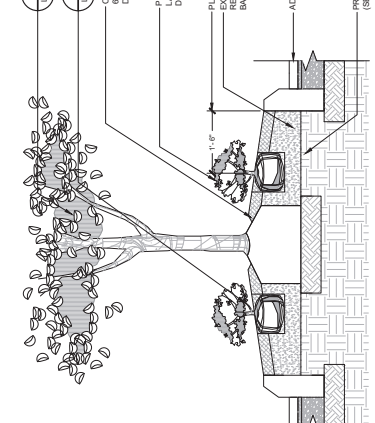
1 SHRUB / GROUND COVER PLANTING

 NTS

 P-02-F04.05

NOTE:

- SEE LANDSCAPE NOTES FOR MORE INFORMATION
- CONTRACTOR TO MARK PLANTING BEDS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
- CONTRACTOR TO VERIFY PLANTING BEDS PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES)
- SET AND MAINTAIN TREES IN STAKING DETAILS



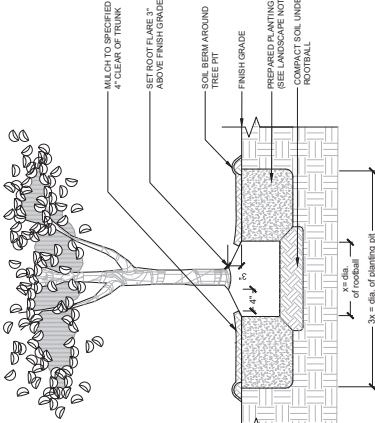
3 TREE PLANTING

 NTS

 P-02-F04.06

NOTE:

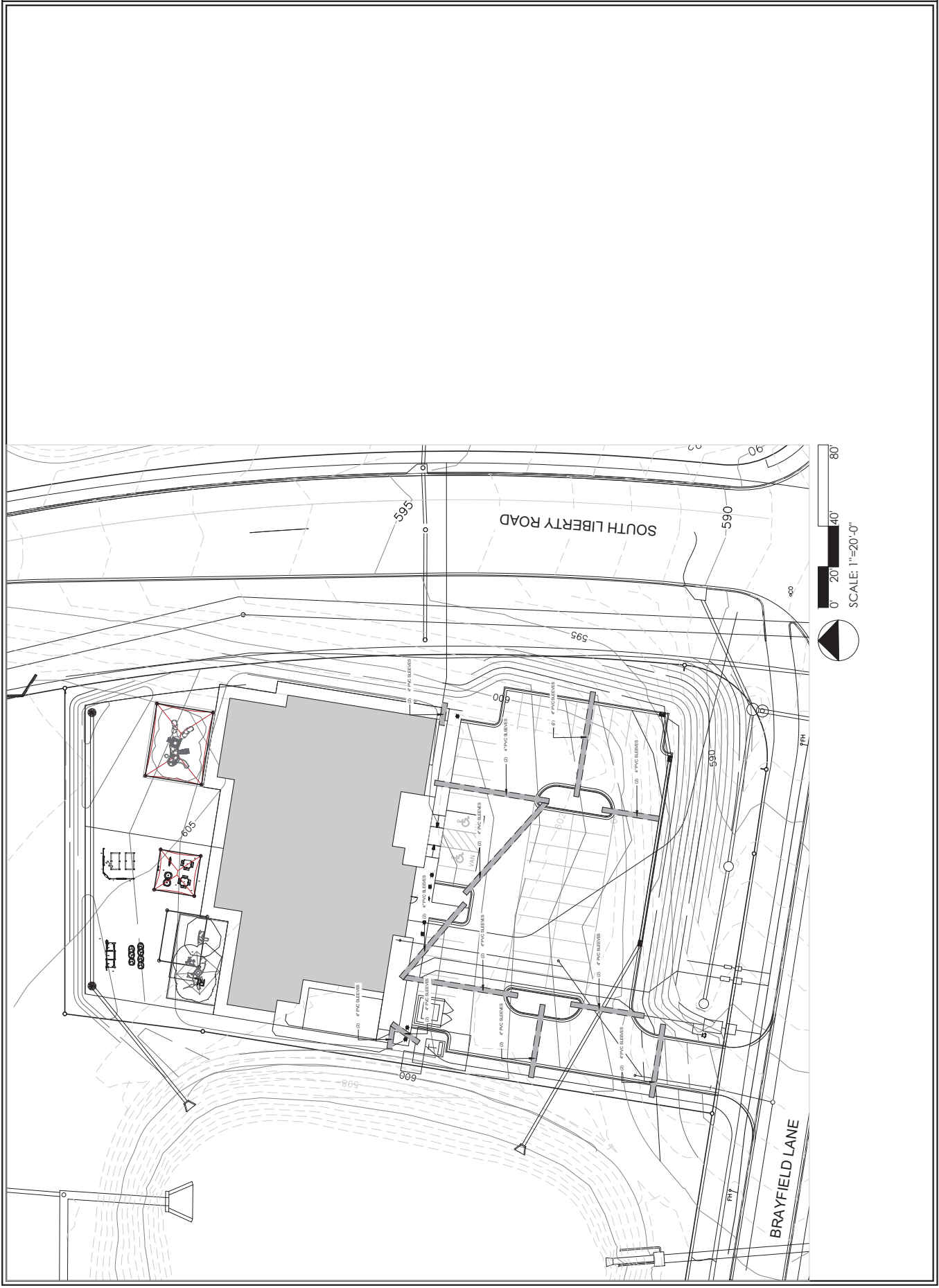
- SEE LANDSCAPE NOTES FOR ADDITIONAL INFORMATION
- CONTRACTOR TO DELINEATE OUTLINE OF PLANTING BEDS FOR PAVING PRIOR TO INSTALLATION
- CONTRACTOR TO VERIFY PLANTING BEDS PRIOR TO INSTALLATION



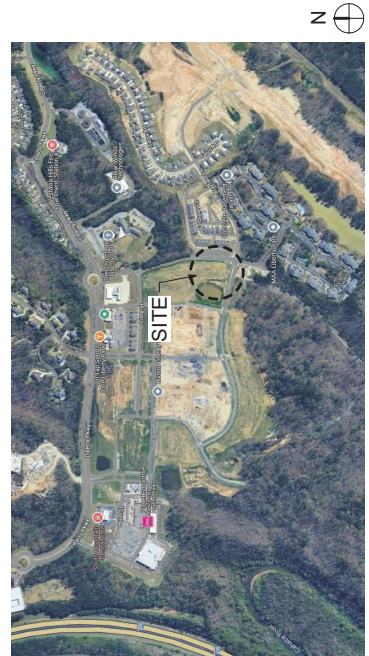
4 PARKING ISLAND PLANTING

 NTS

 P-02-F04.21



GODDARD SCHOOL LIBERTY PARK VESTAVIA HILLS, AL LOT #3B of Bray Town Center Phase II



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CONSULTING ENGINEERS:

ARC DRAWING INDEX		SHEET NAME	
GENERAL			
A-00	COVER SHEET		
(U) CIVIL			
U-00	SITE LAYOUT PLAN		
(A) ARCHITECTURAL			
A-1.0	MAIN LEVEL FLOOR PLAN		
A-2.0	EXTERIOR ELEVATIONS		
A-2.1	EXTERIOR ELEVATIONS		
A-2.2	EXTERIOR RENDERINGS		
A-3	SITE DETAILS		
A-3.1	PLAYGROUND DETAILS		
(E) ELECTRICAL			
E-00	SITE PHOTO METRICS		
(L) LANDSCAPE			
L-00	GENERAL NOTES		
L-1	PLANT SCHEDULE		
L-2	SHRUB DETAILS		
L-3	PLANTING DETAILS		
L-3.1	PLANTING DETAILS		
L-3.2	DETAILS & BRIGGATION NOTES		

ARC DRAWING INDEX		SHEET NAME	
GENERAL			
A-00	COVER SHEET		
(U) CIVIL			
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A-1.0	MAIN LEVEL FLOOR PLAN		
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A-2.1	EXTERIOR ELEVATIONS		
A-2.2	EXTERIOR RENDERINGS		
A-3	SITE DETAILS		
A-3.1	PLAYGROUND DETAILS		
(E) ELECTRICAL			
E-00	SITE PHOTO METRICS		
(L) LANDSCAPE			
L-00	GENERAL NOTES		
L-1	PLANT SCHEDULE		
L-2	SHRUB DETAILS		
L-3	PLANTING DETAILS		
L-3.1	PLANTING DETAILS		
L-3.2	DETAILS & BRIGGATION NOTES		

