



**Vestavia Hills
Design Review Board Agenda
September 4, 2025
6:00 PM**

1. Call to Order
2. Roll Call
3. Approval Of Minutes
4. **DRB-25-7** Kanti Sunkavalli is requesting **Architectural Review & Final Review of Materials** for the property located at 633 Montgomery Hwy. The purpose of this request is for renovation to an existing building. The property is owned by Baker Crow and zoned Vestavia Hills B-2.
5. **DRB-25-13** Steven Hornbuckle is requesting **Architectural Review** for the property located at 380 Summit Blvd. The purpose of this request is for a new mural. The property is owned by Robert Britt and zoned Vestavia Hills B-3.
6. **DRB-25-14** LP Development, LLC is requesting **Architectural Review, Landscape Review, & Final Review Of Materials** for the property located at 3178 Rush St. The purpose of this request is for a new building. The property is owned by LP Development, LLC and zoned Vestavia Hills PB.
7. **DRB-25-18** Real Estate Investments LTD LLC is requesting Final Review of Materials for the property located at 1477 Montgomery Hwy. The purpose of this request is for new paint. The property is owned by Real Estate Investments LTD LLC and zoned Vestavia Hills B-2.
8. Time Of Adjournment

CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
MINUTES

AUGUST 7, 2025

The Vestavia Hills Landscape and Architectural Control Board met in a regular session on this date at 6:00 PM. The roll was called with the following:

MEMBERS PRESENT: Phil Kennedy, Chairman
David Giddens
Mae Coshatt
Jeff Slaton

MEMBERS ABSENT: John Wood
Joe Ellis
Chris Pugh

OTHER OFFICIALS PRESENT: Conrad Garrison, City Planner

APPROVAL OF MINUTES

The minutes for July were presented for approval.

MOTION Motion to dispense with the reading of the minutes was made by Mr. Slaton and 2nd was by Mrs. Coshatt. Motion as carried on a voice vote as follows:

Mrs. Coshatt – yes	Mr. Giddens – yes
Mr. Slaton – yes	Mr. Kennedy – yes
Motion carries.	

ARCHITECTURAL REVIEW

D-25-13 Steven Hornbuckle is requesting **Architectural Review** for the property located at 380 Summit Blvd. The purpose of this request is for a new mural. The property is owned by Robert Britt and zoned Vestavia Hills B-3.

Steven Hornbuckle was present to explain the request and went over several different options.

The Board asked that Mr. Hornbuckle choose a design and resubmit for the September meeting.

ARCHITECTURAL REVIEW, LANDSCAPE REVIEW, & FINAL REVIEW OF MATERIALS

D-25-14 LP Development, LLC is requesting **Architectural Review, Landscape Review, & Final Review Of Materials** for the property located at 3178 Rush St. The purpose of this request is for a new building. The property is owned by LP Development, LLC and zoned Vestavia Hills PB.

The Board listened to the presentation and accepted the application.

FINAL REVIEW OF MATERIALS

D-25-15 Eryk Anders is requesting **Final Review Of Materials** for the property located at 1014 Montgomery Hwy. The purpose of this request is for new paint colors. The property is owned by WB Montgomery Blvs, LLC and zoned Vestavia Hills B-2.

The applicant explained that he wishes to paint the building white and submitted a paint sample.

The Board agreed with the color.

MOTION Motion to approve Final Review of Materials For 1014 Montgomery Hwy was made by Mrs. Coshatt. Second was made by Mr. Giddens. Voice vote as follows:

Mrs. Coshatt – yes
Mr. Slaton – yes
Motion carries.

Mr. Giddens – yes
Mr. Kennedy – yes

FINAL REVIEW OF MATERIALS

D-25-16 Oak Park Properties is requesting **Final Review Of Materials** for the property located at 2533 Rocky Ridge Rd. The purpose of this request is for new paint colors. The property is owned by Oak Park Properties and zoned Vestavia Hills B-2.

The applicant explained that he wishes to paint the building white and submitted a paint sample.

The Board agreed with the color.

MOTION Motion to approve Final Review of Materials For 2533 Rocky Ridge Rd. was made by Mrs. Coshatt. Second was made by Mr. Giddens. Voice vote as follows:

Mrs. Coshatt – yes
Mr. Slaton – yes

Mr. Giddens – yes
Mr. Kennedy – yes

Motion carries.

ARCHITECTURAL REVIEW, LANDSCAPE REVIEW, & FINAL REVIEW OF MATERIALS

D-25-17 LPJV is requesting **Architectural Review, Landscape Review, & Final Review Of Materials** for the property located at 3740 Corporate Woods Dr. The purpose of this request is for a new building. The property is owned by LPJV and zoned Vestavia Hills PB.

The applicant explained the request and the Liberty Park ARC approval.

The Board agreed.

MOTION Motion to approve Architectural Review, Landscape Review, and Final Review of Materials For 3740 Corporate Woods Dr. was made by Mr. Slaton. Second was made by Mrs. Coshatt. Voice vote as follows:

Mrs. Coshatt – yes
Mr. Slaton – yes
Motion carries.

Mr. Giddens – yes
Mr. Kennedy – yes

ARCHITECTURAL REVIEW & FINAL REVIEW OF MATERIALS

D-25-7 Kanti Sunkavalli is requesting **Architectural Review, Landscape Review, & Final Review Of Materials** for the property located at 633 Montgomery Hwy. The purpose of this request is for renovations to an existing building. The property is owned by Baker Crow and zoned Vestavia Hills B-2.

Mr. Sunkavalli explained the request and ideas he had for the project.

The Board agreed with the concept but asked that Mr. Sunkavalli drill down on specific materials and return.

MOTION Motion to approve Architectural Review For 633 Montgomery Hwy. was made by Mrs. Coshatt. Second was made by Mrs. Giddens. Voice vote as follows:

Mrs. Coshatt – yes
Mr. Slaton – yes
Motion carries.

Mr. Giddens – yes
Mr. Kennedy – yes




Conrad Garrison
City Planner

Design Review Board Application

Applicant

Primary Location

DRB-25-7

 Kanti Sunkavalli
 2053179203
 @ drsunkavalli@gmail.com

633 MONTGOMERY HWY
VESTAVIA HILLS, AL 35216

Submitted On: Apr 16, 2025

Owner of Property

Name	Address
Baker crow	629 Montgomery hwy
City	State
Vestavia hills	Al
Zip Code	Phone Number
35216	2059363263
Email	
baker.crow@gmail.com	

Billing/Responsible Party

Name	Address
Kanti Sunkavallk	633 Montgomery hwy
City	State
Vestavia hills	Al
Zip Code	Phone Number
35216	2053179203
Email	
drsunkavalli@gmail.com	

Representing Attorney/Other Agent

Name	Address
--	--
City	State
--	--
Zip Code	Phone Number
--	--
Email	
--	

Description of Property

Subject Property Address

633 Montgomery hwy

Property Zoning Classification

Commercial preferred

Subdivision Name, Lot #, Block #, etc.

--

Reason for Request

Check all that apply

Preliminary Review

--

Landscape Review

--

Architectural Review

--

Final Review of Materials

--

Other

true

Detailed Explanation

Design review board

Process

Check all that apply

New Building

--

Renovation of Existing Building

--

New Landscape Plan

true

Renovation to Existing Landscaping Plan

false

Other

--

Detailed Explanation

Patio buildout

Affidavit:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit.

Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board

must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

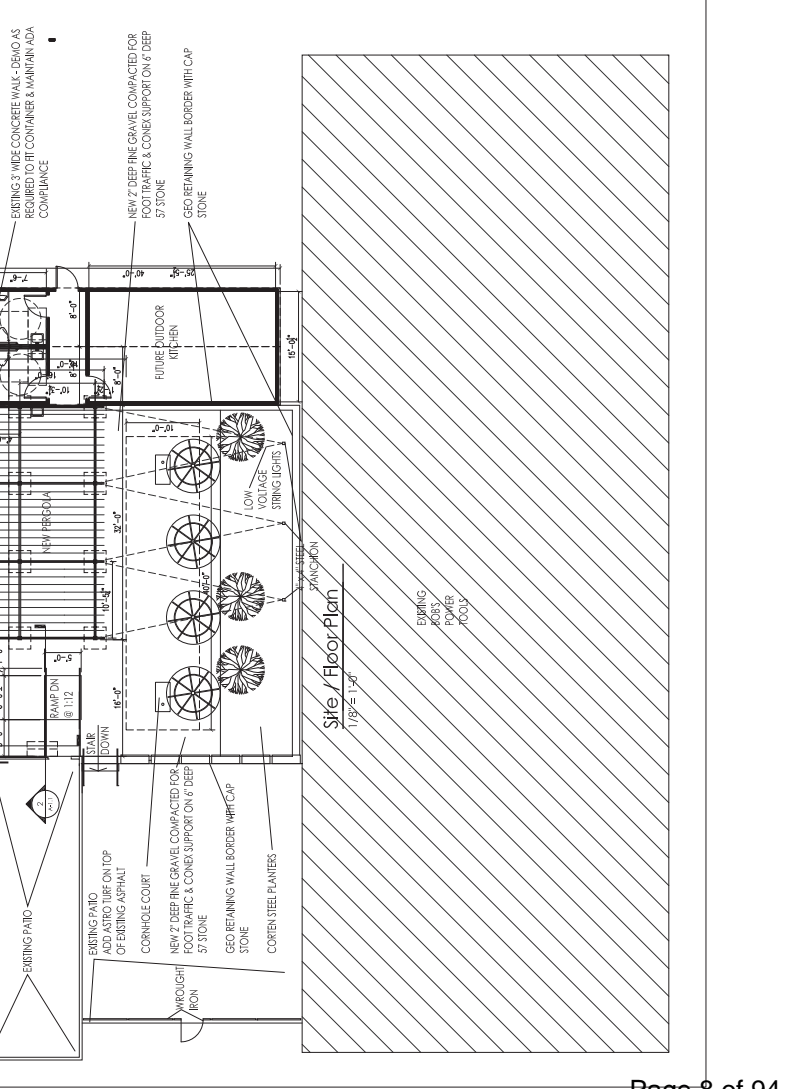
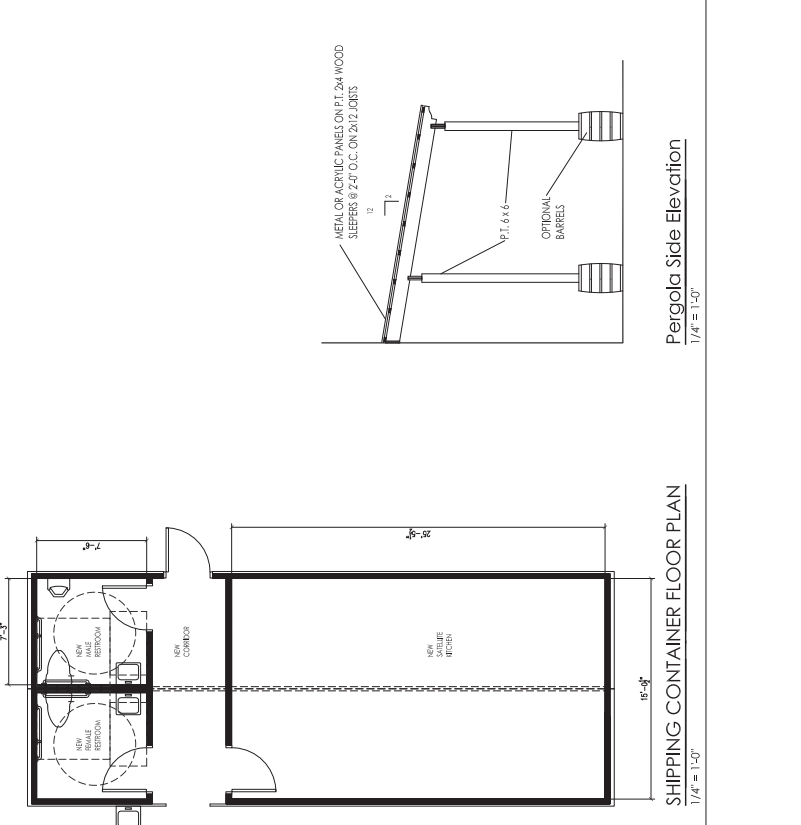
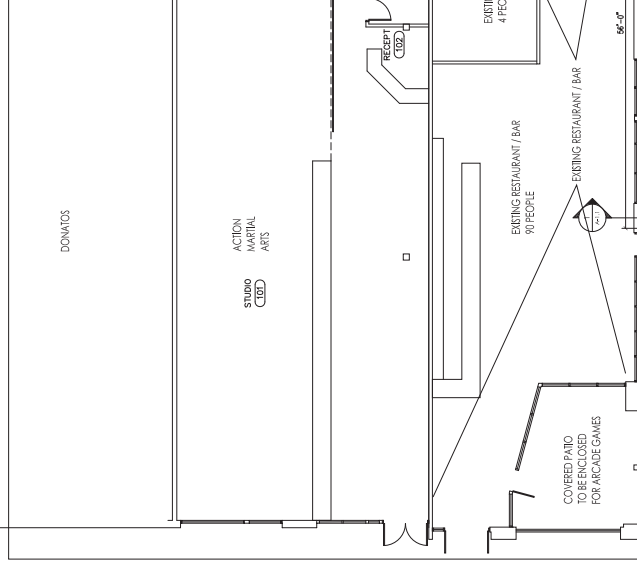
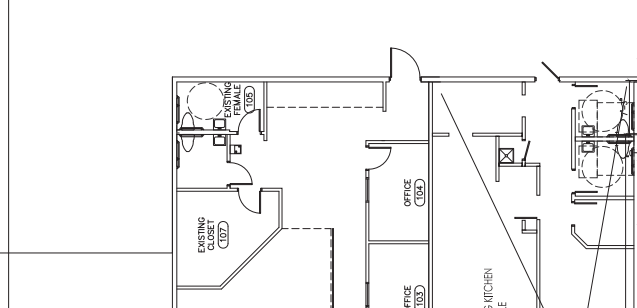
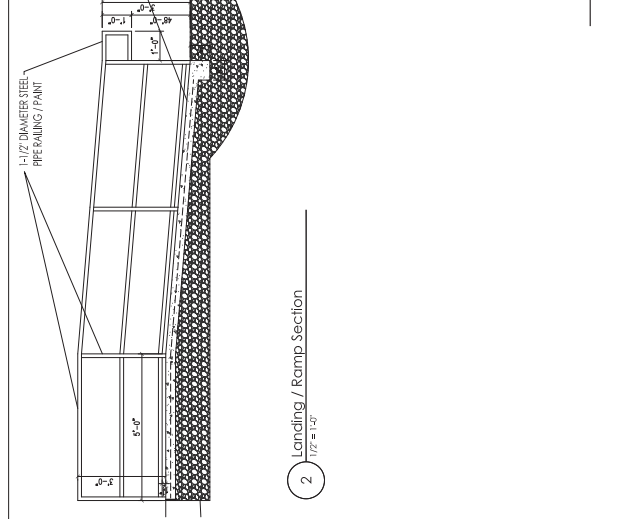
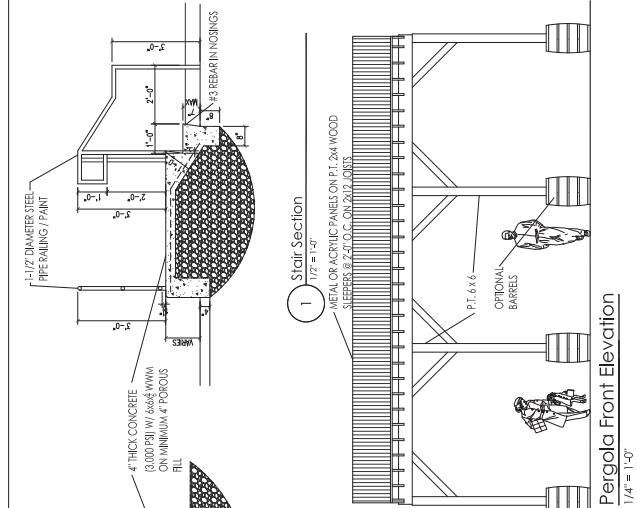
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1. Architectural Review

- a. Site plan showing roadways, entrances, exits and parking
- b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
- c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.