**GODDARD
SCHOOL LIBERTY**

LIBERTY PARK
VESTAVIA HILLS, AL

LOT #3B of Bray Town Center Phase II

Sheet

Design Firm	E&E ARCHITECTURE
Address	2800 PARKWAY AVE SUITE 200 ALPHARETTA, GA 30201
Phone	404.251.1313
Project Number	2024-10
Date	03/25/25
Drawing Number	

COVER SHEET

A-0.0

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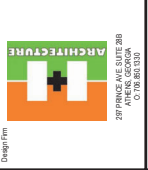
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CONSULTING ENGINEERS



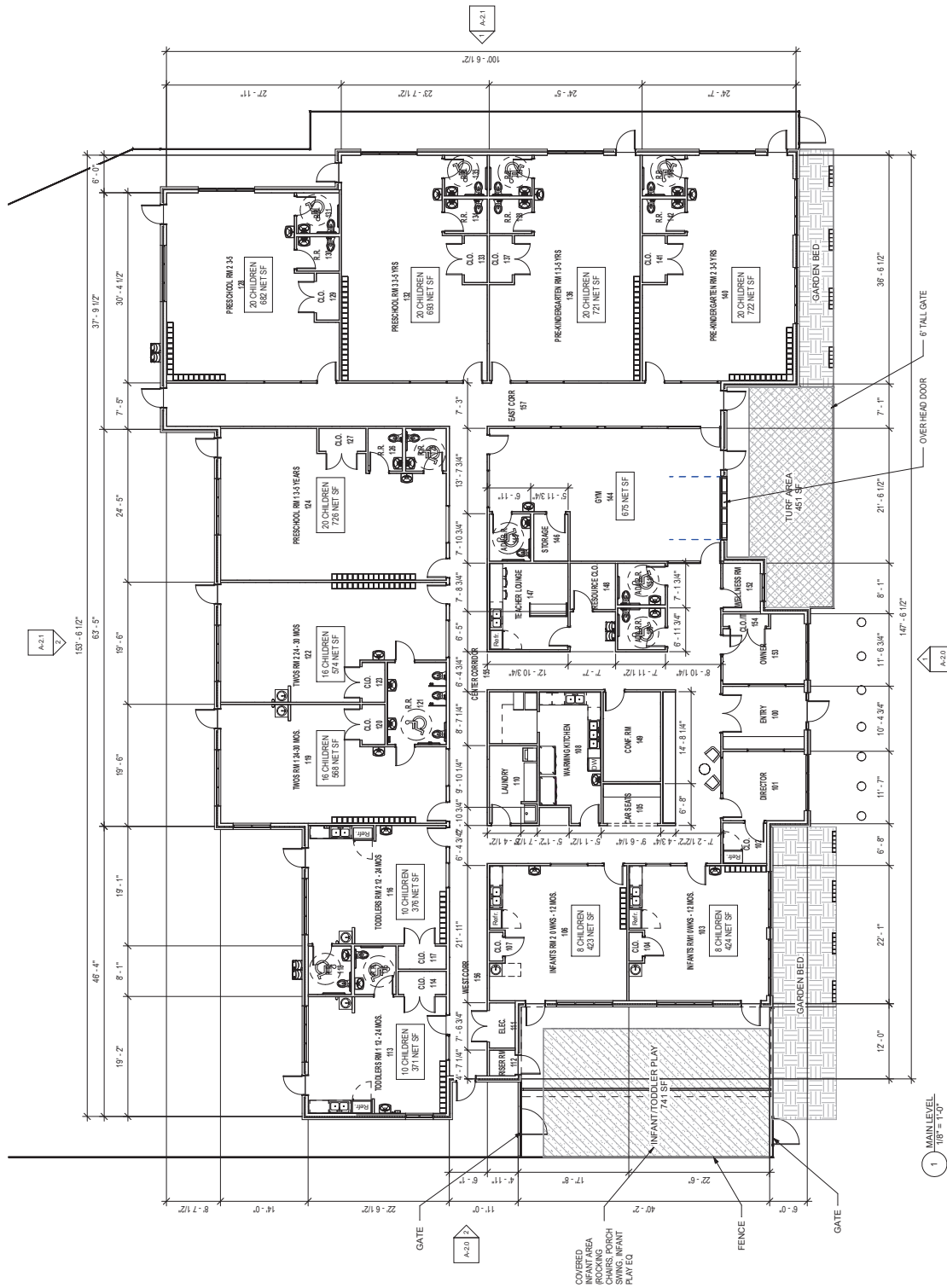
GODDARD SCHOOL LIBERTY
 LIBERTY PARK
 VESTAVIA HILLS, AL
 LOT #3B of Bray Town Center Phase II

Sheet	
Design	
Drawn	
Checked	
Approved	
Date	03/25/22
Project Number	2024-10



Drawing Title
MAIN LEVEL FLOOR PLAN

A-1.0



1 MAIN LEVEL
 '08" = 1'-0"

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DATE: 03/25/2024
PROJECT NUMBER: 2024-10

DRAWING NUMBER: EXTERIOR ELEVATIONS

DATE: 03/25/2024
PROJECT NUMBER: 2024-10

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DATE: 03/25/2024
PROJECT NUMBER: 2024-10



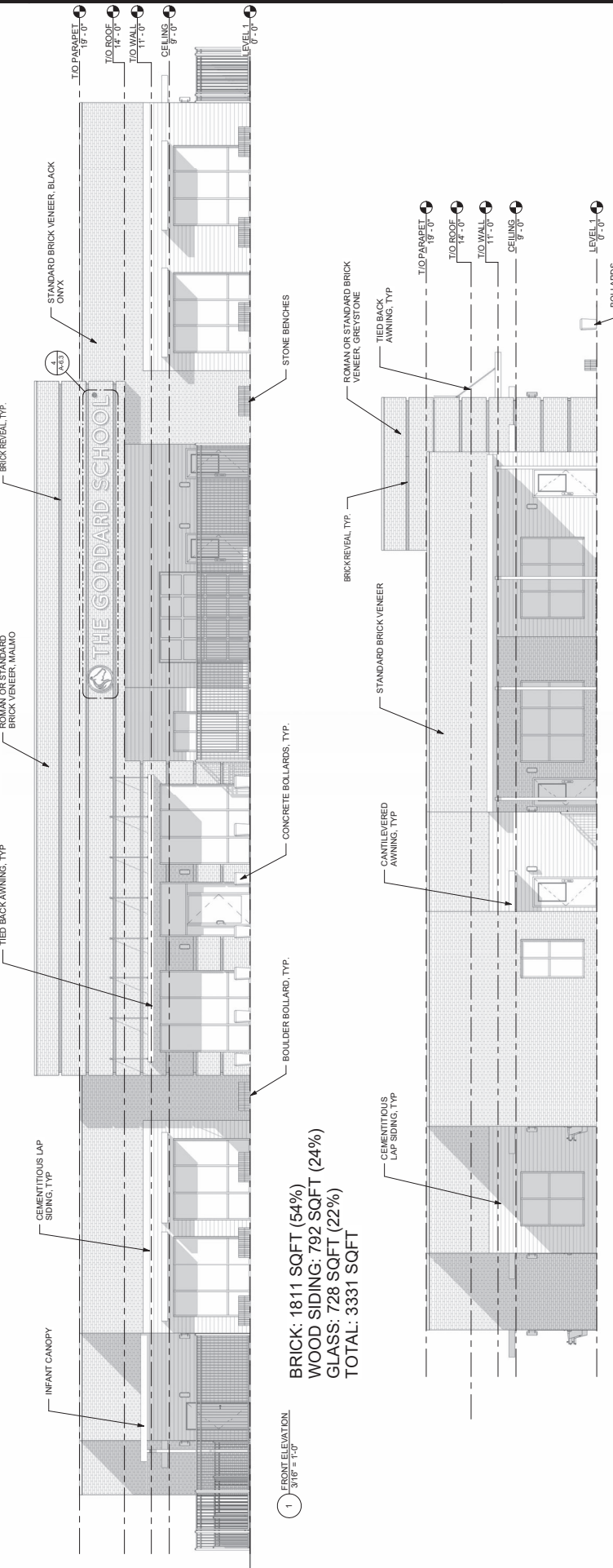
GODDARD SCHOOL LIBERTY
LIBERTY PARK
VESTAVIA HILLS, AL
LOT #3B of Town Center Phase II



E&E ARCHITECTURE
250 PARKWAY AVE SUITE 200
ALBANY, GA 31706
PHONE: 706.533.1316

A-2.0

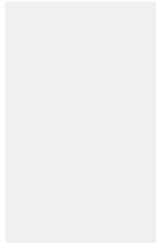
FACADE MATERIAL CALCULATIONS:
TOTAL AREA: 10,346 SQFT
BRICK: 5,830 SQFT (56%)
WOOD SIDING: 2,677 SQFT (26%)
GLASS: 1,839 SQFT (18%)



1 FRONT ELEVATION
3/16" = 1'-0"
BRICK: 1811 SQFT (54%)
WOOD SIDING: 792 SQFT (24%)
GLASS: 728 SQFT (22%)
TOTAL: 3331 SQFT

2 LEFT SIDE ELEVATION
3/16" = 1'-0"
BRICK: 1192 SQFT (59%)
WOOD SIDING: 568 SQFT (28%)
GLASS: 275 SQFT (13%)
TOTAL: 2035 SQFT

CEMENTITIOUS LAP SIDING
MANF: HARDPLANK (OR EQUAL)
PRODUCT: SMOOTH LAP SIDING
(ON ALL ELEVATIONS)
COLOR: COBBLE STONE



BRICK
MANF: PALMETTO (OR EQUAL)
COLOR: 75 GREYSTONE (ONLY FRONT)
SIZE: ROMAN OR STANDARD
TEXTURE: WIRECUT



BRICK
MANF: TAYLOR (OR EQUAL)
COLOR: BLACK ONYX (ON ALL ELEVATIONS)
SIZE: STANDARD
TEXTURE: WIRECUT



3 GODDARD LIBERTY COLORED IMAGE
NTS

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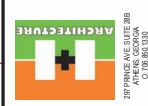
CONSULTING ENGINEERS



GODDARD
SCHOOL LIBERTY

LIBERTY PARK
VESTAVIA HILLS, AL
LOT #3B of Bray Town Center Phase II

Sheet



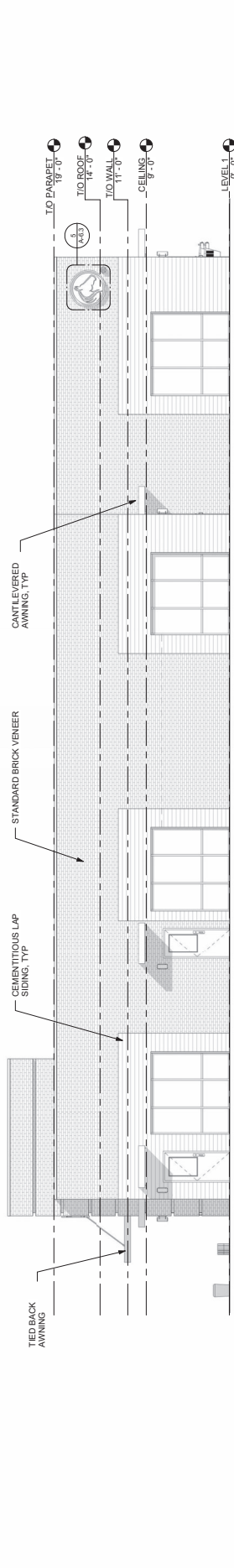
E&E ARCHITECTURE
2815 PARKWAY AVE SUITE 200
ATLANTA, GA 30328
404.768.8613

EXTERIOR
ELEVATIONS

Date: 03/25/25 Project Number: 2024-10
Drawing Number

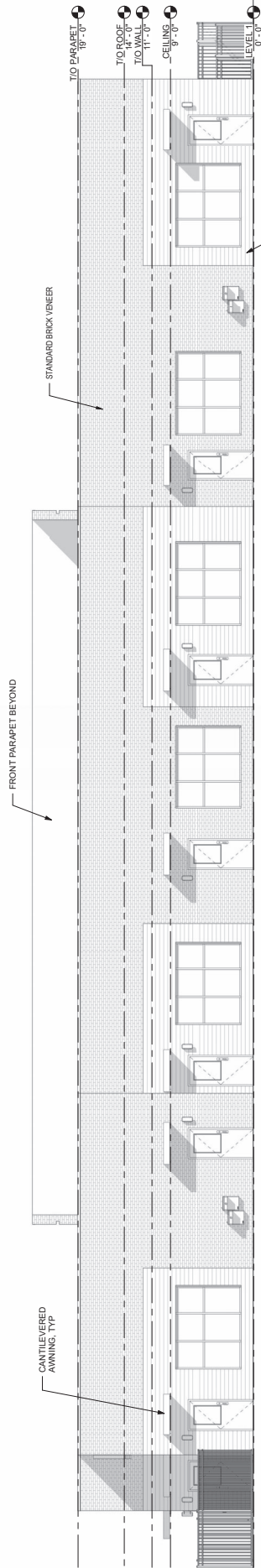
A-2.1

FACADE MATERIAL CALCULATIONS:
TOTAL AREA: 10,346 SQFT
BRICK: 5,830 SQFT (56%)
WOOD SIDING: 2,677 SQFT (26%)
GLASS: 1,839 SQFT (18%)



BRICK: 1121 SQFT (55%)
WOOD SIDING: 560 SQFT (27%)
GLASS: 354 SQFT (18%)
TOTAL: 2035 SQFT

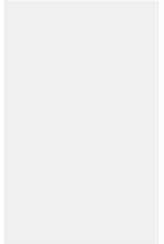
1 RIGHT SIDE ELEVATION
3/16" = 1'-0"



BRICK: 1706 SQFT (58%)
WOOD SIDING: 661 SQFT (22%)
GLASS: 578 SQFT (20%)
TOTAL: 2945 SQFT

2 REAR ELEVATION
3/16" = 1'-0"

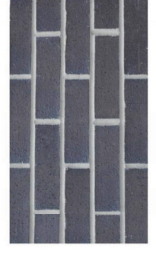
CEMENTITIOUS LAP SIDING
MANF: HARDPLANK (OR EQUAL)
PRODUCT: SMOOTH LAP SIDING
ON ALL ELEVATIONS
COLOR: COBBLE STONE



BRICK
MANF: PALMETTO (OR EQUAL)
COLOR: 75 GREYSTONE (ONLY FRONT)
SIZE: ROMAN OR STANDARD
TEXTURE: WIRECUT



BRICK
MANF: TAYLOR (OR EQUAL)
COLOR: BLACK ONYX (ON ALL ELEVATIONS)
SIZE: STANDARD
TEXTURE: WIRECUT



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CONSULTING ENGINEER:

DATE: 03/25/2024
 PROJECT NUMBER: 2024-10

DRAWING NUMBER: SITE DETAILS

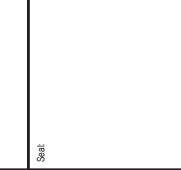
DATE: 03/25/2024
 PROJECT NUMBER: 2024-10

DRAWING NUMBER: A-6.3



GODDARD SCHOOL LIBERTY
 LIBERTY PARK
 VESTAVIA HILLS, AL
 LOT #3B of Bray Town Center Phase II

DATE: 03/25/2024
 PROJECT NUMBER: 2024-10
 DRAWING NUMBER: A-6.3



E&E ARCHITECTURE
 2500 W. BRAY TOWN CENTER PHASE II
 LOT 3B
 VESTAVIA HILLS, AL 36084

DATE	03/25/2024
PROJECT NUMBER	2024-10
DRAWING NUMBER	A-6.3

DATE: 03/25/2024
 PROJECT NUMBER: 2024-10
 DRAWING NUMBER: A-6.3

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 DRAWING NUMBER: A-6.3

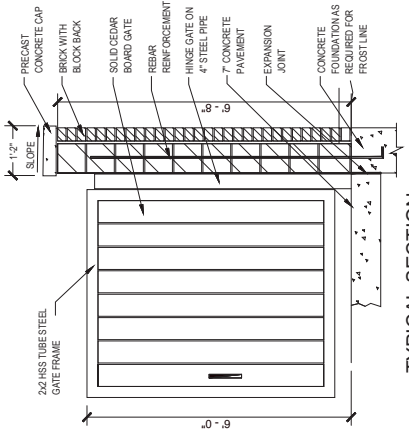
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DATE: 03/25/2024
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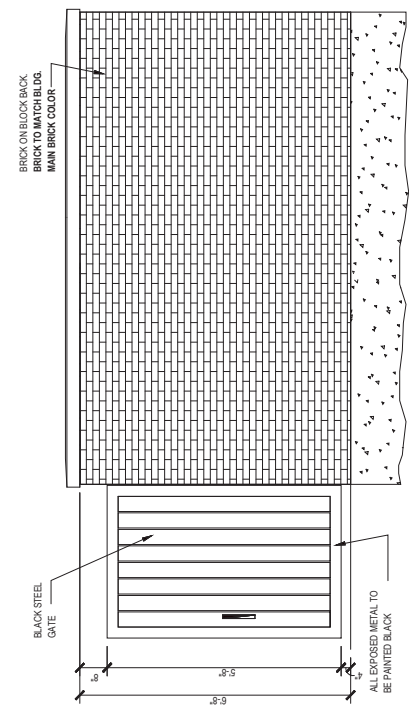
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DATE: 03/25/2024
 PROJECT NUMBER: 2024-10
 DRAWING NUMBER: A-6.3

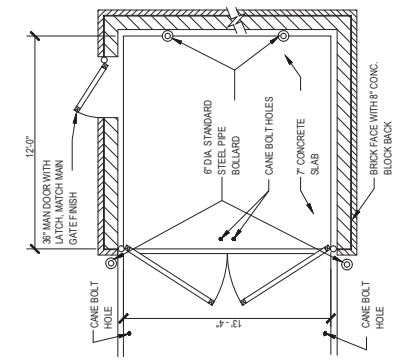
DRAWING NUMBER: A-6.3



TYPICAL SECTION



SIDE ELEVATION



PLAN



NOTE: ALL PERIMETER FENCES TO BE 4'-0" HIGH. SEPARATORS/FENCES TO BE 4'-0" HIGH.