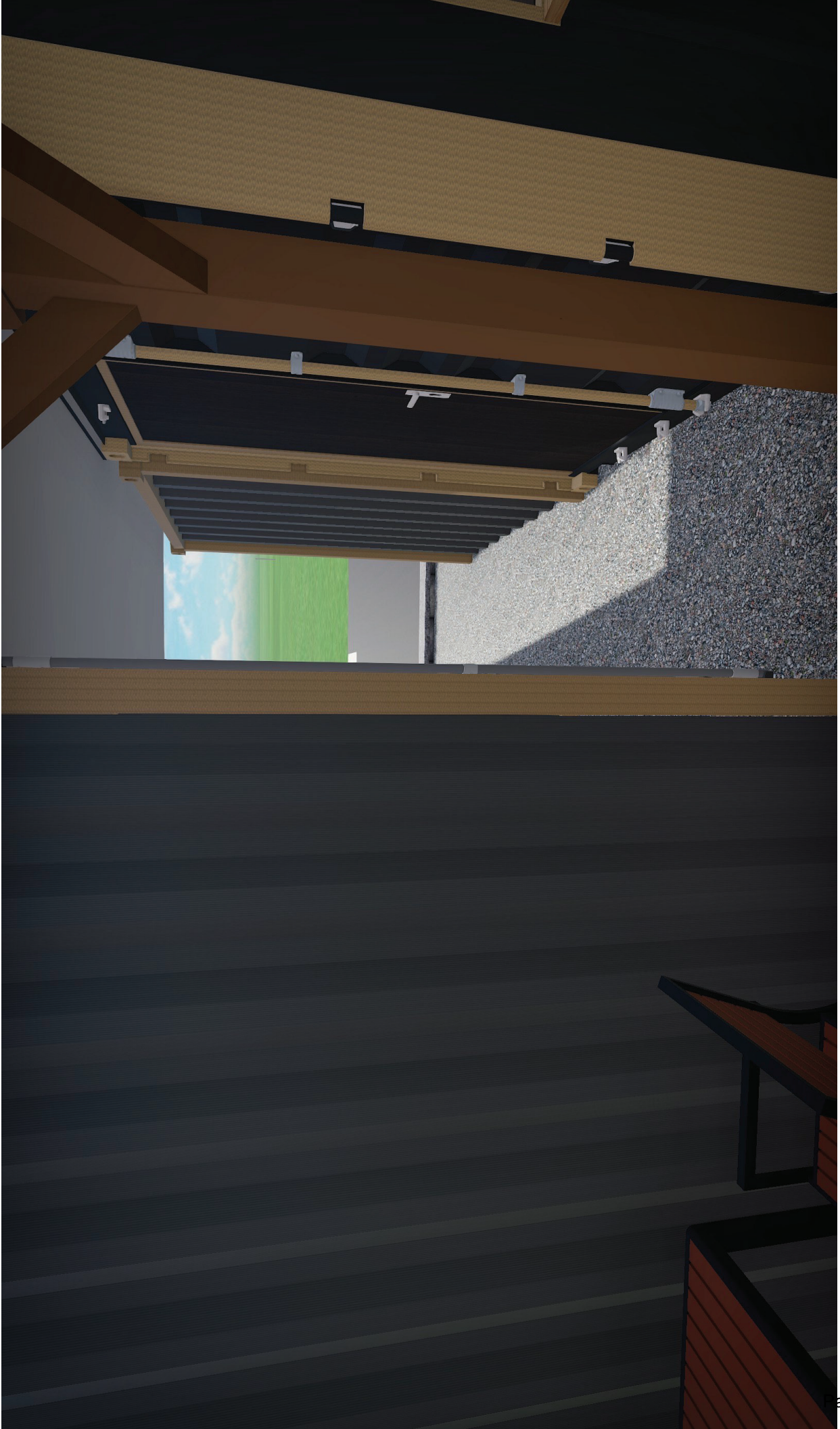
2. Landscape Review

- a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
- b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
- c. Parking lots: Provide calculations of total square footage and square footage designed for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
- d. Irrigation plan for all landscaped areas.
- e. Statement of maintenance policy and provisions.















Design Review Board Application


Applicant

Primary Location

DRB-25-13

 Steven Hornbuckle

 205-999-1597

 steven.hornbuckle@svp.vet

380 SUMMIT BLVD
VESTAVIA HILLS, AL 35243

Submitted On: Jul 2, 2025

User Advisory

Owner of Property

Name

Robert Britt

Address

4364 Hwy 49

City

Columbiana

State

AL

Zip Code

35051

Phone Number

(205) 706-2832

Email

gunsrme007@gmail.com

Billing/Responsible Party

Name

Steven Hornbuckle

Address

2204 Lakeshore Dr., Suite 325

City

Birmingham

State

AL

Zip Code

35209

Phone Number

(205) 999-1597

Email

steven.hornbuckle@svp.vet

Representing Attorney/Other Agent

Name

N/A

Address

--

City

--

State

--

Zip Code

--

Phone Number

--

Email

--

Description of Property

Subject Property Address

380 Summit Blvd., Vestavia Hills, AL 35243

Property Zoning Classification

--

Subdivision Name, Lot #, Block #, etc.

--

Reason for Request

Check all that apply

Preliminary Review

--

Landscape Review

--

Architectural Review

--

Final Review of Materials

--

Other

true

Detailed Explanation

Approval of an exterior mural to be installed on an existing building structure.

Process

Check all that apply

New Building

--

Renovation of Existing Building

--

New Landscape Plan

--

Renovation to Existing Landscaping Plan

--

Other

true

Detailed Explanation

Approval of an exterior mural to be installed on an existing building structure.

Affidavit:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit.

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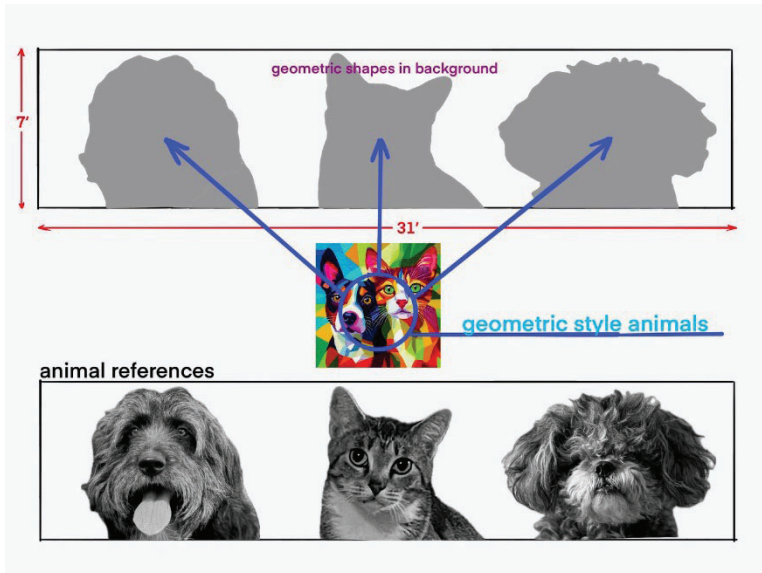
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- e. Statement of maintenance policy and provisions.

PROPOSED MURAL



Proposed Mural Area – 217 SF



Mural Wall Layout



Mural Concept – Dog / Cat Motif






Design Review Board Application

Applicant

Primary Location

DRB-25-14

 Michaela Kegley
 813-564-6200
 @permits@bdgllp.com

3178 RUSH ST
VESTAVIA HILLS, AL 35242

Submitted On: Jul 14, 2025

User Advisory

Owner of Property

Name

LP Development. LLC, by Liberty Parks Holdings

Address

700 Montgomery Hwy, STE 186

City

Birmingham

State

AL

Zip Code

35216

Phone Number

205.972.9627

Email

john@blackwaterdevco.com

Billing/Responsible Party

Name

Chloe Kelley

Address

400 North Ashley Drive

City

Tampa

State

FL

Zip Code

33602

Phone Number

813.564.6200

Email

permits@bdgllp.com

Representing Attorney/Other Agent

Name

--

Address

--

City

--

State

--

Zip Code

--

Phone Number

--

Email

--

Description of Property

Subject Property Address

3178 Rush Street

Property Zoning Classification

PUD-PB: Planned Business

Subdivision Name, Lot #, Block #, etc.

Parcel ID: 28-00-13-2-000-001.005 AND 28-00-12-3-000-001.008

Reason for Request

Check all that apply

Preliminary Review

false

Landscape Review

true

Architectural Review

true

Final Review of Materials

false

Other

--

Detailed Explanation

NEW freestanding bank facility:one-level building 1900 square custom architecture, including a drive-thru with two lanes equipped with one VAT and one ATM lane, and trash enclosure.

This project scope along with a landscape paln (sheet L-110), site plan (C02.01), and elevations/renders have already been presented to the Liberty Park ARC board and been approved by Kris Reeks (ARC Chairperson). This is the initial submittal for the City of Vestavia Hills DRB approval to preceed our LDP and Building permit applications.

Process

Check all that apply

New Building

true

Renovation of Existing Building

--

New Landscape Plan

true

Renovation to Existing Landscaping Plan

--

Other

--

Detailed Explanation

Ground up project on vacant land, in which the prosposed bank will be a new building with a new landscape plan to accompany the completion of the building design.

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MEMO

Kris Reek
Chairperson – Liberty Park Architectural Review Committee
Liberty Park Master Association
1000 Urban Center Drive, Suite 235
Vestavia Hills, AL 35242
Phone: 205.945.6560 ♦ email: kreek@libertypark.com

TO: Chloe Kelley
FROM: Kris Reek
CC: John Gunderson, James Parsons
DATE: 6-25-25
SUBJECT: Fifth Third Bank ARC Approval

We have received and reviewed your formal submittal of the Fifth Third Bank Plans and revisions requested by the ARC. After careful consideration and much discussion, we have voted to Approve the final set of plans received on June 20 and reviewed at the June 24, 2025 meeting of the Liberty Park ARC.

The approved plans are attached for your reference.

Sincerely,



Kris Reek, Chairperson
Liberty Park Architectural Review Committee

IMPORTANT NOTICE- READ CAREFULLY
Any revisions, modifications or changes to these plans and specifications, as approved or "approved as noted" by the Liberty Park Architectural Review Committee (ARC), must be submitted to and approved by the ARC in the same manner as the original submittal. If the ARC determines that these plans and specifications, approved or "approved as noted by the ARC", are not being complied with, the owner of the subject property shall be deemed to have violated the Covenants, Conditions and Restrictions applicable to such property. In that event, the ARC and/or the Liberty Park Master Owners' Association, Inc. shall have the right to exercise any of the rights of enforcement and remedies available to those entities as set forth in the Covenants, including but not limited to levying fines and/or placing a lien on the subject property.
The owner of the subject property, or the owner's authorized representative, acknowledges receipt of these approved or "approved as noted" plans and specifications and agrees to all conditions, notations, limitations, and revisions set forth herein.

ISSUE BY	DATE	DESCRIPTION
E.S.	02/18/25	100% REVIEW SET

PROJECT INFORMATION BLOCK	
JOB #	24045118-374.02
DATE	02/18/25
DRAWN BY	AM
CHECKED BY	AM
SHEET TITLE	AL

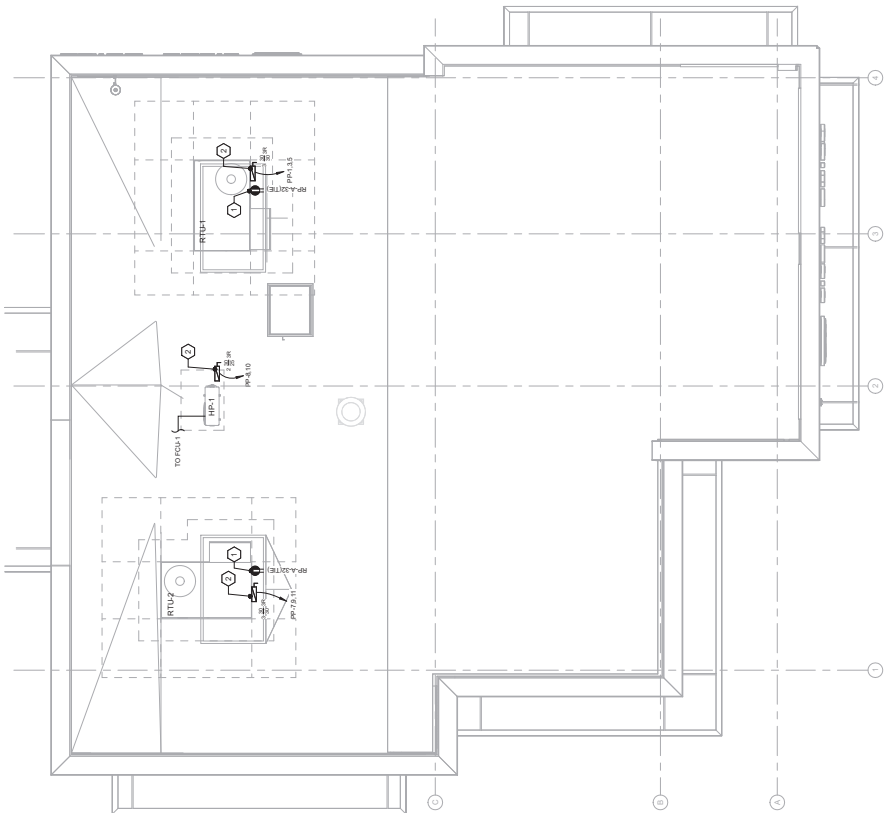
ELECTRICAL POWER ROOF PLAN	
SHEET NUMBER	E-101

SHEET NOTES:

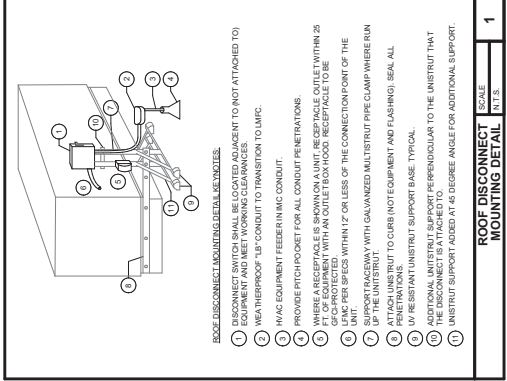
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KEYED NOTES:

1. MAINTENANCE RECEPTACLE PROVIDE 20A, 120V GFCI WITH WHERETOOTH W/ THERMISTRESS TANT RESISTOR PROTECTIVE POWER CONNECTIONS AS REQUIRED BY RTU MANUFACTURER. DISCONNECT UNIT SHALL BE KEPT TO "WOOD DISCONNECT MOUNTING DETAIL" ON THIS SHEET FOR MORE DETAILS.



1 ELECTRICAL ROOF PLAN
1/4" = 1'-0"



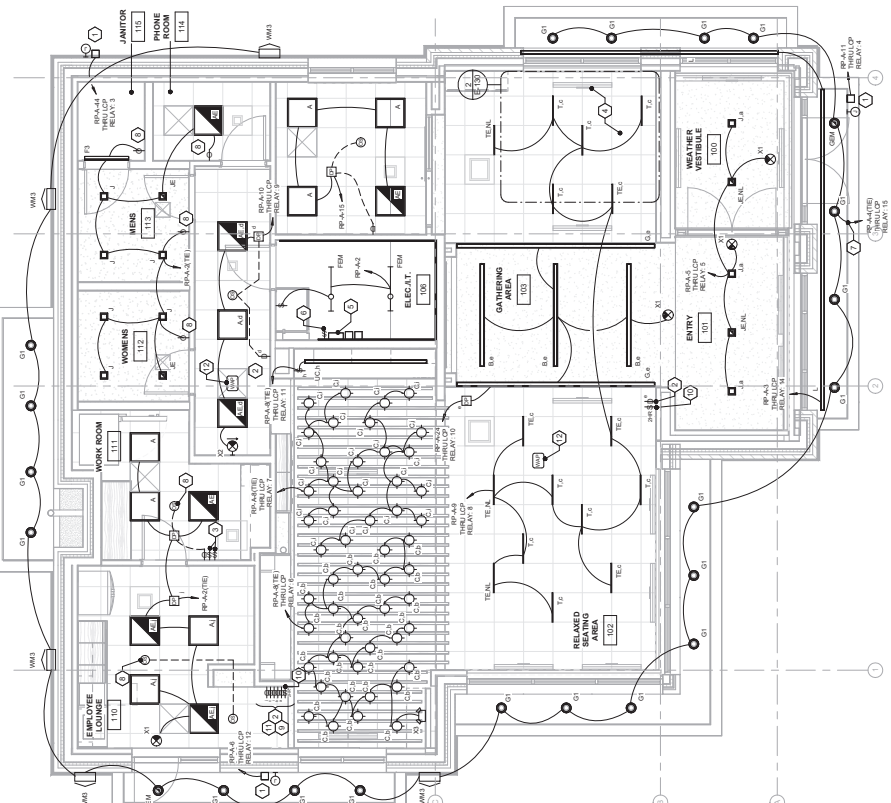
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DATE	02/18/22		
DESIGNED BY	ESJ		
CHECKED BY	AM		
DATE	02/18/22		
SHEET TITLE			
ELECTRICAL LIGHTING PLAN			
SHEET NUMBER			
E-130			

SHEET NOTES:

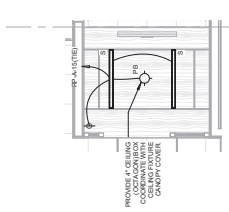
1. WALL SHIMMED OR FULLY SHIMMED LUMINAIRES SHALL BE PROVIDED.
2. EMERGENCY LIGHTING FIXTURES SHALL SWITCH WITH LOCAL NORMAL EMERGENCY FIXTURES WITH INTEGRAL BATTERY PACKS.
3. EMERGENCY BATTERY PACKS SHALL CHARGE WHEN POWER TO THE LIGHT FIXTURES IS RESTORED.
4. EXISTING AND NEW LIGHT FIXTURES SHALL BE CONNECTED TO IN-SWITCHED CIRCUIT AND NOT TO LIGHTING CONTROLLED TO EACH LINE VOLTAGE WALL SWITCH WHERE THE WIRING DEVICE DOES NOT PROVIDE THE NECESSARY PROTECTION FOR THE LIGHTING CIRCUIT. LOW VOLTAGE CIRCUITRY IS NOT SHOWN ON THE FLOOR PLANS FOR THE LIGHTING CONTROL. VENDOR'S SCHEDULES SHALL BE COORDINATED WITH THE LIGHTING CONTROL VENDOR'S SCHEDULES AND SHALL BE COORDINATED WITH ALL LOW VOLTAGE LIGHTING CONTROL VENDOR SHALL PROVIDE AND SUBMIT JOB SPECIFICATIONS, WIRING DIAGRAMS, WIRING SCHEDULES, WIRING COVERAGE S, AND TERMINAL TO TERMINAL WIRING DIAGRAMS SPECIFIC TO THIS PROJECT.

KEYED NOTES:

1. DISCONNECT SWITCH FOR BANK LOG SIGN ROUTE IT TO PANEL RPA-4 THROUGH THE LIGHTING CONTROL PANEL. ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION, QUANTITIES AND MOUNTING HEIGHT PRIOR TO ROUGH-IN.
2. LIGHTING SWITCH SHALL HAVE THE ABILITY TO TURN THE ZONE OFF AND ON. SWITCH SHALL BE MOUNTED AT THE TOP OF THE ZONE. SWITCH SHALL BE MOUNTED AT THE TOP OF THE ZONE. SWITCH SHALL BE MOUNTED AT THE TOP OF THE ZONE.
3. COORDINATE PLACEMENT WITH ARCHITECT PRIOR TO ROUGH-IN.
4. EXISTING 'RP' AND 'S' SHALL BE MOUNTED AT BOOTH CEILING HEIGHT (SEE DETAIL 9) ONE 600 INTERFERE WITH THE LIGHTING CONTROL PANEL. ELECTRICAL CONTRACTOR SHALL PROVIDE FOUR HOURS FOR INSTALLATION AND TESTING. ELECTRICAL CONTRACTOR SHALL PROVIDE FOUR HOURS FOR TESTING. ELECTRICAL CONTRACTOR SHALL PROVIDE FOUR HOURS FOR TESTING.
5. PROVIDE AN OVERSIC SWITCH FOR TESTING OF EXTERIOR AND SITE LIGHTING. SEE LIGHTING CONTROL SCHEDULE.
6. LIGHTING CONTROL SHALL BE MOUNTED AT THE TOP OF THE ZONE. LIGHTING CONTROL SHALL BE MOUNTED AT THE TOP OF THE ZONE.
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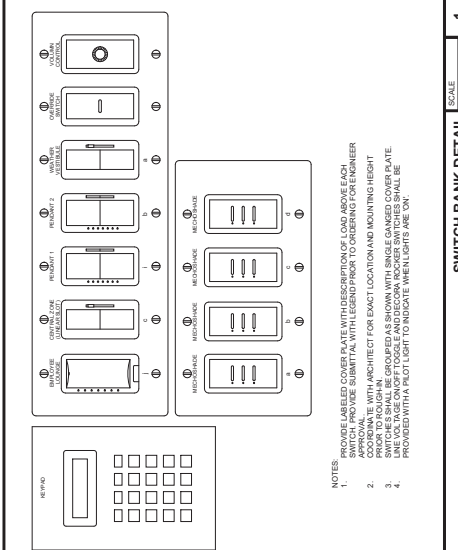
1. ELECTRICAL LIGHTING PLAN
1/4" = 1'-0"



2. ELECTRICAL LIGHTING PLAN - BOOTH
1/4" = 1'-0"

LCP SCHEDULE

RELAY NUMBER	PANEL NUMBER	DESCRIPTION OF AREA	LOCAL CONTROL NUMBER
1	RPA-1	EXT. ROOF LIGHTING	1
2	RPA-2	NON-COR. LOCAL LIGHTING	2
3	RPA-3	EXT. ROOF OVERSIC SWITCH	3
4	RPA-4	EXT. ROOF OVERSIC SWITCH	4
5	RPA-5	WEATHER VESTIBULE ENTRY	5
6	RPA-6	SHOW ELEVATOR	6
7	RPA-7	SHOW ELEVATOR	7
8	RPA-8	BANKING LOBBY	8
9	RPA-9	BANKING LOBBY	9
10	RPA-10	VESTIBULE	10
11	RPA-11	UNDERCOUNTER SERVICE BAR	11
12	RPA-12	UNDERCOUNTER SERVICE BAR	12
13	RPA-13	ALL CANOPY LIGHTING	13
14	RPA-14	ALL CANOPY LIGHTING	14
15	RPA-15	EXT. ROOF OVERSIC SWITCH	15
16	RPA-16	EXT. ROOF OVERSIC SWITCH	16



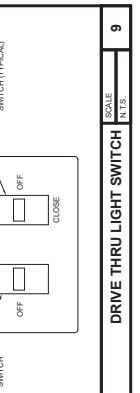
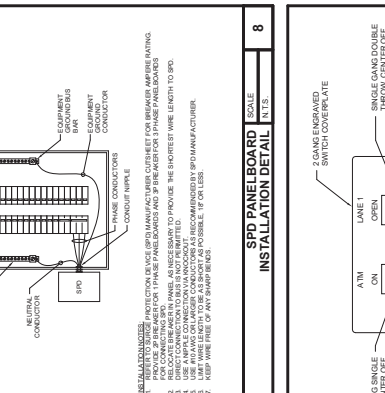
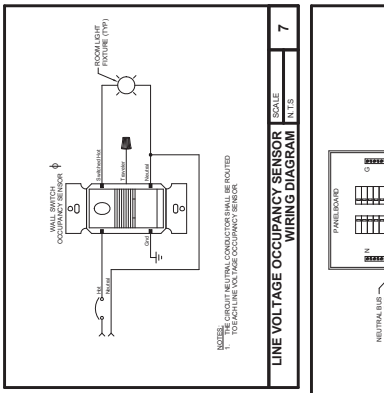
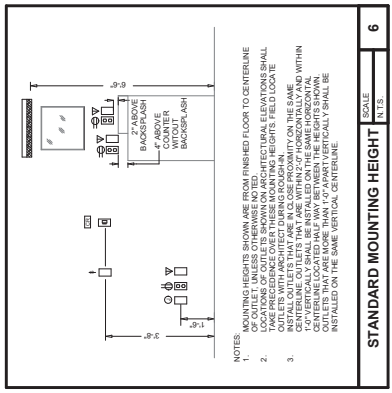
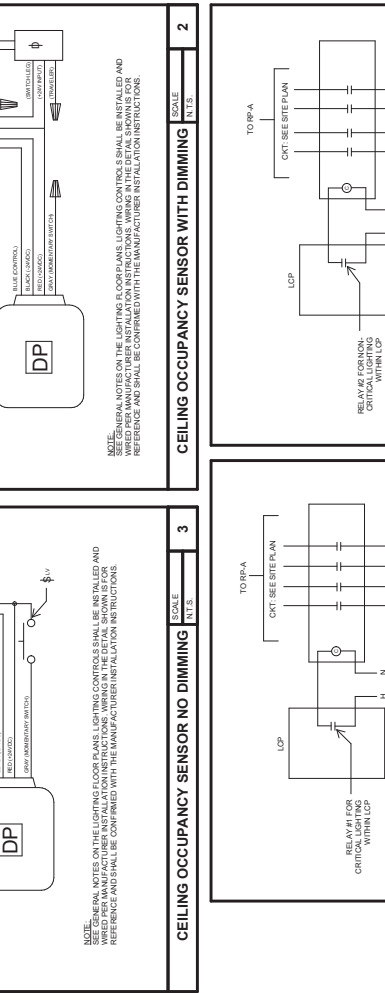
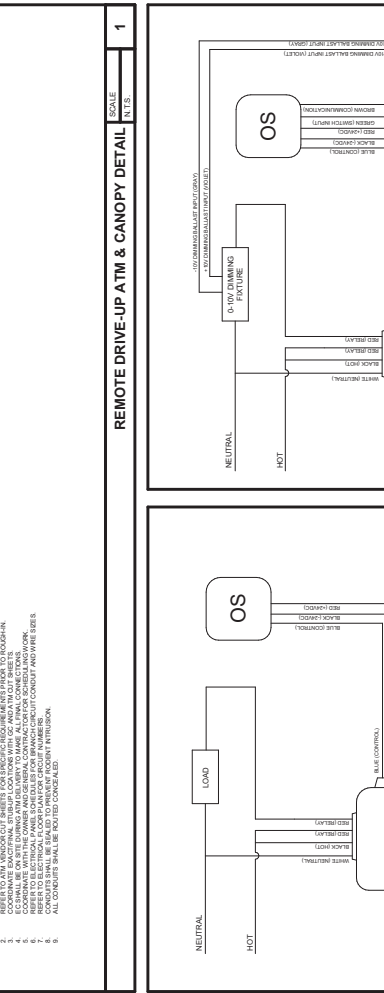
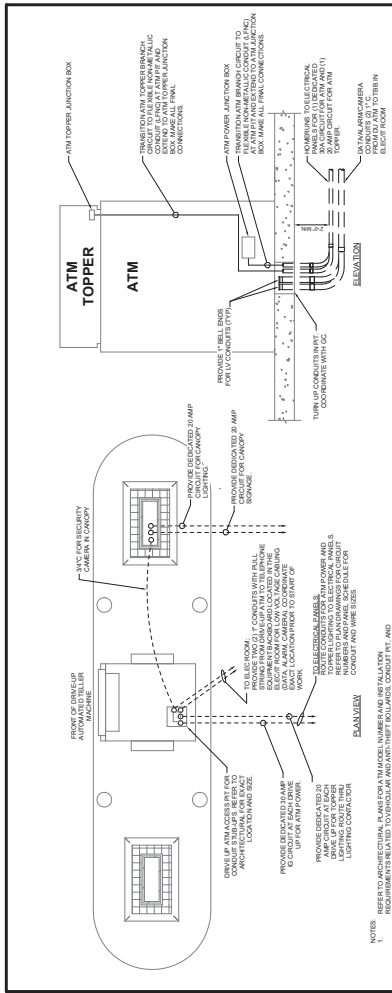
SWITCH BANK DETAIL
SCALE: 1/2" = 1'-0"

NOTES:

1. PROVIDE LABELS OVER EACH SWITCH TO IDENTIFY EACH LIGHTING ZONE AND FIXTURE.
2. APPROVALS: THE ARCHITECT SHALL PROVIDE APPROVALS FOR EXACT LOCATION AND MOUNTING HEIGHT PRIOR TO ROUGH-IN.
3. PROVIDE A SWITCH BANK WITH SINGLE PAGES OVER EACH PLATE.
4. LINE VOLTAGE ON/OFF TOGGLE AND DECOR ROCKER SWITCHES SHALL BE PROVIDED WITH A PILOT LIGHT TO INDICATE WHEN LIGHTS ARE ON.

ISSUE BY	DATE	DESCRIPTION
1.5.2	02/18/22	LOG REVIEW SET

PROJECT INFORMATION BLOCK	
JOB #	24053113.28.00
DATE	02/18/22
DATE BY	02/18/22
CHECKED BY:	AM
SHEET TITLE	ELECTRICAL DETAILS



- PANELBOARD NOTES:**
1. PANELBOARD AS SPECIFIED ON ELECTRICAL PANEL.
 2. CONTRACTOR SHALL ENSURE ALL NEW WORKING SPACE AND PERMISSIBLE CLEARANCE SHALL BE MAINTAINED THROUGHOUT THE PROJECT. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) 110.10. FIELD CONDITIONS DO NOT ALLOW FOR ADEQUATE CLEARANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
 3. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) 110.10. FIELD CONDITIONS DO NOT ALLOW FOR ADEQUATE CLEARANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
 4. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) 110.10. FIELD CONDITIONS DO NOT ALLOW FOR ADEQUATE CLEARANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
 5. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) 110.10. FIELD CONDITIONS DO NOT ALLOW FOR ADEQUATE CLEARANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
 6. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) 110.10. FIELD CONDITIONS DO NOT ALLOW FOR ADEQUATE CLEARANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
 7. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) 110.10. FIELD CONDITIONS DO NOT ALLOW FOR ADEQUATE CLEARANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
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CMT NO.	DESCRIPTION	PHASE	CIRCUIT	POLE	AMP	VOLTAGE	WIRE SIZE	WIRE TYPE	CONDUIT SIZE	TERMINAL SIZE	NEUTRAL SIZE	PHASE	DESCRIPTION	CMT NO.	DESCRIPTION	PHASE	CIRCUIT	POLE	AMP	VOLTAGE	WIRE SIZE	WIRE TYPE	CONDUIT SIZE	TERMINAL SIZE	NEUTRAL SIZE	PHASE	DESCRIPTION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												
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1	3 RTU-1	3	3A	3	30 A	3	3/4"	3A	3/4"	#10	#10	3	SPD	2	LTG-BACKUP HOUSE	2	2A	2	20 A	2	20 A	2	2"	2"	#8	2	LTG-BUILDING BACKUP	4	4A	4	40 A	4	40 A	4	4"	4"	#6	4	LTG-BUILDING BACKUP	6	6A	6	60 A	6	60 A	6	6"	6"	#4	6	LTG-BUILDING BACKUP	8	8A	8	80 A	8	80 A	8	8"	8"	#2	8	LTG-BUILDING BACKUP	10	10A	10	100 A	10	100 A	10	10"	10"	#0	10	LTG-BUILDING BACKUP	12	12A	12	120 A	12	120 A	12	12"	12"	#0	12	LTG-BUILDING BACKUP	14	14A	14	140 A	14	140 A	14	14"	14"	#0	14	LTG-BUILDING BACKUP	16	16A	16	160 A	16	160 A	16	16"	16"	#0	16	LTG-BUILDING BACKUP	18	18A	18	180 A	18	180 A	18	18"	18"	#0	18	LTG-BUILDING BACKUP	20	20A	20	200 A	20	200 A	20	20"	20"	#0	20	LTG-BUILDING BACKUP	22	22A	22	220 A	22	220 A	22	22"	22"	#0	22	LTG-BUILDING BACKUP	24	24A	24	240 A	24	240 A	24	24"	24"	#0	24	LTG-BUILDING BACKUP	26	26A	26	260 A	26	260 A	26	26"	26"	#0	26	LTG-BUILDING BACKUP	28	28A	28	280 A	28	280 A	28	28"	28"	#0	28	LTG-BUILDING BACKUP	30	30A	30	300 A	30	300 A	30	30"	30"	#0	30	LTG-BUILDING BACKUP	32	32A	32	320 A	32	320 A	32	32"	32"	#0	32	LTG-BUILDING BACKUP	34	34A	34	340 A	34	340 A	34	34"	34"	#0	34	LTG-BUILDING BACKUP	36	36A	36	360 A	36	360 A	36	36"	36"	#0	36	LTG-BUILDING BACKUP	38	38A	38	380 A	38	380 A	38	38"	38"	#0	38	LTG-BUILDING BACKUP	40	40A	40	400 A	40	400 A	40	40"	40"	#0	40	LTG-BUILDING BACKUP	42	42A	42	420 A	42	420 A	42	42"	42"	#0	42	LTG-BUILDING BACKUP	44	44A	44	440 A	44	440 A	44	44"	44"	#0	44	LTG-BUILDING BACKUP	46	46A	46	460 A	46	460 A	46	46"	46"	#0	46	LTG-BUILDING BACKUP	48	48A	48	480 A	48	480 A	48	48"	48"	#0	48	LTG-BUILDING BACKUP	50	50A	50	500 A	50	500 A	50	50"	50"	#0	50	LTG-BUILDING BACKUP	52	52A	52	520 A	52	520 A	52	52"	52"	#0	52	LTG-BUILDING BACKUP	54	54A	54	540 A	54	540 A	54	54"	54"	#0	54	LTG-BUILDING BACKUP	56	56A	56	560 A	56	560 A	56	56"	56"	#0	56	LTG-BUILDING BACKUP	58	58A	58	580 A	58	580 A	58	58"	58"	#0	58	LTG-BUILDING BACKUP	60	60A	60	600 A	60	600 A	60	60"	60"	#0	60	LTG-BUILDING BACKUP	62	62A	62	620 A	62	620 A	62	62"	62"	#0	62	LTG-BUILDING BACKUP	64	64A	64	640 A	64	640 A	64	64"	64"	#0	64	LTG-BUILDING BACKUP	66	66A	66	660 A	66	660 A	66	66"	66"	#0	66	LTG-BUILDING BACKUP	68	68A	68	680 A	68	680 A	68	68"	68"	#0	68	LTG-BUILDING BACKUP	70	70A	70	700 A	70	700 A	70	70"	70"	#0	70	LTG-BUILDING BACKUP	72	72A	72	720 A	72	720 A	72	72"	72"	#0	72	LTG-BUILDING BACKUP	74	74A	74	740 A	74	740 A	74	74"	74"	#0	74	LTG-BUILDING BACKUP	76	76A	76	760 A	76	760 A	76	76"	76"	#0	76	LTG-BUILDING BACKUP	78	78A	78	780 A	78	780 A	78	78"	78"	#0	78	LTG-BUILDING BACKUP	80	80A	80	800 A	80	800 A	80	80"	80"	#0	80	LTG-BUILDING BACKUP	82	82A	82	820 A	82	820 A	82	82"	82"	#0	82	LTG-BUILDING BACKUP	84	84A	84	840 A	84	840 A	84	84"	84"	#0	84	LTG-BUILDING BACKUP	86	86A	86	860 A	86	860 A	86	86"	86"	#0	86	LTG-BUILDING BACKUP	88	88A	88	880 A	88	880 A	88	88"	88"	#0	88	LTG-BUILDING BACKUP	90	90A	90	900 A	90	900 A	90	90"	90"	#0	90	LTG-BUILDING BACKUP	92	92A	92	920 A	92	920 A	92	92"	92"	#0	92	LTG-BUILDING BACKUP	94	94A	94	940 A	94	940 A	94	94"	94"	#0	94	LTG-BUILDING BACKUP	96	96A	96	960 A	96	960 A	96	96"	96"	#0	96	LTG-BUILDING BACKUP	98	98A	98	980 A	98	980 A	98	98"	98"	#0	98	LTG-BUILDING BACKUP	100	100A	100	1000 A	100	1000 A	100	100"	100"	#0	100	LTG-BUILDING BACKUP

Branch Panel: PP
Location: ELEC.T.108
Supply From: SURFACE
Enclosure: NEMA 1

Branch Panel: RP-A
Location: ELEC.T.108
Supply From: PP
Mounting: SURFACE
Enclosure: NEMA 1