19 1/8" x 1 1/4" STL. RIBBED CHANNEL RAIL

5/8" SQ. STL. PICKET

2" SQ. STL. POST

19 1/8" x 1 1/4" STL. RIBBED CHANNEL RAIL

TO FINISH MATERIAL

2 (SUPPLY) 180 DEGREE HINGES

2" MAX

1" MIN

5'-0" PER PLAN

4'-0" YARD INT. & EXT. PER PLAN

50' @ YARD TYP. GATE

NOTE: SIGN LIGHT EACH SIDE TO BE 1'-0" HIGH. COMMERCIAL SIGN LIGHT ALUM. LIGHTING OR EQUAL COLOR WHITE

8'-0"

THE GODDARD SCHOOL FOR EARLY CHILDHOOD DEVELOPMENT

0.00-0.00-0.0001.GODDARDSCHOOL.COM

NOTE: SIGN TO BE DOWN IT

3' @ 1'-0"

BRICK TO MATCH BLDG. MAIN BRICK COLOR

MONUMENTAL SIGN

3' @ 1'-0"

NOTE: SIGN TO BE DOWN IT

3' @ 1'-0"

BRICK TO MATCH BLDG. MAIN BRICK COLOR

MONUMENTAL SIGN

3' @ 1'-0"

NOTE: SIGN TO BE DOWN IT

3' @ 1'-0"

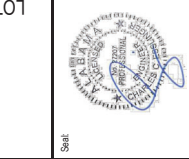
Page 19 of 41

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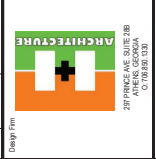
CE CONSULTING ENGINEERS
 200 Columbia Street
 Suite 1150
 Atlanta, GA 30309
 404.242.6240
 404.529.9899 FAX



GODDARD SCHOOL LIBERTY
 LIBERTY PARK
 VESTAVIA HILLS, AL
 LOT #3B of Bray Town Center Phase II



NO.	DATE	DESCRIPTION



28 PRINCIPAL AVENUE, SUITE 200
 ATLANTA, GA 30309
 404.242.6240

SITE PHOTOMETRICS
 DATE: 03/28/23
 DRAWING NUMBER: 2024-01
 DRAWING NUMBER

E-0.0

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE	+	2.8 fc	8.1 fc	0.0 fc	N/A	N/A
PROPERTY LINE	+	0.4 fc	2.8 fc	0.0 fc	N/A	N/A

Symbol	Label	Quantity	Manufacturer	Category Number	Description	Number of Fixtures	Lighting Level (fc)	Weight
+	AL-1	2	Lighting	235 LED T8 48W 4000K CCT 90 CRI	Downlight Area Luminaire (DL)	1	3.802	36.4 LB
+	SP-1	2	Generic	SP-1 WALL MOUNT	Downlight Area Luminaire (DL)	1	3.802	36.4 LB
○	WS	17	WALL MOUNT	DS-WALL-MOUNT	Surface-mounted luminaire	2	3.802	36.4 LB



1 SITE PHOTOMETRICS PLAN
 1" = 30'-0"

D-Series Six 1 LED AREA LUMINAIRE

Introduction: The D-Series Six 1 LED Area Luminaire is a high-quality, energy-efficient lighting fixture designed for use in commercial and industrial applications. It features a durable, weather-resistant housing and a long-life LED light source.

Specifications:

Model	DS-6-1
Power	48W
Beam Angle	60°
Color Temperature	4000K
Life Span	50,000 hours

Features:

- High-efficiency LED light source
- Energy-saving design
- Weather-resistant housing
- Easy installation

GARDCO

Product: DS-6-1 LED Area Luminaire

Specifications:

Model	DS-6-1
Power	48W
Beam Angle	60°
Color Temperature	4000K
Life Span	50,000 hours

TUBE ARCHITECTURAL DS-W66 6' Extended Single LED Wall Mount

Specifications:

Model	DS-W66
Power	66W
Length	6'
Color Temperature	4000K

DS-W66 6' Extended Single LED Wall Mount

Specifications:

Model	DS-W66
Power	66W
Length	6'
Color Temperature	4000K

Photometric Data:

Beam Angle	Footcandle at 10'	Footcandle at 20'	Footcandle at 30'
60°	1.5	0.4	0.2

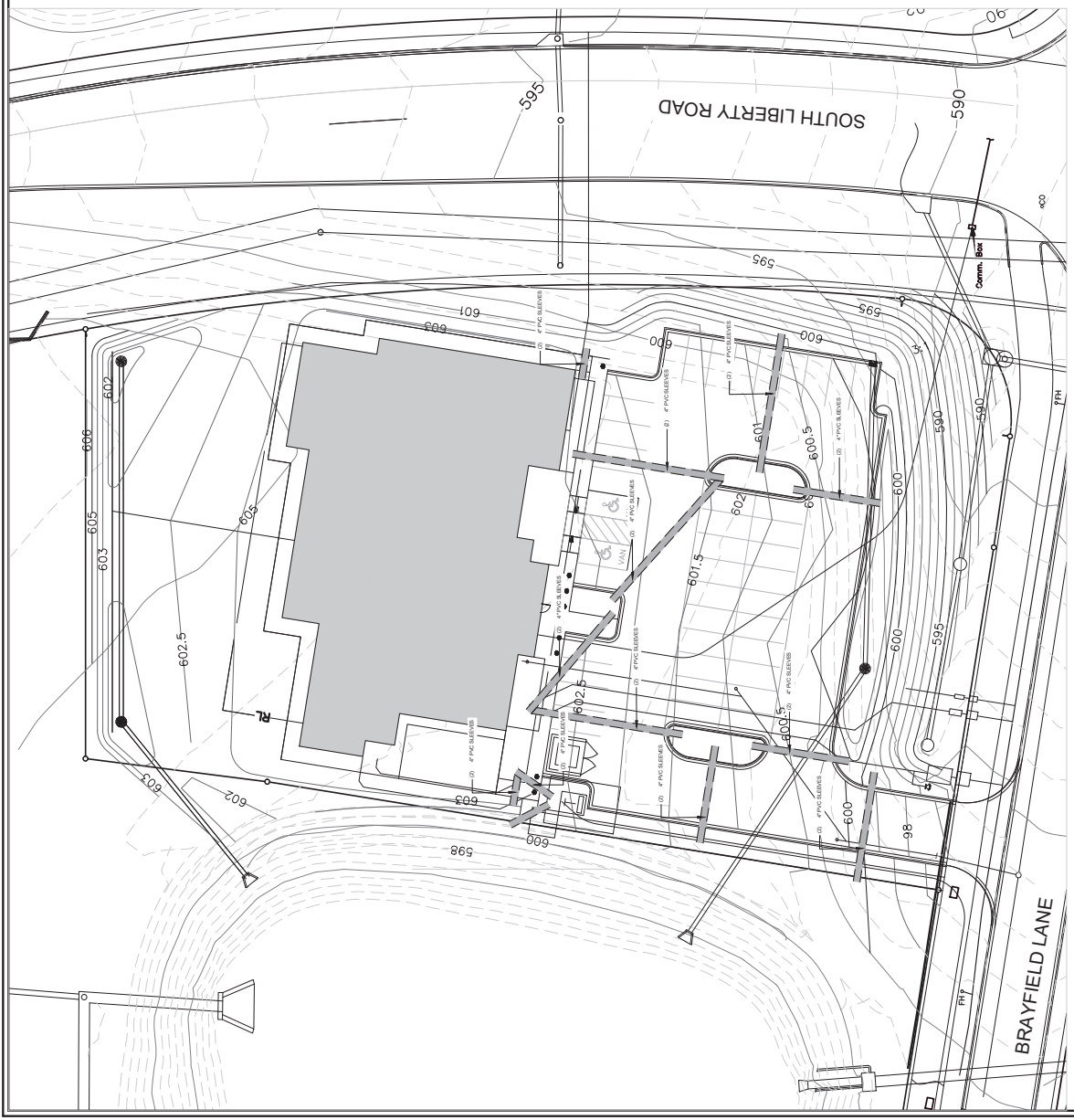
DATE: 07.24.2025
DRAWN BY: SS
CHECKED BY: SS
PROJECT NO.: LBR24523