CMT NO.	DESCRIPTION	PHASE	CIRCUIT	POLE	AMP	VOLTAGE	WIRE SIZE	WIRE TYPE	CONDUIT SIZE	TERMINAL SIZE	NEUTRAL SIZE	PHASE	DESCRIPTION	CMT NO.	DESCRIPTION	PHASE	CIRCUIT	POLE	AMP	VOLTAGE	WIRE SIZE	WIRE TYPE	CONDUIT SIZE	TERMINAL SIZE	NEUTRAL SIZE	PHASE	DESCRIPTION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
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1	3 RTU-1	3	3A	3	30 A	3	3/4"	3A	3/4"	#10	#10	3	SPD	2	LTG-BACKUP HOUSE	2	2A	2	20 A	2	20 A	2	2"	2"	#8	2	LTG-BUILDING BACKUP	4	4A	4	40 A	4	40 A	4	4"	4"	#6	4	LTG-BUILDING BACKUP	6	6A	6	60 A	6	60 A	6	6"	6"	#4	6	LTG-BUILDING BACKUP	8	8A	8	80 A	8	80 A	8	8"	8"	#2	8	LTG-BUILDING BACKUP	10	10A	10	100 A	10	100 A	10	10"	10"	#0	10	LTG-BUILDING BACKUP	12	12A	12	120 A	12	120 A	12	12"	12"	#0	12	LTG-BUILDING BACKUP	14	14A	14	140 A	14	140 A	14	14"	14"	#0	14	LTG-BUILDING BACKUP	16	16A	16	160 A	16	160 A	16	16"	16"	#0	16	LTG-BUILDING BACKUP	18	18A	18	180 A	18	180 A	18	18"	18"	#0	18	LTG-BUILDING BACKUP	20	20A	20	200 A	20	200 A	20	20"	20"	#0	20	LTG-BUILDING BACKUP	22	22A	22	220 A	22	220 A	22	22"	22"	#0	22	LTG-BUILDING BACKUP	24	24A	24	240 A	24	240 A	24	24"	24"	#0	24	LTG-BUILDING BACKUP	26	26A	26	260 A	26	260 A	26	26"	26"	#0	26	LTG-BUILDING BACKUP	28	28A	28	280 A	28	280 A	28	28"	28"	#0	28	LTG-BUILDING BACKUP	30	30A	30	300 A	30	300 A	30	30"	30"	#0	30	LTG-BUILDING BACKUP	32	32A	32	320 A	32	320 A	32	32"	32"	#0	32	LTG-BUILDING BACKUP	34	34A	34	340 A	34	340 A	34	34"	34"	#0	34	LTG-BUILDING BACKUP	36	36A	36	360 A	36	360 A	36	36"	36"	#0	36	LTG-BUILDING BACKUP	38	38A	38	380 A	38	380 A	38	38"	38"	#0	38	LTG-BUILDING BACKUP	40	40A	40	400 A	40	400 A	40	40"	40"	#0	40	LTG-BUILDING BACKUP	42	42A	42	420 A	42	420 A	42	42"	42"	#0	42	LTG-BUILDING BACKUP	44	44A	44	440 A	44	440 A	44	44"	44"	#0	44	LTG-BUILDING BACKUP	46	46A	46	460 A	46	460 A	46	46"	46"	#0	46	LTG-BUILDING BACKUP	48	48A	48	480 A	48	480 A	48	48"	48"	#0	48	LTG-BUILDING BACKUP	50	50A	50	500 A	50	500 A	50	50"	50"	#0	50	LTG-BUILDING BACKUP	52	52A	52	520 A	52	520 A	52	52"	52"	#0	52	LTG-BUILDING BACKUP	54	54A	54	540 A	54	540 A	54	54"	54"	#0	54	LTG-BUILDING BACKUP	56	56A	56	560 A	56	560 A	56	56"	56"	#0	56	LTG-BUILDING BACKUP	58	58A	58	580 A	58	580 A	58	58"	58"	#0	58	LTG-BUILDING BACKUP	60	60A	60	600 A	60	600 A	60	60"	60"	#0	60	LTG-BUILDING BACKUP	62	62A	62	620 A	62	620 A	62	62"	62"	#0	62	LTG-BUILDING BACKUP	64	64A	64	640 A	64	640 A	64	64"	64"	#0	64	LTG-BUILDING BACKUP	66	66A	66	660 A	66	660 A	66	66"	66"	#0	66	LTG-BUILDING BACKUP	68	68A	68	680 A	68	680 A	68	68"	68"	#0	68	LTG-BUILDING BACKUP	70	70A	70	700 A	70	700 A	70	70"	70"	#0	70	LTG-BUILDING BACKUP	72	72A	72	720 A	72	720 A	72	72"	72"	#0	72	LTG-BUILDING BACKUP	74	74A	74	740 A	74	740 A	74	74"	74"	#0	74	LTG-BUILDING BACKUP	76	76A	76	760 A	76	760 A	76	76"	76"	#0	76	LTG-BUILDING BACKUP	78	78A	78	780 A	78	780 A	78	78"	78"	#0	78	LTG-BUILDING BACKUP	80	80A	80	800 A	80	800 A	80	80"	80"	#0	80	LTG-BUILDING BACKUP	82	82A	82	820 A	82	820 A	82	82"	82"	#0	82	LTG-BUILDING BACKUP	84	84A	84	840 A	84	840 A	84	84"	84"	#0	84	LTG-BUILDING BACKUP	86	86A	86	860 A	86	860 A	86	86"	86"	#0	86	LTG-BUILDING BACKUP	88	88A	88	880 A	88	880 A	88	

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3641 RICHARD KIMBALL
AL PSE 35663

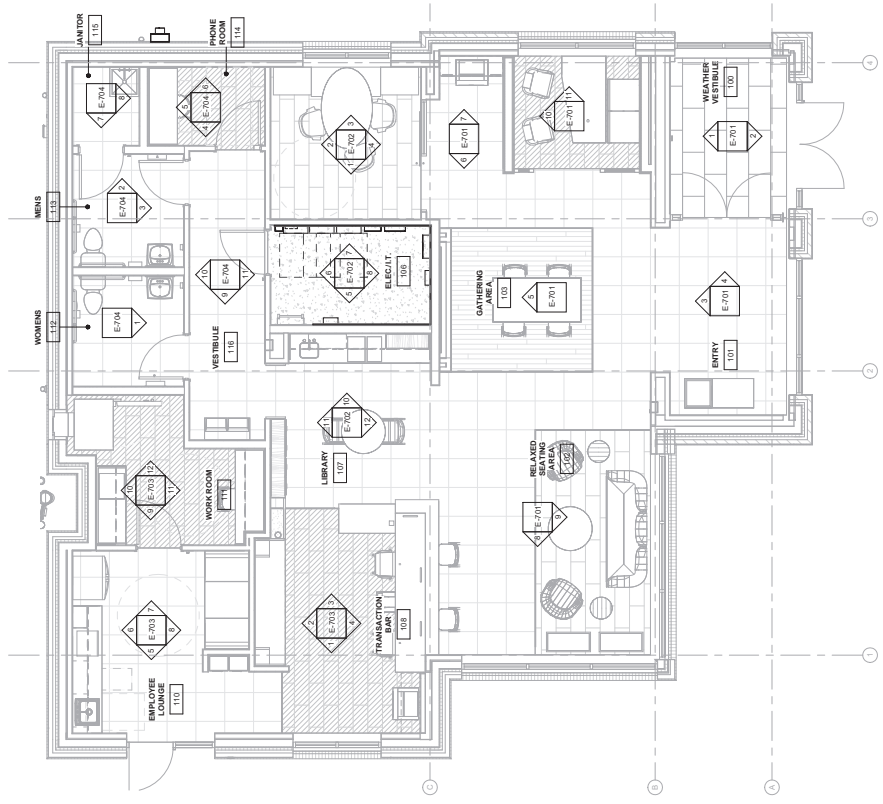
INSISTANT
Infinity Engineering Group
11111 Highway 201
Suite 400
Tampa, Florida 33602
AL License # 41944-0205

ISSUE	BY	DATE	DESCRIPTION
1	E.S.V.	02/18/25	100% REVIEW SET

PROJECT INFORMATION BLOCK	
JOB #	24053118-378.02
DATE	02/18/25
DRAWN BY	AM
CHECKED BY	AM
SHEET TITLE	

ELECTRICAL DEVICE PLAN
SHEET NUMBER

E-700



① ELECTRICAL DEVICE PLAN
1/4" = 1'-0"

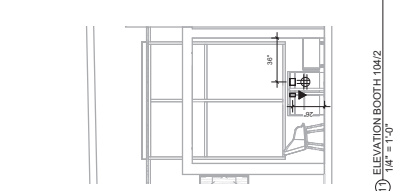
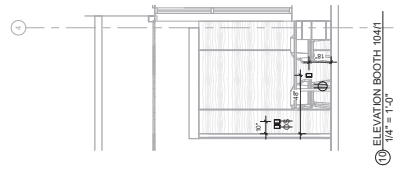
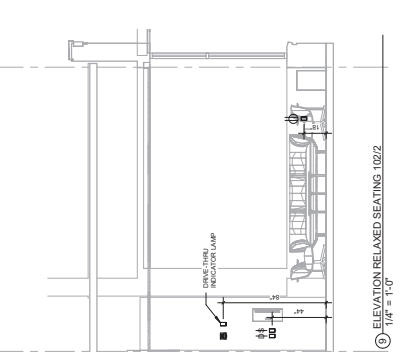
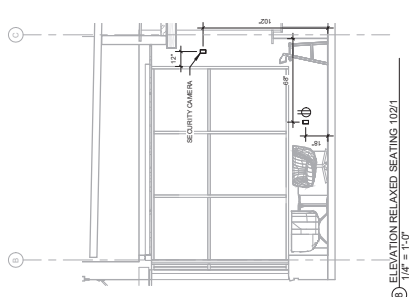
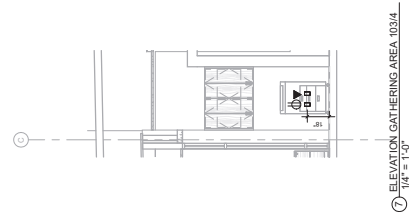
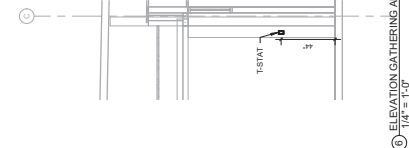
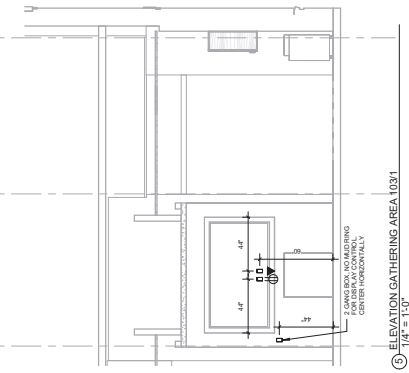
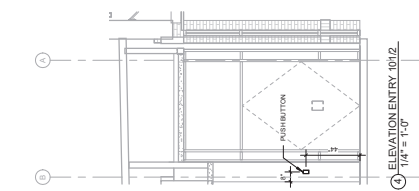
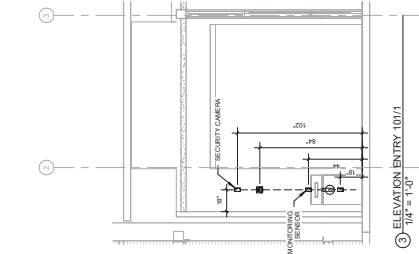
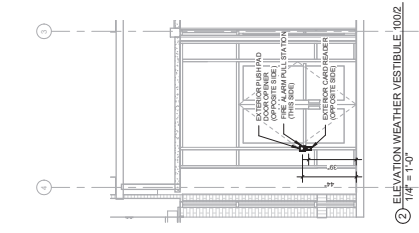
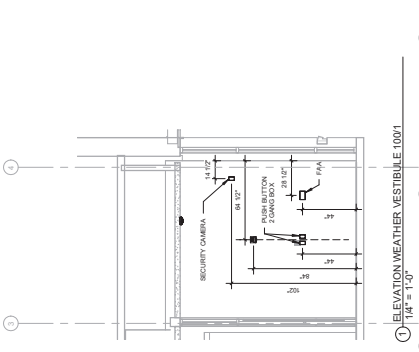
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ANDREW MAHR
AL PEP 55471

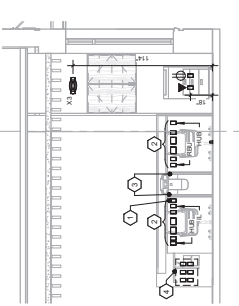
INSIGNITY
Insignity Engineering Group
10000 North Herndon Boulevard
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Tel: 813.251.1511
Fax: 813.251.1500
www.insignityeng.com
AL Code of Reg. # 41205

ISSUE	BY	DATE	DESCRIPTION
1	SM	02/18/22	100% REVIEW SET

PROJECT INFORMATION BLOCK	
JOB #	24045118.28.02
DATE	02/18/22
DESIGNED BY	SM
CHECKED BY	AM
SHEET TITLE	ELECTRICAL ELEVATIONS
SHEET NUMBER	E-701

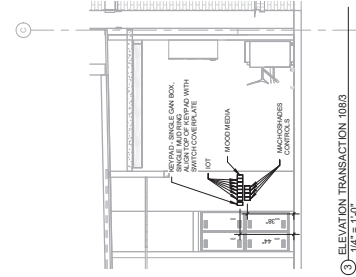


NOTE
 TRANSACTION BAR DEVICE LAYOUT IS DIAGNOSTIC WITH MALLWORK SHOP DRAWINGS AND SHALL BE COORDINATE WITH ALL ELECTRICAL ELEVATIONS FOR EXACT PLACEMENT.
 ELECTRICAL CONTRACTOR SHALL SUPPORT ALL LOW VOLTAGE WIRING AND ALL REQUIRED DATA RUNS INSTALLATION.
 ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ROUTING, SUPPORT ALL RACEWAYS PER NEC.

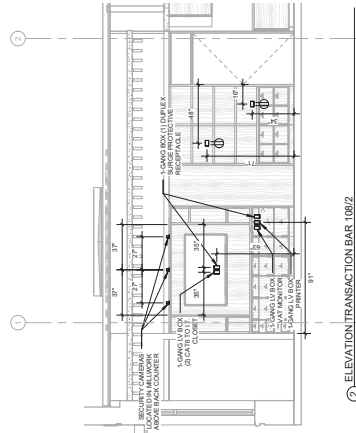


- ① TOP POWER & DATA OUTLET MOUNT SO THAT TCR CAN BE CHARGED UP
- ② OUTLETS SHALL BE PLACED IN OPENINGS MADE AVAILABLE FROM MALLWORK COORDINATE WITH MALLWORK SHOP DRAWINGS AND ARCHITECTURAL
- ③ ALL POWER WIRING AND DATA WIRING SHALL BE RUN THROUGH OPENINGS PROVIDED BY MALLWORK PROVIDER. GENERAL LOCATION, COORDINATE WITH DIMENSIONS.
- ④ POWER & DATA - SEE NOTES ON FLOOR PLAN FOR REQUIREMENTS FOR

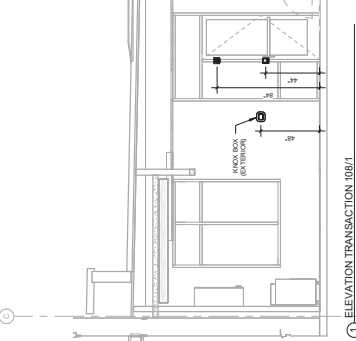
④ ELEVATION TRANSACTION 1084
 1/4" = 1'-0"



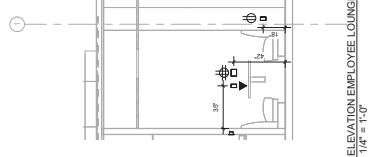
③ ELEVATION TRANSACTION 1093
 1/4" = 1'-0"



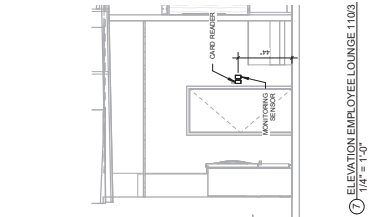
② ELEVATION TRANSACTION BAR 1082
 1/4" = 1'-0"



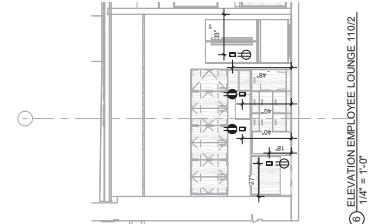
① ELEVATION TRANSACTION 1081
 1/4" = 1'-0"



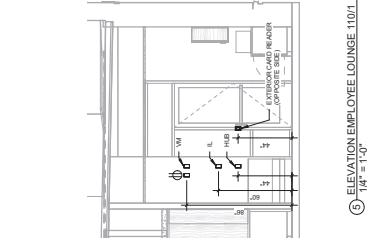
⑥ ELEVATION EMPLOYEE LOUNGE 1104
 1/4" = 1'-0"



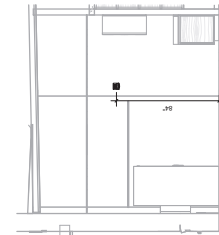
⑦ ELEVATION EMPLOYEE LOUNGE 1103
 1/4" = 1'-0"



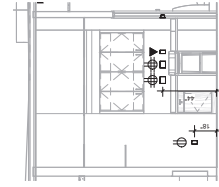
⑧ ELEVATION EMPLOYEE LOUNGE 1102
 1/4" = 1'-0"



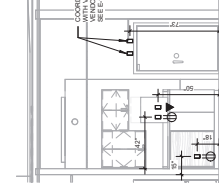
⑤ ELEVATION EMPLOYEE LOUNGE 1101
 1/4" = 1'-0"



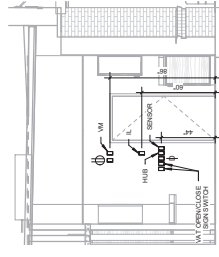
⑫ ELEVATION WORK ROOM 1114
 1/4" = 1'-0"



⑪ ELEVATION WORK ROOM 1113
 1/4" = 1'-0"



⑩ ELEVATION WORK ROOM 1112
 1/4" = 1'-0"



⑨ ELEVATION WORK ROOM 1111
 1/4" = 1'-0"

ISSUE BY	DATE	DESCRIPTION
E.S.J.	02/18/25	DATE REVIEW SET

PROJECT INFORMATION BLOCK	
JOB #	24053113.32.02
DATE	02/18/25
DESIGNED BY	AM
CHECKED BY	AM
SHEET TITLE	ELECTRICAL ELEVATIONS