REVISED: 07/27/2025, REVISED

THE GODDARD SCHOOL
PRE-SCHOOL
LIBERTY PARK, ALABAMA



SCHIBEL
BIRMINGHAM HUNTSVILLE TUSCALOOSA
SCHOOL.COM
1000 20TH AVENUE, SUITE 200
BIRMINGHAM, ALABAMA 35203
918.861.9900



4-2-25 Revisions #2

GODDARD SCHOOL

LIBERTY PARK

VESTAVIA HILLS, AL

LOT #3B of Bray Town Center Phase II



Approved w/ Comments

- provide physical color sample of monument sign lettering for approval
- hldy sign on front - legs no more than 36", lettering no higher than 24"
- provide updated landscape plan to screen play equipment with evergreen plantings

JKP

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GODDARD SCHOOL LIBERTY
 LIBERTY PARK
 VESTAVIA HILLS, AL
 LOT #3B of Bray Town Center Phase II

Scale

No.	Date	Issue Description

E.C. ARCHITECTURE
 397 PRINCE AVE. SUITE 208
 ATLANTA, GA 30341
 (404) 778-1100

Drawing Title
COVER SHEET

Date: 03.03.25 Project Number: 220443
 Drawing Number

A-0.0

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GODDARD SCHOOL LIBERTY
 LIBERTY PARK
 VESTVIA HILLS, AL
 LOT #3B of Bray Town Center Phase II

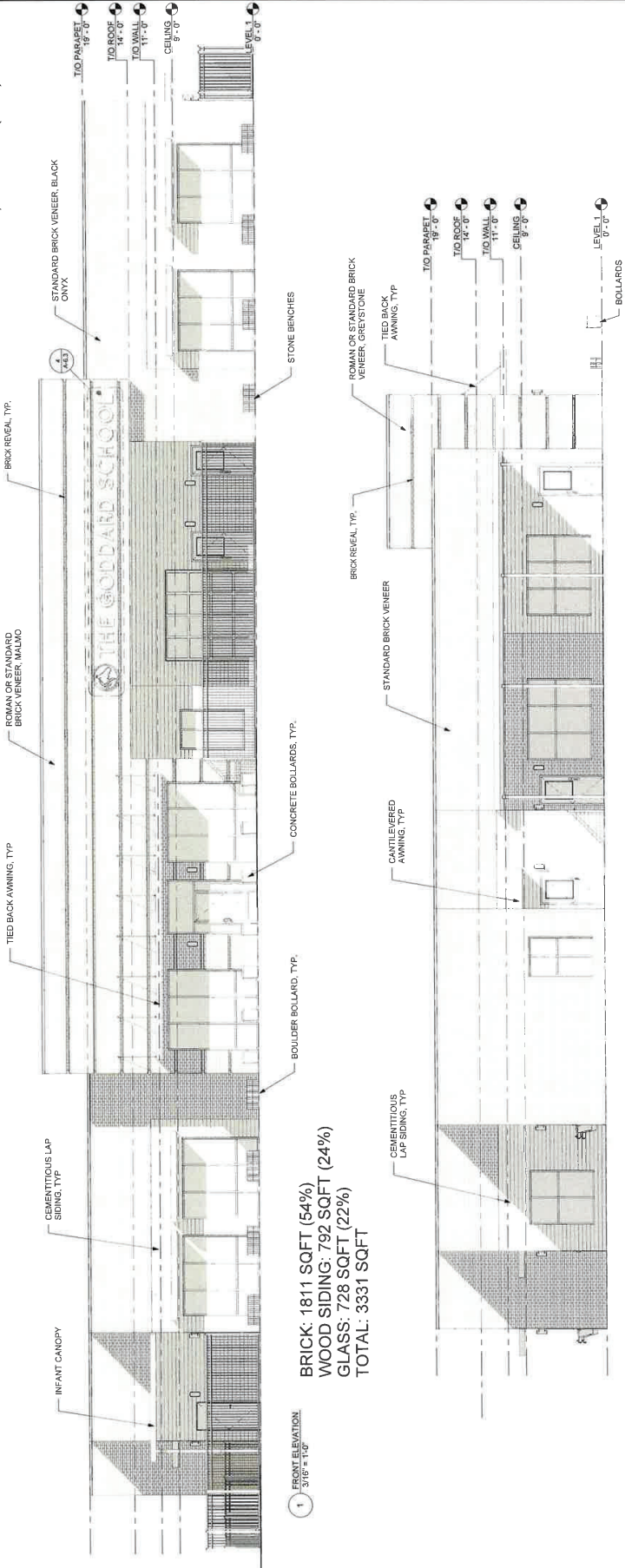
No.	Date	Issue/Revisions



EXTERIOR ELEVATIONS
 Drawing Title
 Date: 10/03/23 Project Number: 220443
 Drawing Number

A-2.0

FAÇADE MATERIAL CALCULATIONS:
TOTAL AREA: 10,346 SQFT
BRICK: 5,830 SQFT (56%)
WOOD SIDING: 2,677 SQFT (26%)
GLASS: 1,839 SQFT (18%)



1 FRONT ELEVATION
 3/16" = 1'-0"
 BRICK: 1811 SQFT (54%)
 WOOD SIDING: 792 SQFT (24%)
 GLASS: 728 SQFT (22%)
 TOTAL: 3331 SQFT

2 LEFT SIDE ELEVATION
 3/16" = 1'-0"
 BRICK: 1192 SQFT (59%)
 WOOD SIDING: 568 SQFT (28%)
 GLASS: 275 SQFT (13%)
 TOTAL: 2035 SQFT

CEMENTITIOUS LAP SIDING
 MANF: HARDPLANK (OR EQUAL)
 PRODUCT: SMOOTH LAP SIDING
 (ON ALL ELEVATIONS)
 COLOR: COBBLE STONE



BRICK
 MANF: PALMETTO (OR EQUAL)
 COLOR: 75 GREYSTONE (ONLY FRONT)
 SIZE: ROMAN OR STANDARD
 TEXTURE: WIRECUT



BRICK
 MANF: TAYLOR (OR EQUAL)
 COLOR: BLACK ONYX (ON ALL ELEVATIONS)
 SIZE: STANDARD
 TEXTURE: WIRECUT



3 GODDARD LIBERTY COLORED IMAGE
 NTS

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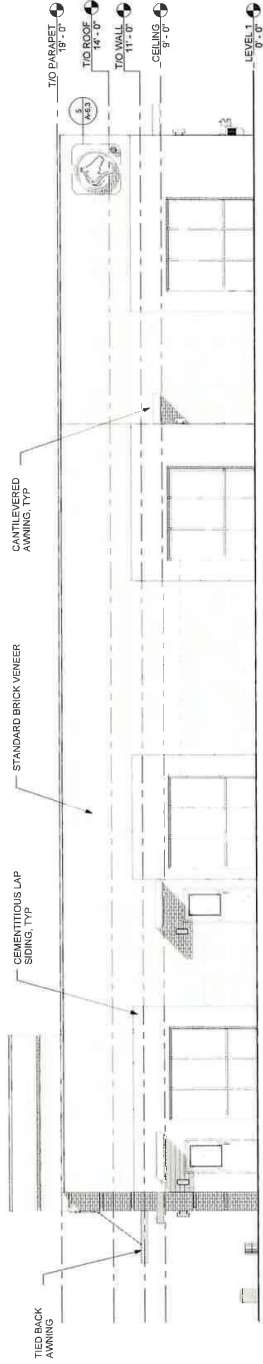
GODDARD SCHOOL LIBERTY
 LIBERTY PARK
 VESTAVIA HILLS, AL
 LOT #3B of Bray Town Center Phase II



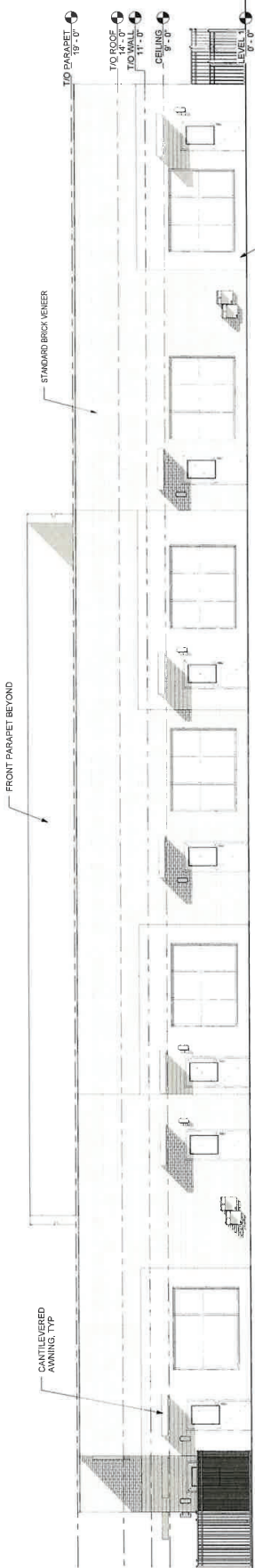
EXTERIOR ELEVATIONS

Drawn By: [Name]
 Date: 03/23/23
 Project Number: 2023-03
 Drawing Number: A-2.1

FACADE MATERIAL CALCULATIONS:
TOTAL AREA: 10,346 SQFT
BRICK: 5,830 SQFT (56%)
WOOD SIDING: 2,677 SQFT (26%)
GLASS: 1,839 SQFT (18%)



1 RIGHT SIDE ELEVATION
 3/16" = 1'-0"
 BRICK: 1121 SQFT (55%)
 WOOD SIDING: 560 SQFT (27%)
 GLASS: 354 SQFT (18%)
 TOTAL: 2035 SQFT



2 REAR ELEVATION
 3/16" = 1'-0"
 BRICK: 1706 SQFT (58%)
 WOOD SIDING: 661 SQFT (22%)
 GLASS: 578 SQFT (20%)
 TOTAL: 2945 SQFT

CEMENTITIOUS LAP SIDING
 MANF: HARDPLANK (OR EQUAL)
 PRODUCT: SMOOTH LAP SIDING
 ON ALL ELEVATIONS
 COLOR: COBBLE STONE

BRICK
 MANF: PALMETTO (OR EQUAL)
 COLOR: .75 GREYSTONE (ONLY FRONT)
 SIZE: ROMAN OR STANDARD
 TEXTURE: WIRECUT

BRICK
 MANF: TAYLOR (OR EQUAL)
 COLOR: BLACK ONYX (ON ALL ELEVATIONS)
 SIZE: STANDARD
 TEXTURE: WIRECUT



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CONSULTING ENGINEERS:



**GODDARD
SCHOOL LIBERTY**

LIBERTY PARK
VESTAVIA HILLS, AL
LOT #3B of Bray Town Center Phase II

Scale

No.	Date	Issue Description



Drawing Title
**EXTERIOR
RENDERINGS**

Date: 10.09.15 Project Number: 2004.4.3
Drawing Number

A-2.2



1 FRONT ELEVATION - COLORED REPRESENTATION
NOTE: SEE RENDERING TO FOLLOW

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DATE: 01/23/2024

PROJECT NUMBER: 2024-03

CLIENT: BRAY TOWN CENTER

PHASE: CONCEPT DESIGN

DATE: 01/23/2024

PROJECT NUMBER: 2024-03

CLIENT: BRAY TOWN CENTER

PHASE: CONCEPT DESIGN



GODDARD SCHOOL LIBERTY
LIBERTY PARK
VESTAVIA HILLS, AL
LOT #3B of Bray Town Center Phase II

Scale:

No.	Date	Revised/Notes

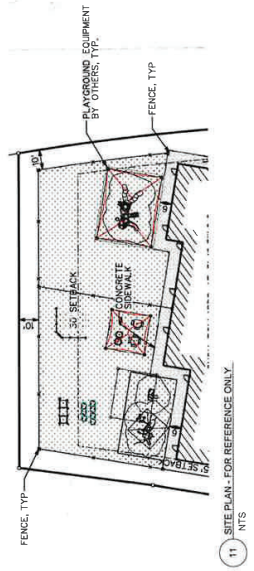
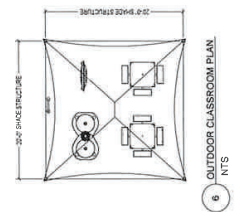
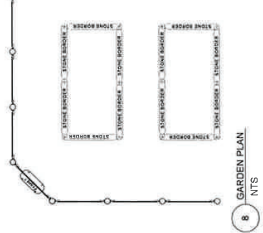
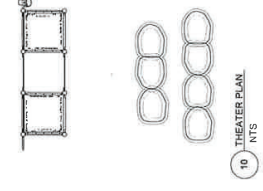
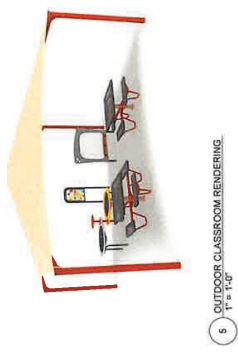
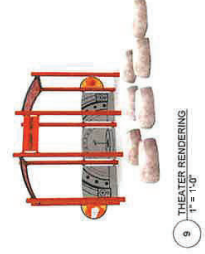
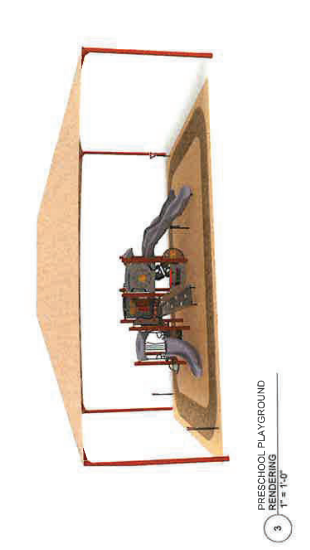
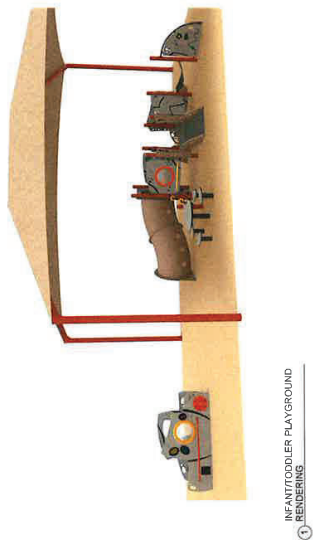
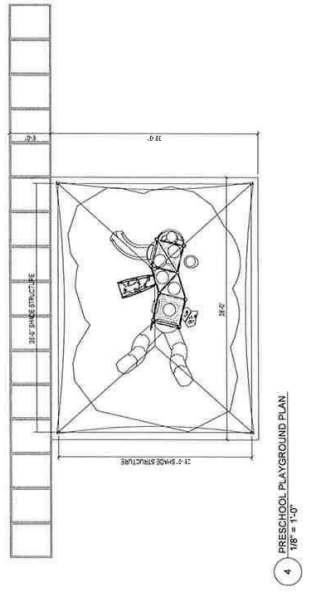
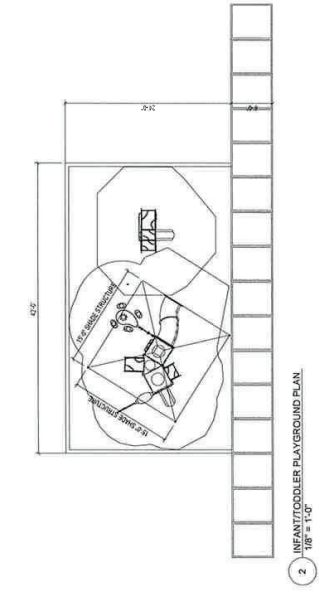