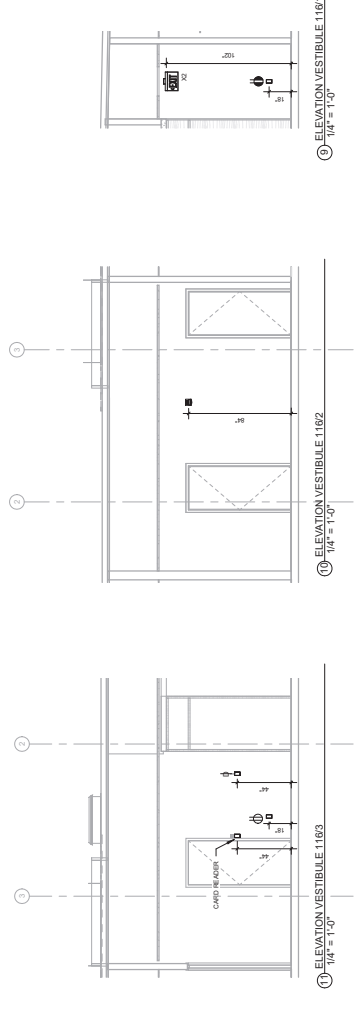
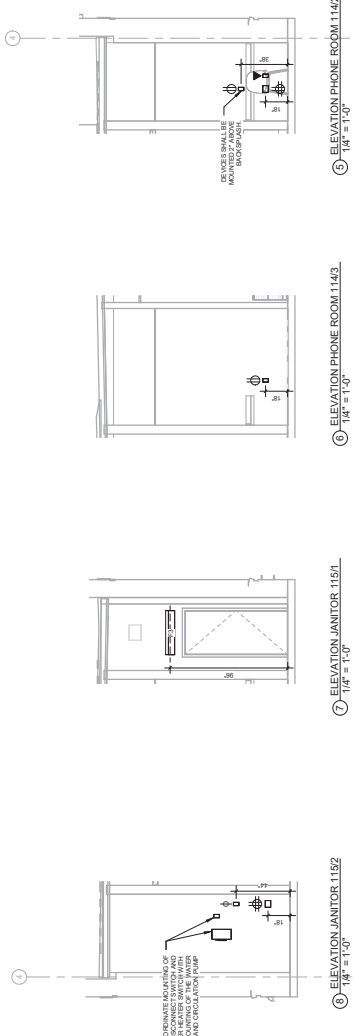
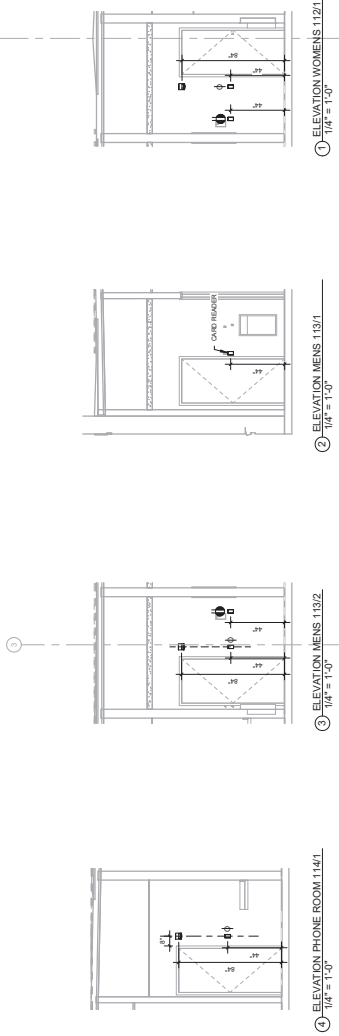
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AL PEP-55671

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10000 South Dale Mabry Highway, Suite 200
Tampa, Florida 33602
AL Lic. # EP-10000000
AL C.O.C. # 1494-4-026

ISSUE #	DATE	DESCRIPTION
1.0	02/18/25	DATE REVIEW SET

PROJECT INFORMATION BLOCK	
JOB #	24053113-28.02
DATE	02/18/25
DRAWN BY:	AK
CHECKED BY:	AK
SHEET TITLE	ELECTRICAL ELEVATIONS
SHEET NUMBER	E-704



CONSTRUCTION PLANS FOR:



LIBERTY PARK

3178 RUSH STREET
VESTAVIA HILLS, ALABAMA 35242

PROJECT TEAM

PROPERTY OWNER/DEVELOPER:
 TP DEVELOPMENT
 1000 WILKINSON AVENUE
 SUITE 300
 JEFFERSON, LOUISIANA 70121
 CONTACT: NABIL MIRAL
 PH: (504) 644-0010

CIVIL ENGINEER:
 NISIT SAPPARRIAO & ASSOCIATES, L.L.C.
 1008 EAST KENNEDY BOULEVARD
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 MOBILE, ALABAMA 36682
 PH: (813) 434-4770
 CONTACT: NISIT SAPPARRIAO

ARCHITECT:
 BDO ARCHITECTS
 1800 BARNES MILL ROAD
 SUITE 800
 CANTONMENT, ALABAMA 36622
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 CONTACT: JAMES COLEMAN

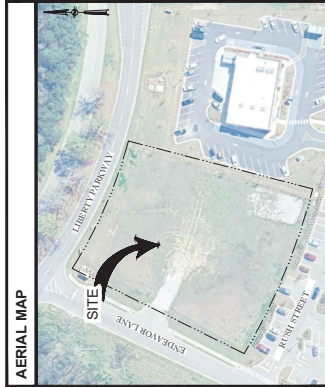
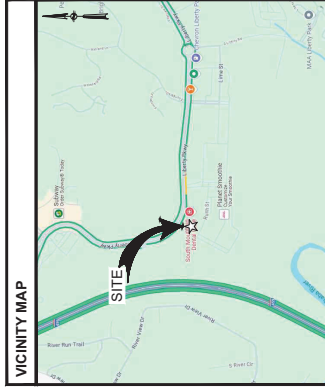
PROJECT TEAM

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 74 INDUSTRIAL PARK DRIVE
 PELL CITY ALABAMA 35126
 PH: (205) 945-4962
 CONTACT: PATRICK COMANS
 PATCOMANS@PREENERGY.COM

ELECTRIC:
 ALABAMA POWER PAYMENTS
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 MOBILE, ALABAMA 36682
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 CONTACT: ADAM SWAFFORD
 ADAMF@GOTMIRENCO.COM

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 INFO@M1G.ENTREPRENEUR.SPECTRUM.COM

STORM DRAINAGE:
 108 MONTGOMERY HIGHWAY
 SUITE 100
 VESTAVIA HILLS, ALABAMA 35216
 CONTACT: ETHAN FISHER
 EFISHER@PHAL.GOV

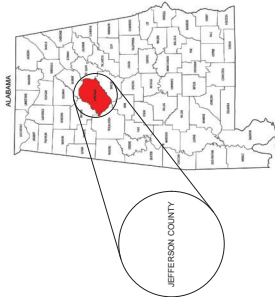


PARCEL ID: 28 00 12 3 000 001.008, 28 00 13 2 000 001.005
JEFFERSON COUNTY, ALABAMA 35242



INFINITY ENGINEERING GROUP, LLC

1208 East Kennedy Boulevard
 Suite 100
 Tallapoosa, Florida 32062
 PH: 813.343.4770
 FL: 813.344.4211
 AL: Cert. of Auth. No. 4295



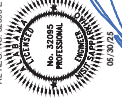
IEG-JOB NO. 15-378.00



DRAWING INDEX	
SHEET NO.	SHEET TITLE
COB.00	COVER SHEET
COB.01	CIVIL SPECIFICATIONS
COB.02	DEMOLITION PLAN
COB.03	SITE PLAN
COB.04	GRADING PLAN
COB.05	STORM PIPING PLAN
COB.06	CROSS SECTIONS
COB.07	UTILITY PLAN
COB.08	DETAILS
COB.09	JEFFERSON COUNTY DETAILS
COB.10	UTILITY DETAILS
COB.11	ADS DETAILS
COB.12	AL DOT DETAILS
COB.13	AL DOT DETAILS
COB.14	AL DOT DETAILS
COB.15	SWPPP GENERAL REQUIREMENTS
COB.16	EROSION CONTROL PLAN PHASE I
COB.17	EROSION CONTROL PLAN PHASE II
COB.18	EROSION AND SEDIMENTATION CONTROL DETAILS
GL.010	IRRIGATION SPECIFICATIONS
GL.011	LANDSCAPE SPECIFICATIONS
L-100	IRRIGATION PLAN
L-110	LANDSCAPE PLAN
L-200	IRRIGATION DETAILS
L-300	LANDSCAPE DETAILS
SKA1.01	SITE ACCESS PLAN (FIRE TRUCK)
SKA1.02	SITE ACCESS PLAN (GARBAGE TRUCK)
1 OF 1	ALTA / NPS LAND TITLE SURVEY

SHEET

C00.00



REV	BY	DATE	DESCRIPTION
1	EF	06/20/25	PERMIT SET
2	EF	06/22/25	PER A/C COMMENT

PROJECT INFORMATION BLOCK	
JOB #	240453
DATE	06/22/25
DATE IN BY	
CHECKED BY	REG
SHEET TITLE	

DEMOLITION PLAN	
SHEET NUMBER	
C01.01	

LEGEND

	PROPERTY LINE
	EXISTING CONCRETE TO REMAIN
	EXISTING TO REMAIN
	EXISTING ASPHALT/CONCRETE TO BE REMOVED
	EXISTING SIDEWALK/CONCRETE TO BE REMOVED
	EXISTING TO BE REMOVED
	TREE BARRIER LINE
	EXISTING TREE TO BE REMOVED
	TREE BARRICADE
	EXISTING GAS
	EXISTING SANITARY
	EXISTING TELEPHONE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD LINE
	EXISTING WATER
	EXISTING CONTOUR
	EXISTING GRADE ELEVATION

DEMOLITION NOTES

- CONTRACTOR TO ESTABLISH AND PROPERLY FLAG PROPERTY LINE PRIOR TO DEMOLITION.
- ALL ABOVE AND BELOW GROUND HARDWARE, EQUIPMENT AND MATERIALS TO BE DISPOSED IN ACCORDANCE WITH LOCAL MUNICIPALITY REQUIREMENTS.
- ALL EXISTING UTILITIES TO BE IDENTIFIED AND MARKED WITH 2" DIA. OR 4" DIA. NON-DRINK GROUT OR AS OTHERWISE APPROVED BY ENGINEER.
- TREES SHOWN TO REMAIN SHALL MAINTAIN PROTECTIVE BARRIERS DURING DEMOLITION. THESE BARRIERS SHALL BE IN ACCORDANCE WITH CURRENT LOCAL MUNICIPALITY STANDARDS.
- THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF EXISTING UTILITIES WITH THE LOCAL MUNICIPALITY. THE CONTRACTOR SHALL NOT BE LIMITED TO WATER, SEWER, GAS, CABLE TV, POWER AND TELEPHONE.
- THE CONTRACTOR SHALL UTILIZE SUITABLE EROSION CONTROL DURING DEMOLITION. SEE "EROSION & SEDIMENT CONTROL DETAILS".
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO DEMOLITION AND WILL BE RESPONSIBLE FOR THE DAMAGE OF ANY ON-SITE OR OFF-SITE UTILITIES THAT ARE NOT A PART OF THIS PROJECT OR ARE NOT IDENTIFIED TO BE REMOVED.
- ALL DISTURBED AREA WITH THE RIGHT OF WAY WILL BE RESTORED TO ORIGINAL OR BETTER CONDITION BY GRADING AND SODDING THE AREA DISTURBED.

TREE NOTE:

CONTRACTOR TO INSTALL TREE BARRICADES SURROUNDING ALL TREES TO REMAIN. PROTECT ALL LANDSCAPING AS NEEDED.



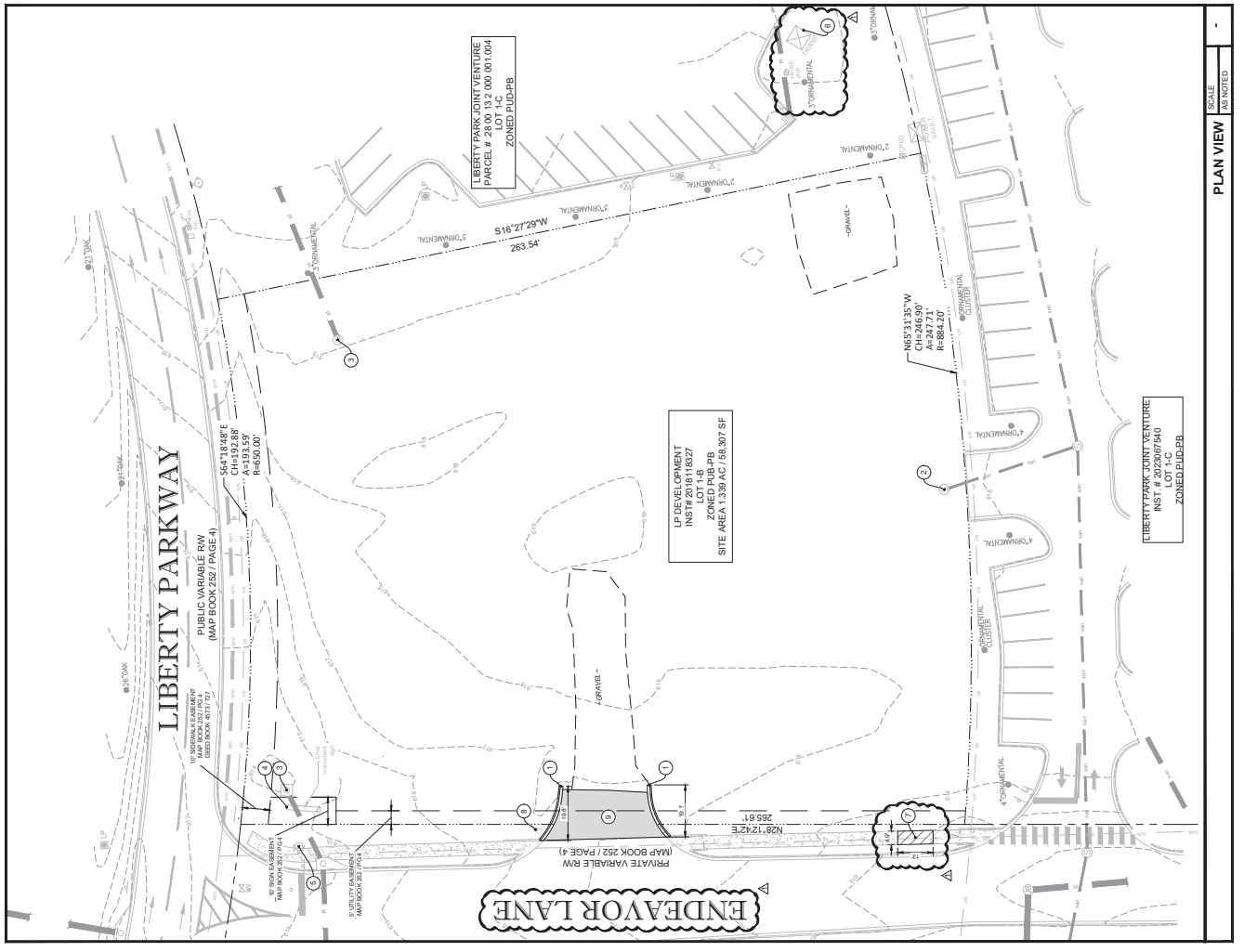
SCALE

KEYED NOTES

1	PORTION OF EXISTING CURB AND GUTTER TO BE SAWCUT/REMOVED.
2	EXISTING SANITARY MANHOLE TO REMAIN.
3	EXISTING STORMWATER JUNCTION BOX TO REMAIN.
4	EXISTING DEVELOPER MONUMENT SIGN TO REMAIN.
5	EXISTING FIRE HYDRANT TO REMAIN.
6	EXISTING ELECTRICAL TRANSFORMER TO REMAIN.
7	EXISTING CONCRETE SIDEWALK TO BE SAWCUT AND REMOVED.
8	EXISTING STOP SIGN TO REMAIN.
9	EXISTING ASPHALT PAVEMENT TO BE REMOVED.

DEMOLITION QUANTITIES:

CURB & GUTTER TO BE REMOVED: 4 LF
 ASPHALT TO BE REMOVED: 86 SF
 CONCRETE TO BE REMOVED: 80 SF



PLAN VIEW
SCALE AS NOTED

REV	BY	DATE	DESCRIPTION
1	EF	02/28/23	PERMIT SET
2	EF	02/28/23	PER AC COMMENT

PROJECT INFORMATION BLOCK	
JOB #	20230075-40
DATE	02/28/23
DRAWN BY	REG
CHECKED BY	REG

SITE PLAN	
SHEET TITLE	SITE PLAN
SHEET NUMBER	C02.01

LEGEND

PROPERTY LINE
EXISTING TO REMAIN
EXISTING CONCRETE TO REMAIN
PROPOSED CONCRETE C' OR GREATER
PROPOSED CONCRETE C' OR GREATER
NEW ASPHALT PAVEMENT
SETBACK/BUFFER
PROPOSED CURB
PROPOSED CURB AND GUTTER

SITE DATA

301 ENDEAVOR, VESTAVIA HILLS, ALABAMA 35242
PORTION OF 20230075-40
2.124 G.F.A.
PUD-PB (PLANNED BUSINESS)
58.138 SF 1.34 AC
VACANT
BANK WITH DRIVE THRU

BANKING DATA
BANK PARKING REQUIRED:
1 SPACE PER 400 SF OF G.F.A.
2,124 SF (11' x 40' SF) = 4 SPACES
STANDARD PARKING = 15 SPACES
TOTAL PARKING PROVIDED = 16 SPACES

PARKING SPACE SIZE
9' x 19' MINIMUM
3 SPACES PER ATM LANE
3 SPACES PER TELLER LANE
8' x 20' QUEUE SIZE

LOADING ZONE:
NOTE: FINANCIAL INSTITUTIONS DO NOT USE DELIVERY TRUCKS. DELIVERY TRUCKS WILL PARK DIRECTLY IN FRONT OF MAIN ENTRANCE.

LANDSCAPE REQUIREMENTS:
LANDSCAPE BUFFER - NORTH (LIBERTY PARKWAY) = 50'
LANDSCAPE BUFFER - EAST (SITE) = 10'
LANDSCAPE BUFFER - WEST (ENDEAVOR LANE) = 10'

BUILDING REQUIREMENTS:
BUILDING SETBACK - NORTH (LIBERTY PARKWAY) = 50'
BUILDING SETBACK - EAST (SITE) = 25'
BUILDING SETBACK - WEST (ENDEAVOR LANE) = 25'

FLOOD ZONE:
DESCRIBED PROPERTY IS IN FLOOD ZONE X, PER FEMA MAP NO. 17050057N DATED SEPTEMBER 24, 2021.

LANDSCAPE NOTE

- CONTRACTOR TO RE-GRADE SURROUNDING GRADE ELEVATION AND RE-SOIL AS NEEDED TO MEET PROPOSED TOP OF SURVIVAL ELEVATIONS.
- CONTRACTOR SHALL REPLACE ALL DISTURBED LANDSCAPING TO MATCH EXISTING.

ALABAMA 811
Know what's below.
Call before you dig.

KEYED NOTES

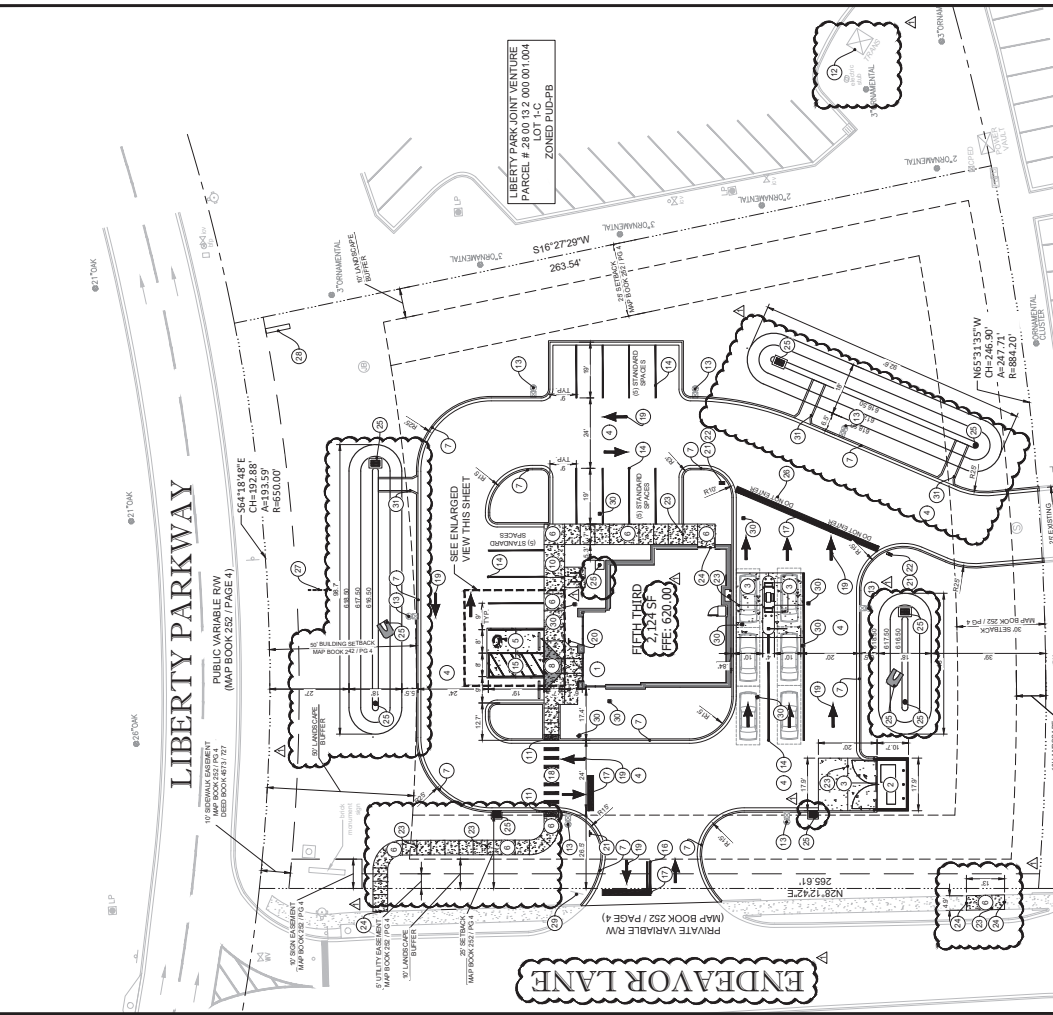
- NEW BUILDING (SEE ARCHITECTURAL DRAWINGS).
- NEW DOUBLE TRASH ENCLOSURE (SEE ARCHITECTURAL DRAWING).
- NEW 1" CONCRETE PAVEMENT. SEE DETAILS, SHEET C03.01.
- NEW ASPHALT PAVEMENT. SEE DETAILS, SHEET C03.01.
- NEW 4" CONCRETE SIDEWALK. SEE PLAN FOR WIDTH. SEE DETAILS, SHEET C03.01.
- NEW 1" CURB AND GUTTER. SEE DETAILS, SHEET C03.01.
- NEW ADA RAMP. SEE DETAILS, SHEET C03.01.
- NEW WHEEL STOP (TYPICAL OF 2). SEE DETAILS, SHEET C03.01.
- NEW BICYCLE RACK. SEE DETAILS, SHEET C03.01.
- NEW DETECTABLE WARNING. SEE DETAILS, SHEET C03.01.
- EXISTING ELECTRICAL TRANSFORMER PAD TO REMAIN. REFER TO ELECTRICAL PLAN FOR MORE INFORMATION.
- NEW AREA LIGHT POLE. SEE ELECTRICAL SITE PLANS.
- NEW 6-INCH "WHITE" PAVING/PAINTABLE STRIPE (CONTINUOUS PAINT) (CONTINUOUS PAINT).
- NEW 6-INCH "DOUBLE YELLOW" LANE STRIPE (CONTINUOUS PAINT). SEE DETAILS, SHEET C03.01.
- NEW 24-INCH "WHITE" STOP BAR (CONTINUOUS PAINT).
- 5-FOOT WIDE CROSSWALK, 12-INCH "WHITE" STRIPE @ 30" O.C. (CONTINUOUS PAINT).
- NEW 18-INCH "DIAGONAL ARROW" (CONTINUOUS PAINT) (CONTINUOUS PAINT). SEE DETAILS, SHEET C03.01.
- NEW 30" x 11" STOP SIGN (TYPICAL OF 4). SEE DETAILS, SHEET C03.01.
- NEW 30" x 11" "NO ENTER" SIGN (TYPICAL OF 2). SEE DETAILS, SHEET C03.01.
- NEW CONTROL JOINT. SEE DETAILS, SHEET C03.01.
- NEW EXPANSION JOINT. SEE DETAILS, SHEET C03.01.
- STORMWATER STRUCTURE. SEE STORM PIPING PLAN, SHEET C03.02.
- "DO NOT ENTER" 18-INCH WHITE PAINTED LETTERS.
- TEMPORARY SIGN. SEE SIGNAGE PACKAGE FOR DETAILS GO TO REMOVE SIGN AT COMPLETION OF CONSTRUCTION.
- NEW 18" SIGN AS DESIGNED AND PERMITTED BY OTHERS.
- EXISTING STOP SIGN TO REMAIN.
- EXISTING 18" CONCRETE CURB. SEE UTILITY PLAN, SHEET C03.01 AND DETAILS, SHEET C03.01.
- NEW CONCRETE FLUME. SEE DETAILS, SHEET C03.02.
- EXISTING SANITARY MANHOLE TO REMAIN. TOP TO BE FLUSH WITH PROPOSED FACE OF BUILDING.
- EXISTING IMPROVEMENTS SHOWN ARE TAKEN FROM THE SURVEY.
- BUILDING AND SIDEWALK DIMENSIONS ARE TO OUTSIDE EDGE OF WALL.
- ALL TIES TO THE PROPERTY LINE ARE BASED ON THE SURVEY.
- ALL CURB RADIUS ARE 2 UNLESS OTHERWISE NOTED.

SITE PLAN NOTES

- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF BUILDING.
- EXISTING IMPROVEMENTS SHOWN ARE TAKEN FROM THE SURVEY.
- BUILDING AND SIDEWALK DIMENSIONS ARE TO OUTSIDE EDGE OF WALL.
- ALL TIES TO THE PROPERTY LINE ARE BASED ON THE SURVEY.
- ALL CURB RADIUS ARE 2 UNLESS OTHERWISE NOTED.

ACCESSIBILITY DETAIL

1"=10'



POST SITE AREAS

AREAS	SQUARE FEET (SF)	ACRE (AC)	PERCENT %
GROSS SITE	58,133	1.33	100%
BUILDING	2,124	0.05	3.65%
TOTAL IMPROVEMENTS (INCLUDES BUILDING)	22,665	0.52	39.0%
TOTAL PERIODS	35,468	0.81	61.0%

PLAN VIEW

SCALE: AS NOTED

AREAS	SQUARE FEET (SF)	ACRE (AC)	PERCENT %
GROSS SITE	58,133	1.33	100%
BUILDING	2,124	0.05	3.65%
TOTAL IMPROVEMENTS (INCLUDES BUILDING)	22,665	0.52	39.0%
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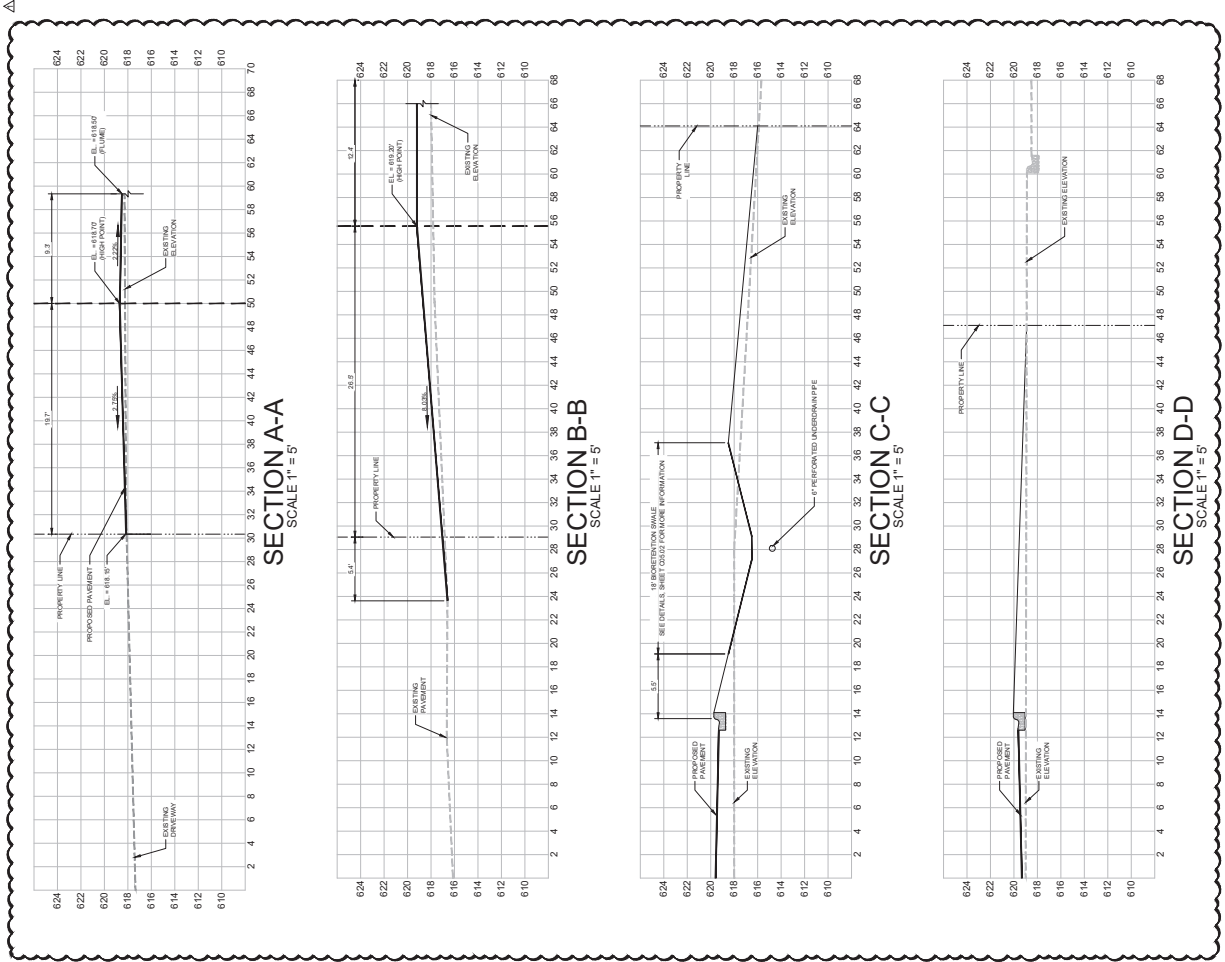
REV	BY	DATE	DESCRIPTION
1	EF	02/28/25	PERMITS
2	EF	02/28/25	PERMITS COMMENT

PROJECT INFORMATION BLOCK

JOB #	200453
DRAWN BY	06/22/25
CHECKED BY	REG
SHEET TITLE	

CROSS SECTIONS

SHEET NUMBER
C03.03



PLAN VIEW
SCALE
NOTED

REV	BY	DATE	DESCRIPTION
1	EF	02/28/23	PERMIT SET
2	EF	02/28/23	PERMIT COMMENT

PROJECT INFORMATION BLOCK	
JOB #	202303
DATE	02/28/23
CHECKED BY	BDG
DRAWN BY	BDG
SHEET TITLE	UTILITY PLAN
SHEET NUMBER	C04.01

LEGEND

TYP	INDICATED
HANDICAP	RADIUS
RIGHT-OF-WAY	PROPOSED CONCRETE 12" OR LESS
PROPOSED CONCRETE GREATER THAN 12"	PROPERTY LINE
PROPOSED SANITARY SERVICE	PROPOSED GREASE WASTE
PROPOSED FORCE MAIN	PROPOSED WATER MAIN
PROPOSED FIRE MAIN	PROPOSED ELECTRIC SERVICE
PROPOSED GAS SERVICE	PROPOSED TELEPHONE SERVICE
PROPOSED SANITARY PIPE	EXISTING RECLAIM WATER PIPE
EXISTING UNDERGROUND POWER	EXISTING OVERHEAD WIRE
EXISTING GAS LINE	EXISTING TELEPHONE LINE