ARCHITECTURE
20 PRINCE ALICE DRIVE, SUITE 100
ATLANTA, GEORGIA 30305
404.525.1234

PLAYGROUND DETAILS

Date: 01/23/2024
Project Number: 2024-03
Client: BRAY TOWN CENTER

A-6.4

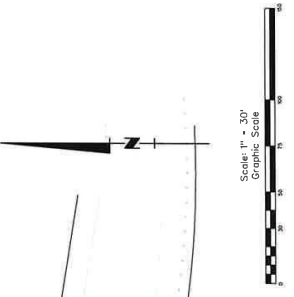


NOTE: ALL PLAYGROUND EQUIPMENT TO BE NEUTRAL COLORS

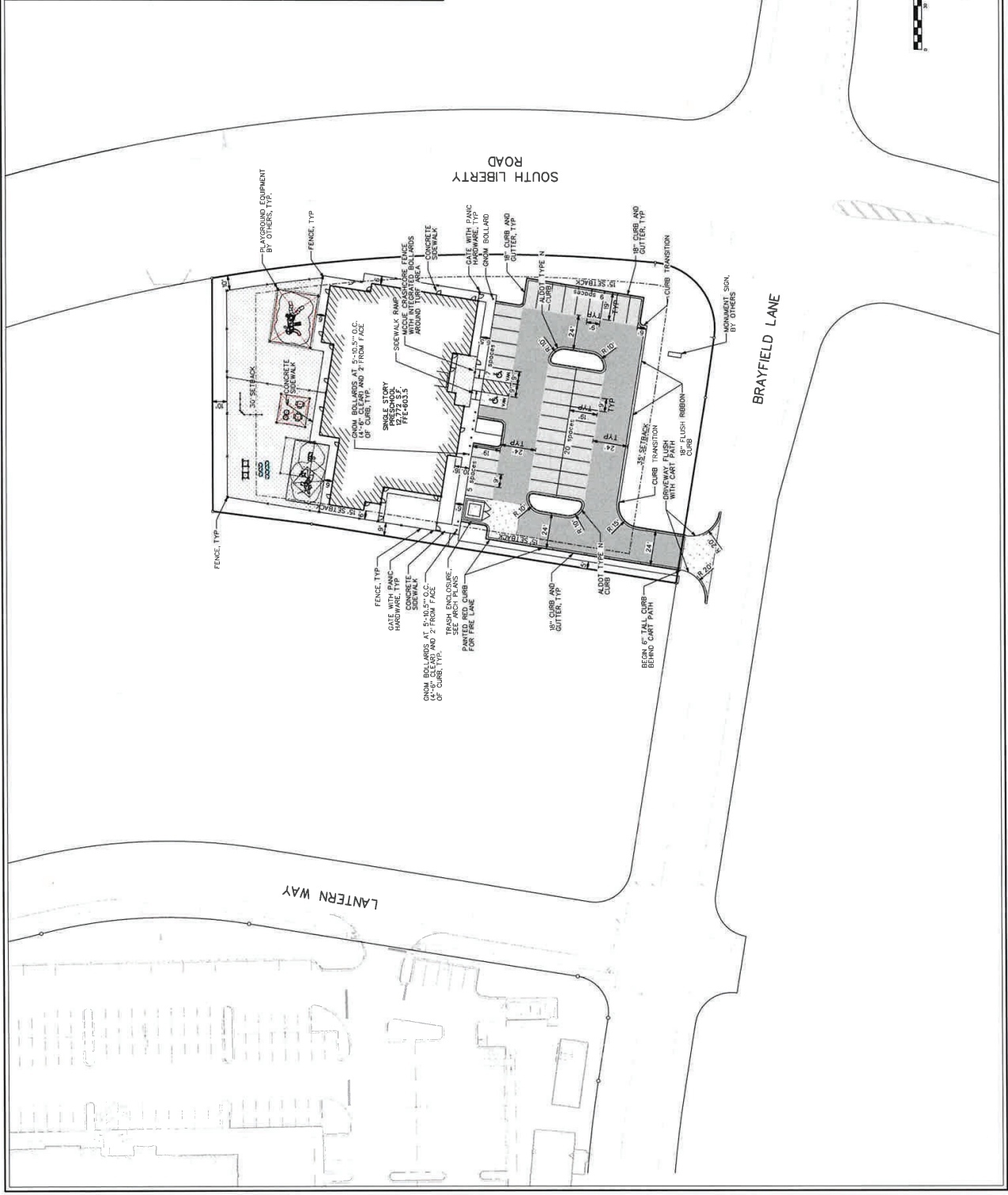
- NOTES:**
1. CONTRACTOR MUST VERIFY ALL DIMENSIONS SHOWN ON THIS PLAN. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 2. CONTRACTOR MUST VERIFY ALL DIMENSIONS SHOWN ON THIS PLAN. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 3. CONTRACTOR MUST VERIFY ALL DIMENSIONS SHOWN ON THIS PLAN. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 4. CONTRACTOR MUST VERIFY ALL DIMENSIONS SHOWN ON THIS PLAN. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 5. CONTRACTOR MUST VERIFY ALL DIMENSIONS SHOWN ON THIS PLAN. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES PRIOR TO CONSTRUCTION.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES PRIOR TO CONSTRUCTION.
 8. ALL TRAFFIC STRIPING ON SITE SHALL BE APPLIED IN TWO COATS, MINIMUM.
 9. SEE LANDSCAPE PLANS FOR ADDITIONAL WORK.
 10. ALL SIDEWALKS SHALL HAVE A 2" MINIMUM CURB AND 2" MINIMUM SIDEWALK WIDTH. ALL SIDEWALKS SHALL HAVE A 2" MINIMUM CURB AND 2" MINIMUM SIDEWALK WIDTH. ALL SIDEWALKS SHALL HAVE A 2" MINIMUM CURB AND 2" MINIMUM SIDEWALK WIDTH.

PARKING TABLE	
STANDARD SPACES	39
ACCESSIBLE SPACES	2
TOTAL SPACES	41

LEGEND	
[Pattern]	HEAVY DUTY ASPHALT
[Pattern]	LIGHT DUTY ASPHALT
[Pattern]	CONCRETE PAVING
[Pattern]	CONCRETE SIDEWALK
[Pattern]	PLAYGROUND SURFACE (MATERIAL BY OTHERS)



UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.





THE GODDARD SCHOOL
1000 W. HUNTSVILLE
HUNTSVILLE, ALABAMA 35893
205.938.1234
WWW.GODDARD.SCHOOL.COM

LIBERTY PARK ALABAMA
PRE-SCHOOL
THE GODDARD SCHOOL

DATE: 01.22.2025
DRAWN BY: ID
PROJECT NO.: LIB6203

Table with 2 columns: REVISIONS, NO. DATE DESCRIPTION

1.0.0

PLANTING

- 1. PRIOR TO PLANT INSTALLATION, CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF ALL THE SPECIFIED PLANT MATERIAL. CONTRACTOR SHALL SUBMIT A PHOTO COPY OF ALL THE PLANT MATERIAL...
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT MATERIAL QUANTITIES AND NOTIFYING LANDSCAPE ARCHITECT OF ANY DISCREPANCIES FOR CLARIFICATION PRIOR TO THE AWARD OF CONTRACT...
3. LANDSCAPE ARCHITECT SHALL HAVE THE RIGHT AT ANY STAGE OF THE OPERATION TO REJECT ANY PLANT MATERIAL THAT DOES NOT COMPLY WITH THE REQUIREMENTS AS SPECIFIED IN THE CONTRACT...
4. LANDSCAPE ARCHITECT MAY ADJUST THE LOCATION OF THE PLANT MATERIAL SHOWN ON THE PLANS TO ACCOMMODATE UNDESIRABLE FIELD CONDITIONS OR TO ACCOMPLISH DESIGN INTENT...
5. ANY PLANT MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF LANDSCAPE ARCHITECT...
6. THE INSTALLATION OF ALL PLANT MATERIAL SHALL COMPLY WITH THE CODES, STANDARDS, REGULATIONS, REQUIREMENTS, AND ORDINANCES OF ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK...
7. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE FOLLOWING REQUIREMENTS...
8. AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z601...
9. ALL PLANT MATERIAL SHALL BE GROWN UNDER IDEAL CLIMATIC CONDITIONS LIKE THOSE IN THE LOCALITY OF THE PROJECT...
10. ALL SPECIFIED PLANT MATERIAL SIZES ARE MINIMUM SIZES. ANY MATERIAL NOT MEETING THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER...
11. CONTAINER PLANTS SHALL HAVE BEEN GROWN IN A RIGID CONTAINER FOR A MINIMUM TIME AS FOLLOWS...
12. CONTAINER PLANTS SHALL HAVE ROOTS SUFFICIENTLY DEVELOPED TO HOLD TOGETHER THE SOIL WHEN THE PLANT IS REMOVED FROM ITS CONTAINER...
13. BULB AND BULBUPHANT PLANTS WILL NOT BE ACCEPTED WHEN THE ROOT BALL HAS BEEN CRACKED OR BROKEN...
14. PLANTS GROWN IN GROW BAGS ARE PROHIBITED...
15. SOIL SHALL BE MOUND, WELL MIXED WITH HEAVY ROOT DEVELOPMENT AND FREE OF WEEDS, FUNGUS, AND OTHER DISEASES...
16. PRIOR TO THE INSTALLATION OF PLANT MATERIAL, CONTRACTOR SHALL CONFIRM IN WRITING TO LANDSCAPE ARCHITECT THAT THE SOIL CONDITIONS AND SURFACE ELEVATIONS IN ALL PLANTING AREAS...
17. CONTRACTOR SHALL ENSURE THAT ALL WEEDS EXISTING PRIOR TO INSTALLATION OF PLANT MATERIAL...
18. CONTRACTOR SHALL MAINTAIN TREES IN A STRAIGHT AND PLUMB POSITION FOR ONE YEAR...
19. AREAS TO RECEIVE SOIL SHALL BE GRADUALLY LEveled...
20. APPLY APPROVED PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS...
21. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS INSTALLED...
22. MAINTENANCE SHALL INCLUDE THE FOLLOWING ACTIVITIES AND NECESSARY LABOR, EQUIPMENT, AND MATERIALS FOR...
23. CONTRACTOR SHALL DAILY MAINTAIN A CLEAN WORK AREA...
24. ALL STRUCTURES DAMAGED OR DEGRADED BECAUSE OF CONTRACTOR'S OPERATIONS SHALL BE CORRECTED BY CONTRACTOR...
25. CONTRACTOR SHALL MONITOR THE WATERING NEEDS OF PLANT MATERIAL...
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GENERAL