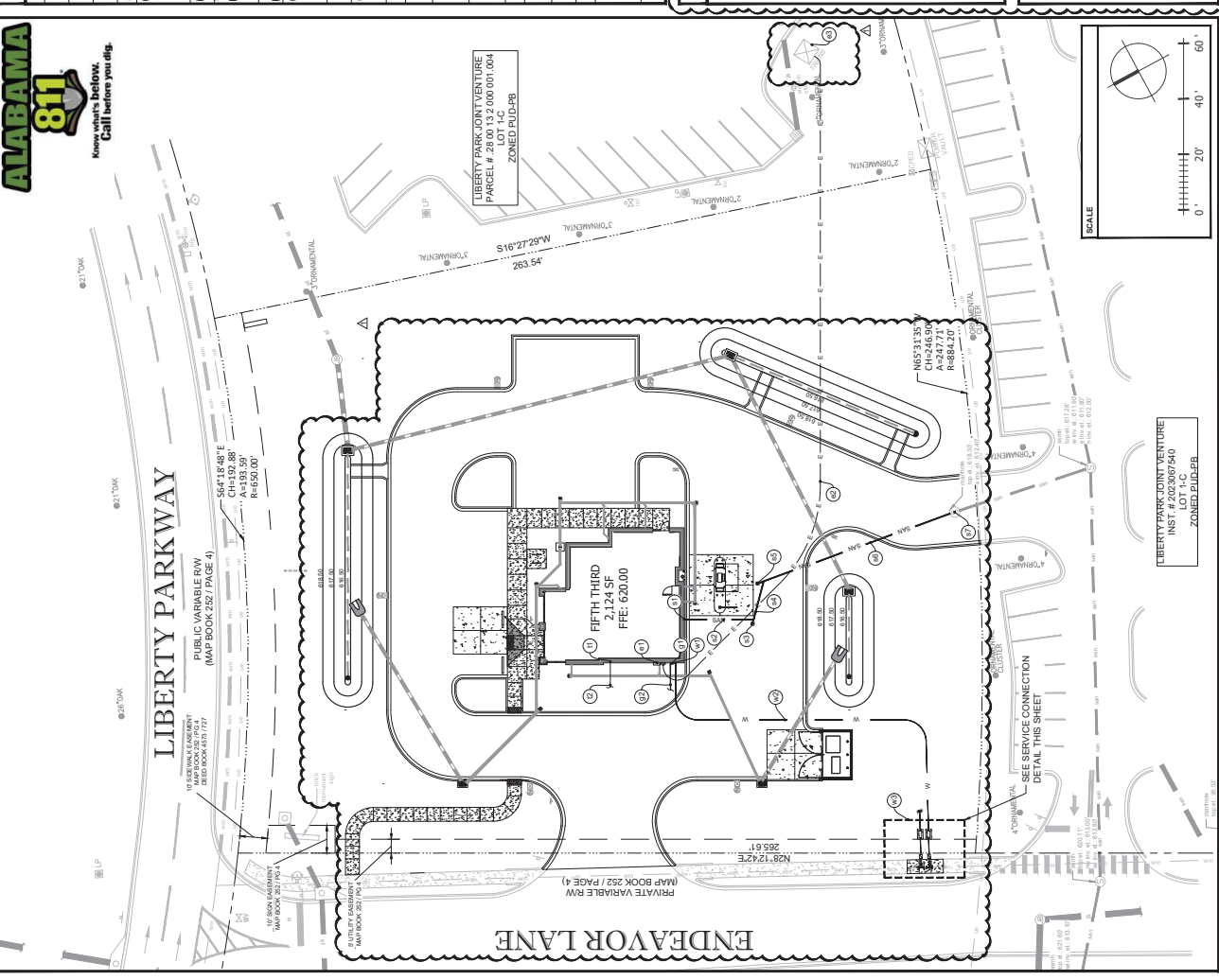
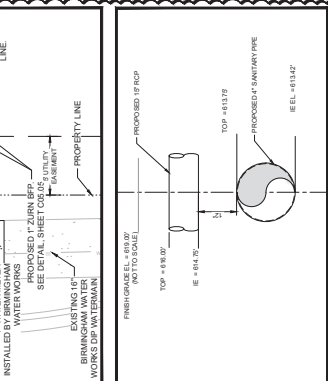
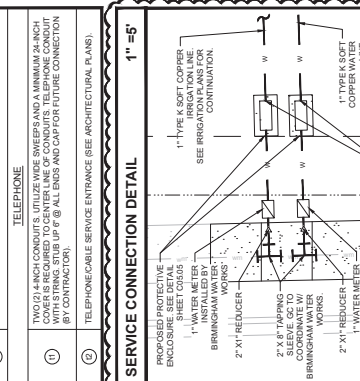
- WATER UTILITY NOTES**
- DOMESTIC SERVICE AND/OR FIRE SERVICE BACK FLOW PREVENTER ASSEMBLY SHALL BE INSTALLED AT THE WATER MAIN SERVICE CONNECTION. THE ASSEMBLY SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE MAINTAINED IN ACCORDANCE WITH THE SPECIFICATIONS.
 - BACK FLOW PREVENTERS SHALL BE INSTALLED AT THE WATER MAIN SERVICE CONNECTION. THE ASSEMBLY SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE MAINTAINED IN ACCORDANCE WITH THE SPECIFICATIONS.
 - ALL SERVICES TO BE TERMINATED AT THE WATER MAIN SERVICE CONNECTION. SMALL TRENCHES SHALL BE INSTALLED AT THE WATER MAIN SERVICE CONNECTION TO BE MAINTAINED IN ACCORDANCE WITH THE SPECIFICATIONS.
 - THE DOMESTIC SERVICE AND/OR FIRE SERVICE BACK FLOW PREVENTER ASSEMBLY SHALL BE INSTALLED AT THE WATER MAIN SERVICE CONNECTION. THE ASSEMBLY SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE MAINTAINED IN ACCORDANCE WITH THE SPECIFICATIONS.
 - ALL INSTALLATION IS SUBJECT TO INSPECTION BY BROWNS.

- UTILITY NOTES**
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION AND TO MAINTAIN THE RECORD OF ANY CONFLICTS IMMEDIATELY.
 - CONTRACTOR SHALL NOTIFY AND COORDINATE WITH LOCAL MUNICIPALITIES UTILITIES DEPARTMENT.
 - CONTRACTOR SHALL NOTIFY AND COORDINATE WITH LOCAL MUNICIPALITIES UTILITIES DEPARTMENT.
 - CONTRACTOR TO COORDINATE INSTALLATION OF ELECTRICAL POWER SERVICE WITH LOCAL ELECTRIC COMPANY.
 - CONTRACTOR TO INSTALL PVC CONDUIT FOR TELEPHONE SERVICE (TO BE INSTALLED WITH GAS MAIN) IN ACCORDANCE WITH THE SPECIFICATIONS AND OPERATIONS.
 - SEE SURVEY FOR LOCATION OF OTHER EXISTING UTILITIES.
 - SEE CIVIL SPECIFICATIONS AND REFERENCE DRAWING SHEETS FOR ADDITIONAL UTILITY NOTES.
 - ALL CROSSINGS OF WATER AND SEWER LINES MUST MAINTAIN PROPER CLEARANCE (SEE CIVIL SPECIFICATIONS AND REFERENCE DRAWING SHEETS).
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY/TOWNSHIP STANDARD CONSTRUCTION AND UTILITY REQUIREMENTS.
 - TREES SHALL NOT BE PLANTED WITHIN 10 FEET FROM THE WATER MAIN.
 - ALL CLEANOUT TOP ELEVATION SHALL MATCH FINISH GRADE ELEVATIONS.

UTILITY SYSTEM DATA

NO.	DESCRIPTION
1	1/2" TYPE 'K' COPPER WATER SERVICE LATERAL
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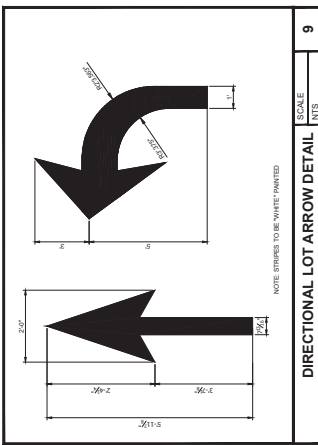
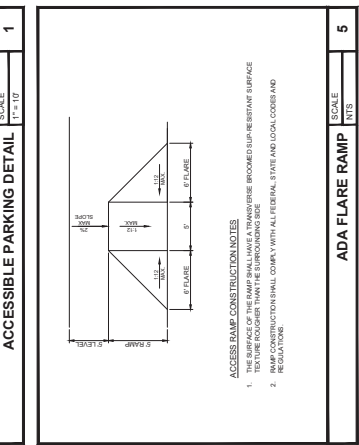
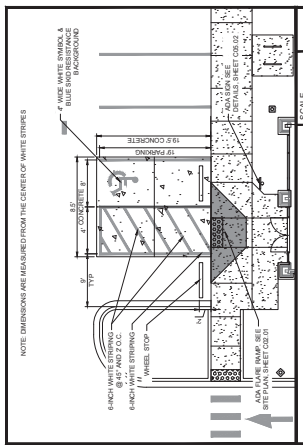
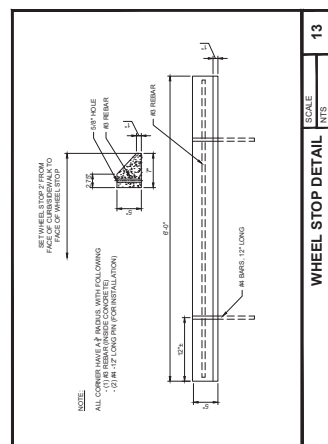
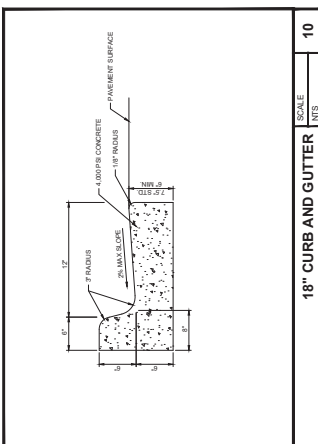
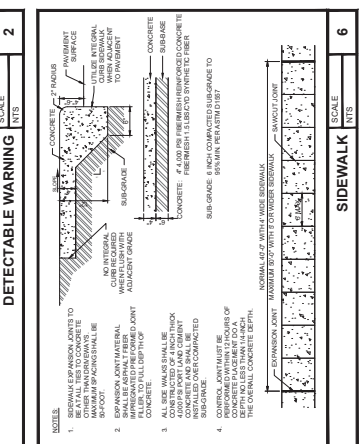
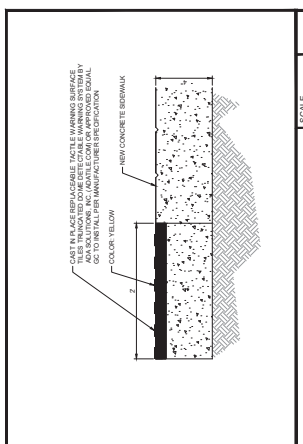
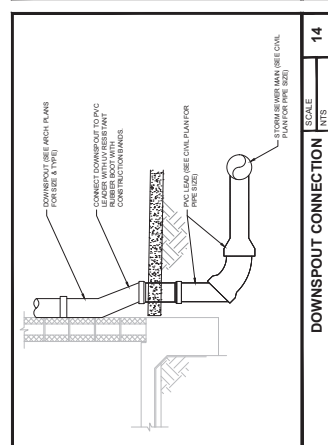
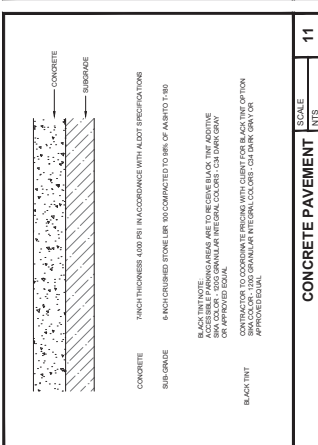
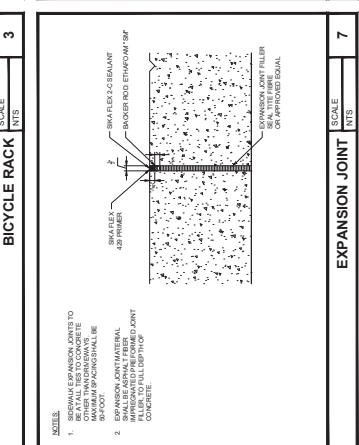
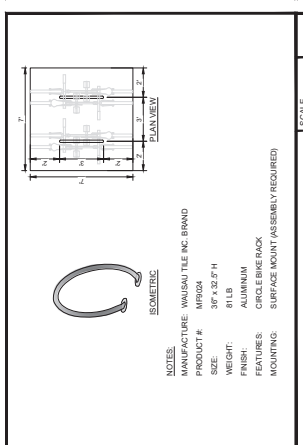
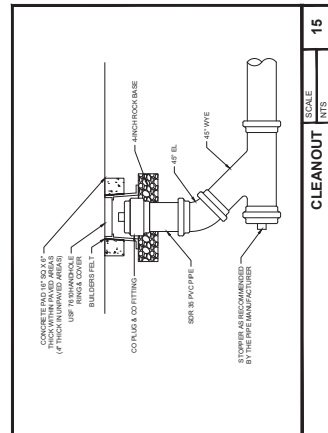
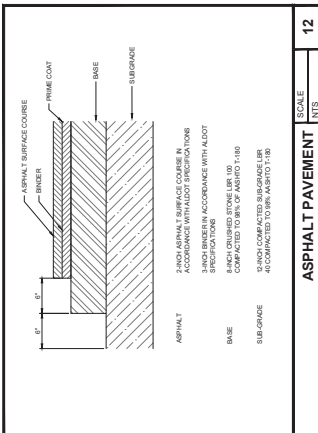
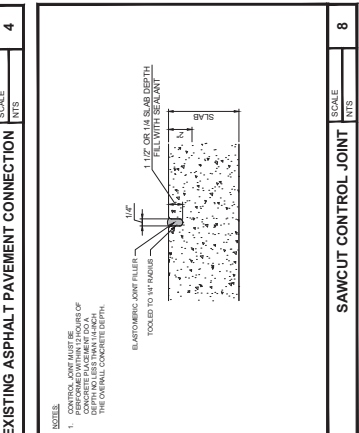
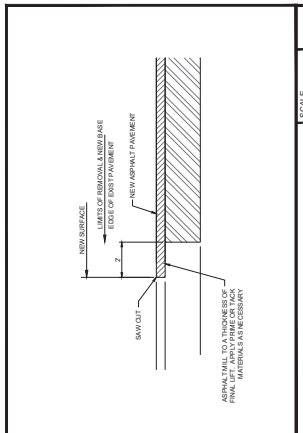
PLAN VIEW

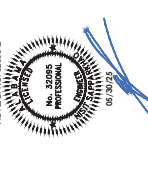
SCALE AS NOTED

LIBERTY PARK JOINT VENTURE
INST. # 17-1540
LOT 1 & C
ZONED PUD-PB

REV	BY	DATE	DESCRIPTION
1	EF	02/28/23	PERMIT SET
2	EF	02/28/23	PERMIT SET

PROJECT INFORMATION BLOCK
 JOB # 202303
 DATE 06/22/23
 DRAWN BY
 CHECKED BY
 SHEET TITLE DETAILS
 SHEET NUMBER C05.01





REV	BY	DATE	DESCRIPTION
1	EF	03/28/25	PERMITS SET

PROJECT INFORMATION BLOCK

JOB # 200453

DATE 06/21/2024

DRAWN BY

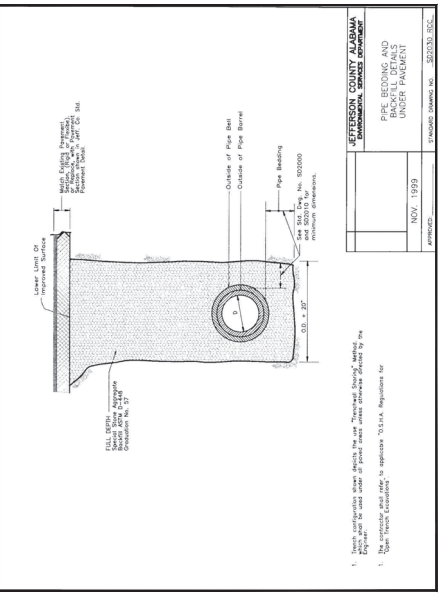
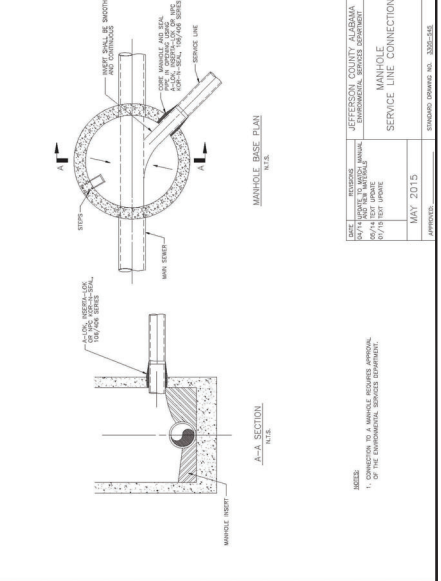
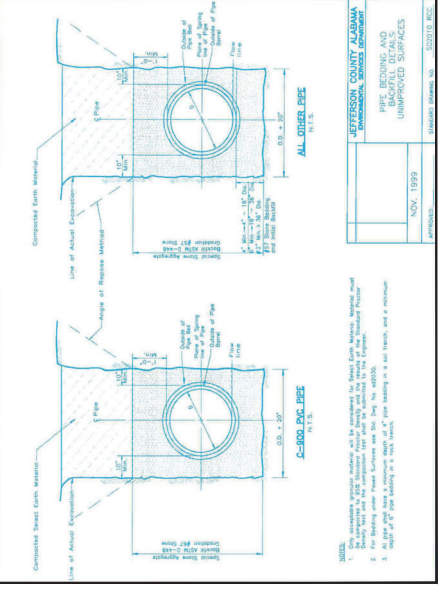
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REG

SHEET TITLE

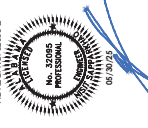
JEFFERSON COUNTY
DETAILS

SHEET NUMBER
C05.03





INTEGRITY
CONSULTING
1301 East Kennedy Boulevard
Tomball, Texas 77375
P: 281.352.0001
F: 281.352.0002
AL Code of Reg. No. 1981
SEA: NIST 060926020.00.0E
AL REG. NO. 32085-E

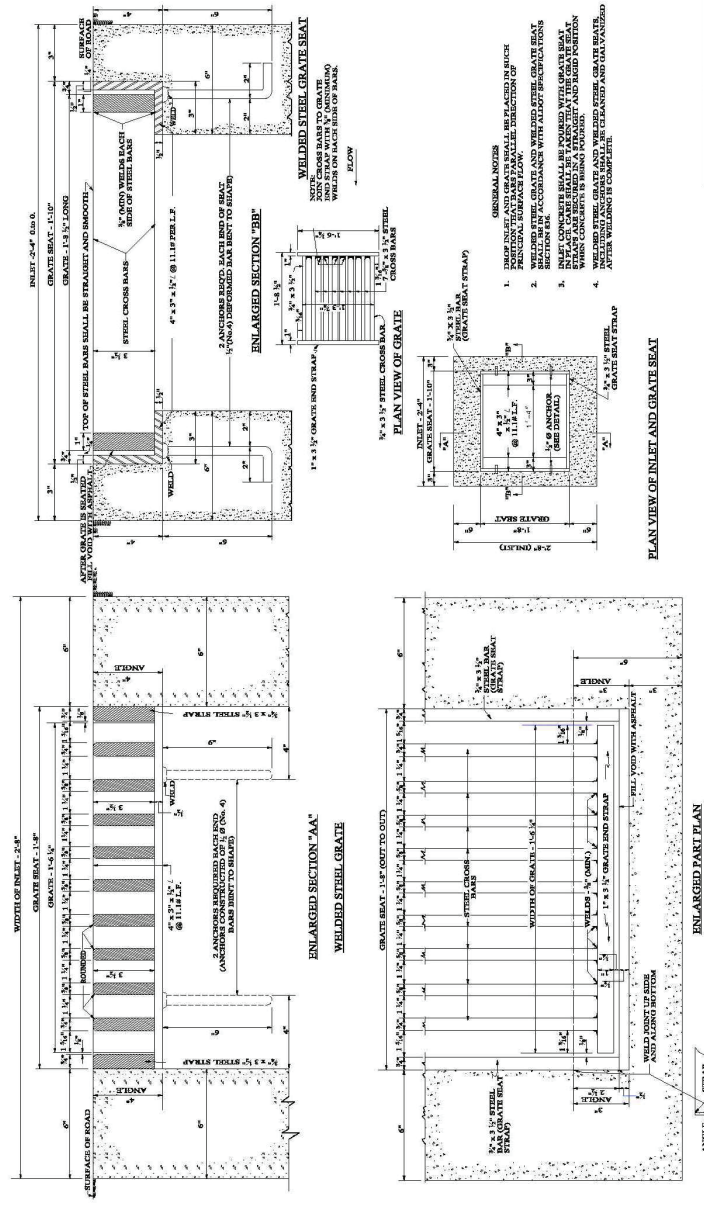


REV	BY	DATE	DESCRIPTION
1	EF	02/28/25	PERMIT SET

PROJECT INFORMATION BLOCK
JOB # 260453
DATE 02/28/25
DRAWN BY
CHECKED BY
REV
SHEET TITLE

AL DOT DETAILS
SHEET NUMBER

C05.07



NOT TO SCALE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE TIME OF INSTALLATION.