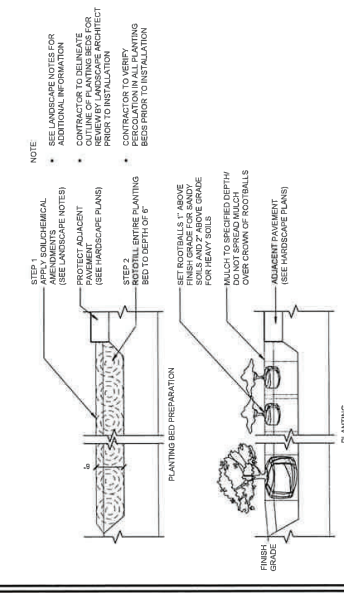
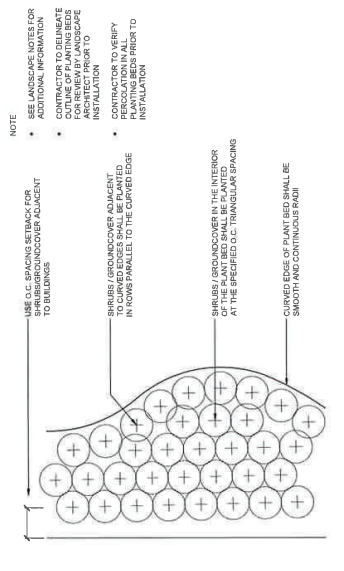
- 1. AS REFERRED TO HEREIN, CONTRACTOR IS THE INDOR OR SELECTED CONTRACTOR RESPONSIBLE FOR INSTALLATION OF WORK REFLECTED IN HEREIN AFTER REFERRED TO AS LANDSCAPE ARCHITECT/ CONTRACT...
2. CONTRACTOR IS EXPECTED TO CARRY OUT ALL RESPONSIBILITIES SET FORTH IN THESE NOTES AND IN THE CONTRACT DOCUMENTS WHICH WILL BE STRICTLY ENFORCED BY LANDSCAPE ARCHITECT...
3. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES REPRESENTED ON THE PLANS VS QUANTITIES SHOWN ON ANY LIST, THE PLAN SHALL CONTROL...
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THIS WORK PRIOR TO THE START OF CONSTRUCTION...
5. ALL WORK REFERENCED BY CONTRACTOR AND BY THESE NOTES SHALL COMPLY WITH APPLICABLE CODES, STANDARDS, REGULATIONS, REQUIREMENTS AND ORDINANCES OF ANY AGENCY HAVING JURISDICTION OVER THE WORK...
6. CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE...
7. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES, AND COMBIN FOR THE SAFE EXECUTION AND TIMELY COMPLETION OF THE WORK...
8. NECESSARY TO ENSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS AND GOVERNING AUTHORITIES...
9. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, CONTRACTOR SHALL VERIFY THE CONDITION AND COMPLETENESS OF RELATED WORK PERFORMED BY OTHERS...
10. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE SITE OF CONSTRUCTION...
11. IN ADDITION TO LANDSCAPE ARCHITECT'S CONTRACT DOCUMENTS, CONTRACTOR SHALL REFER TO THE CONTRACT DOCUMENTS PREPARED BY OTHERS...
12. CONTRACTOR SHALL INCLUDE BUT NOT BE LIMITED TO ARCHITECT, MECHANICAL, ELECTRICAL, PLUMBING, POOL, ENGINEER, IRRIGATION, STRUCTURAL, AND CIVIL ENGINEER...
13. LANDSCAPE ARCHITECT SHALL HAVE THE RIGHT AT ANY STAGE OF CONSTRUCTION TO REJECT ALL WORK OR MATERIALS WHICH IN THEIR OPINION DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS...
14. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IN WRITING WITHIN 48 HOURS OF DISCOVERY...
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SOIL PREPARATION AND SOIL MIX

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PLANT HEALTH IN ON-SITE SOILS AND SITE CONDITIONS...
2. CONTRACTOR SHALL CLEAN SURFACE SOIL IN PLANTING AREAS OF LIME ROCK AND CONSTRUCTION DEBRIS...
3. CONTRACTOR SHALL OBTAIN SAMPLES OF EXISTING SOILS TO BE USED FOR PLANTING...
4. PRIOR TO AMENDING SOIL, CONTRACTOR SHALL SUBMIT TO LANDSCAPE ARCHITECT...
5. RESULTS FOR ORGANIC MATTER, FERTILIZER AND/OR OTHER AMENDMENTS NECESSARY TO MEET PLANTING MIX SPECIFICATIONS...
6. CONTRACTOR SHALL AMEND THE SOIL BASED ON THE RECOMMENDATION OF THE SOIL TESTS...
7. MANUFACTURED PLANTING MIX SHALL CONFORM TO THE CONTRACT DOCUMENTS...
8. TOPSOIL, SAND, ORGANIC MATERIAL, FERTILIZER, AND OTHER AMENDMENTS FOR PLANTING MIX SHALL CONFORM TO THE CONTRACT DOCUMENTS...
9. IF APPROVED BY LANDSCAPE ARCHITECT, ON-SITE SOIL MAY BE AMENDED FOR TOPSOIL AND/OR SAND BASED ON A SOILS TEST REPORT...
10. HAZARDOUS MATERIALS IS NOT THE PURPOSE OF THESE TESTS AND IS BEYOND THE SCOPE OF LANDSCAPE ARCHITECT'S RESPONSIBILITY.

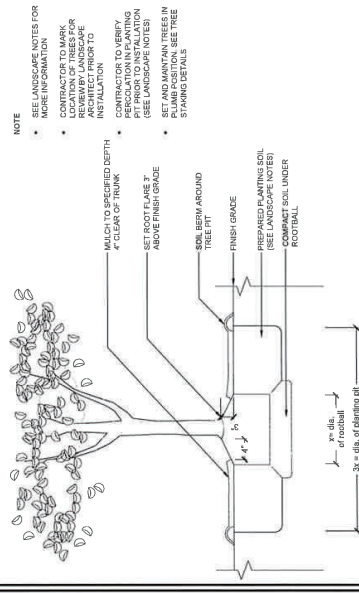
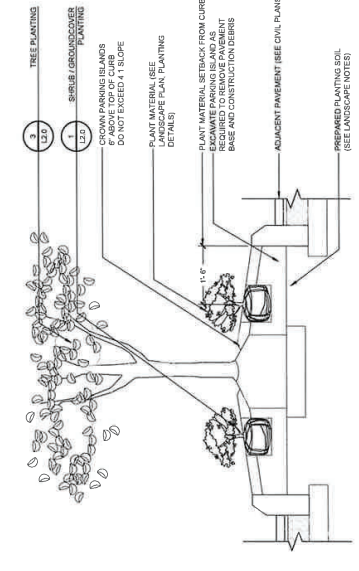
LANDSCAPE

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1 SHRUB / GROUND COVER PLANTING
 1/2\"/>

2 SHRUB / GROUND COVER LAYOUT
 1/2\"/>



3 TREE PLANTING
 1/2\"/>

4 PARKING ISLAND PLANTING
 1/2\"/>

DATE:	02/24/2025
DRAWN BY:	ED
CHECKED BY:	ED
PROJECT NO.:	187429

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