OTHER DIMENSIONS SHOWN IN THIS DRAWING SHALL BE USED UNLESS OTHERWISE SPECIFIED.

ALABAMA DEPARTMENT OF TRANSPORTATION
OFFICE OF THE CHIEF ENGINEER
1600 MONROE DRIVE
MONTGOMERY, AL 36102

DATE: 02/28/25

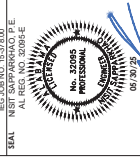
PROJECT: LIBERTY PARK

SHEET: 65 OF 68

(SHEET 2 OF 2)



INSPIRE CONSULTING
1301 East Kennedy Boulevard
Tampa, Florida 33602
Tel: 813.988.4328
Fax: 813.988.4329
All Copy of Plans, No. 1291



YEAR	REV	DATE	DESCRIPTION
	1	03/28/25	PERMIT SET
	2	08/22/25	PRELIM COMMENT

PROJECT INFORMATION BLOCK

JOB #	240453
DATE	08/22/2025
DRAWN BY	REG
CHECKED BY	REG
SHEET TITLE	

EROSION CONTROL
PLAN PHASE I
SHEET NUMBER

C06.02

LEGEND

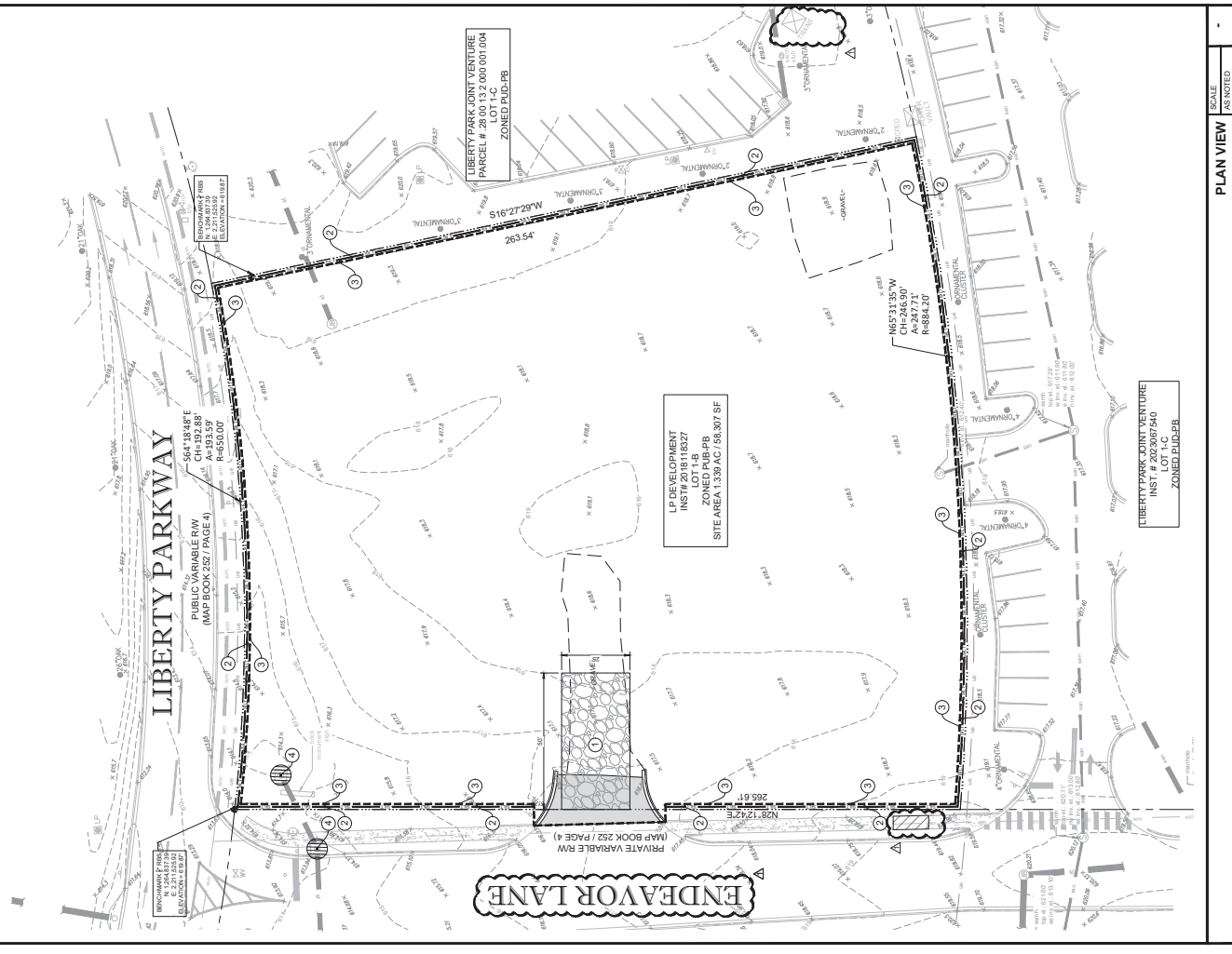
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EXISTING CONCRETE TO REMAIN	EXISTING TO REMAIN
EXISTING TO REMAIN	SILT FENCE
SILT FENCE	LIMITS OF CONSTRUCTION
LIMITS OF CONSTRUCTION	INLET PROTECTION
INLET PROTECTION	EXISTING CONTOUR
EXISTING CONTOUR	EXISTING GRADE ELEVATION
EXISTING GRADE ELEVATION	

GENERAL NOTES

- ALL MATERIALS INCLUDING FILL, STRUCTURES, AND SILT FENCE PERMANENTLY LOCATED ON THE UNDEVELOPED AREA OF PROPOSED DEVELOPMENT.
- ALL DISTURBED AREAS OF UNDEVELOPED PROPERTY SHALL BE HYDROMULCHED WITH SEED TO ESTABLISH TURF AND PREVENT SILT RUNOFF INTO THE STREETS.

EROSION CONTROL KEYED NOTES

1	CRUSHED STONE CONSTRUCTION ENTRANCE AND CONCRETE TRUCK WASHOUT AREA
2	SILT FENCE
3	LIMITS OF CONSTRUCTION
4	INLET PROTECTION



PLAN VIEW
SCALE AS NOTED

DATE	DESCRIPTION
06/20/25	PERMIT SET
06/23/25	PRELIMINARY COMMENTS

PROJECT INFORMATION BLOCK

JOB #	202507540
DATE	06/23/25
CHECKED BY:	REG
DRAWN BY:	REG
SHEET TITLE	

EROSION CONTROL PLAN PHASE II

SHEET NUMBER	C06.03
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LEGEND

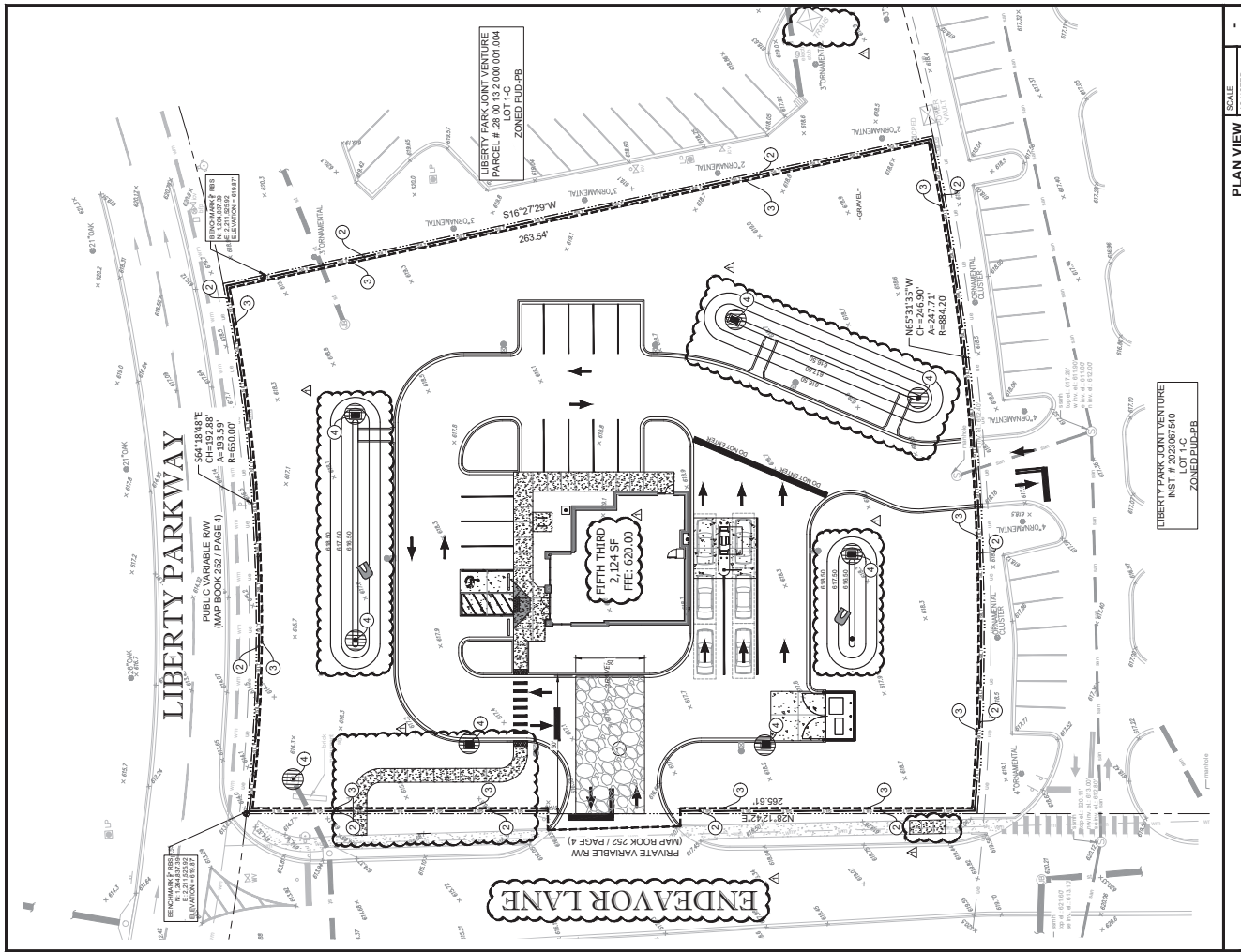
PROPERTY LINE	EXISTING CONCRETE TO REMAIN
EXISTING CONCRETE TO REMAIN	EXISTING TO REMAIN
EXISTING TO REMAIN	SILT FENCE
SILT FENCE	LIMITS OF CONSTRUCTION
LIMITS OF CONSTRUCTION	INLET PROTECTION
INLET PROTECTION	EXISTING CONTOUR
EXISTING CONTOUR	EXISTING GRADE ELEVATION
EXISTING GRADE ELEVATION	

GENERAL NOTES

- ALL MATERIALS INCLUDING FILL, STRUCTURES, AND NOT PERMANENTLY LOCATED ON THE UNDEVELOPED AREA OF PROPOSED DEVELOPMENT.
- ALL DISTURBED AREAS OF UNDEVELOPED PROPERTY SHALL BE HYDROMULCHED WITH SEED TO ESTABLISH TURF AND PREVENT SILT RUNOFF INTO THE STREETS.

EROSION CONTROL KEYED NOTES

1	CRUSHED STONE CONSTRUCTION ENTRANCE AND CONCRETE TRUCK WASHOUT AREA
2	SILT FENCE
3	LIMITS OF CONSTRUCTION
4	INLET PROTECTION



PLAN VIEW
SCALE AS NOTED

YEAR	REV	DATE	DESCRIPTION
	1	07/28/25	PERMIT SET

PROJECT INFORMATION BLOCK	202403
JOB #	06222002
DATE	06/20/25
DESIGNED BY	REG
CHECKED BY	REG
DATE	06/20/25
SCALE	AS SHOWN
PROJECT TITLE	EROSION AND SEDIMENTATION CONTROL DETAILS
SHEET NUMBER	C06.04

GENERAL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION.
2. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND REMOVED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN FIELDED.
3. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND REMOVED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN FIELDED.
4. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND REMOVED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN FIELDED.
5. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND REMOVED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN FIELDED.
6. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND REMOVED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN FIELDED.

PRE-CONSTRUCTION STEPS:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
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SITE PROTECTION:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
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6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

STORM DRAIN INLET PROTECTION:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
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6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

POST-CONSTRUCTION SITE PROTECTION:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
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6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

EROSION CONTROL MEASURES:

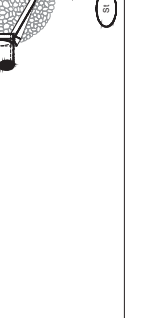
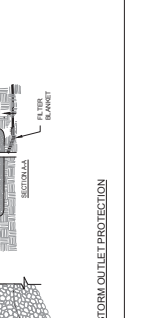
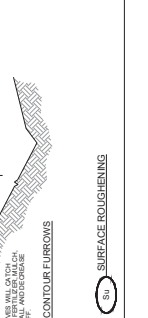
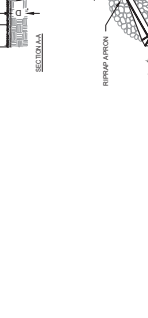
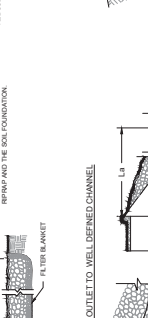
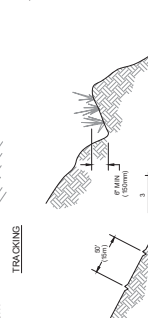
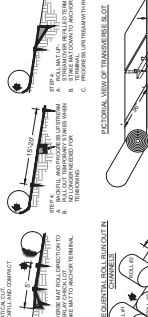
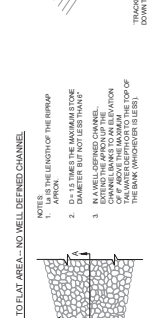
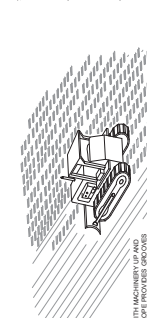
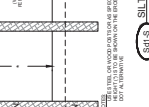
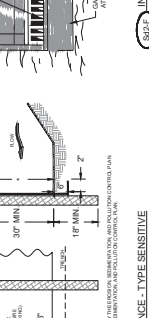
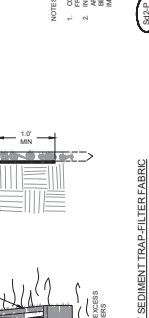
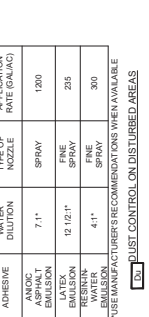
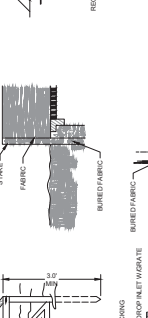
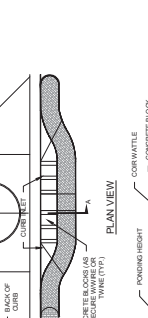
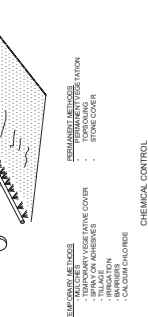
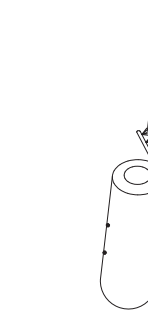
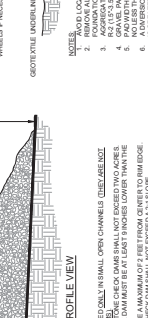
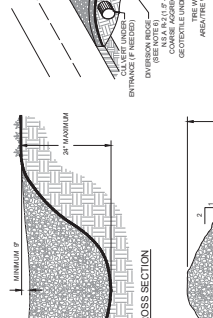
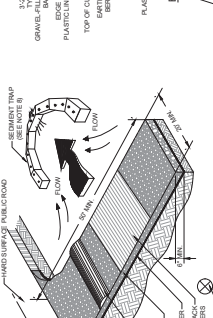
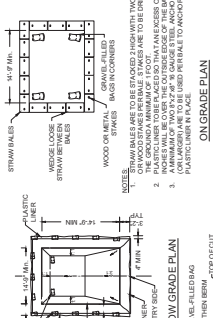
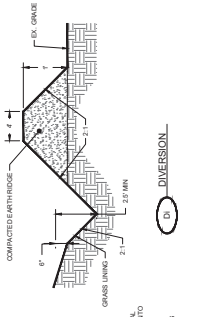
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
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TEMPORARY CONSTRUCTION EXITS:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
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STONE CHECK DAM:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
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REV	DATE	DESCRIPTION
1	03/22/25	FINAL SET
2	03/22/25	FERRAC COMMENT

PROJECT INFORMATION BLOCK	
DATE	03/22/25
PROJECT	FIFTH THIRD BANK
CHECKED BY	WJR
DRAWN BY	WJR
SCALE	AS SHOWN

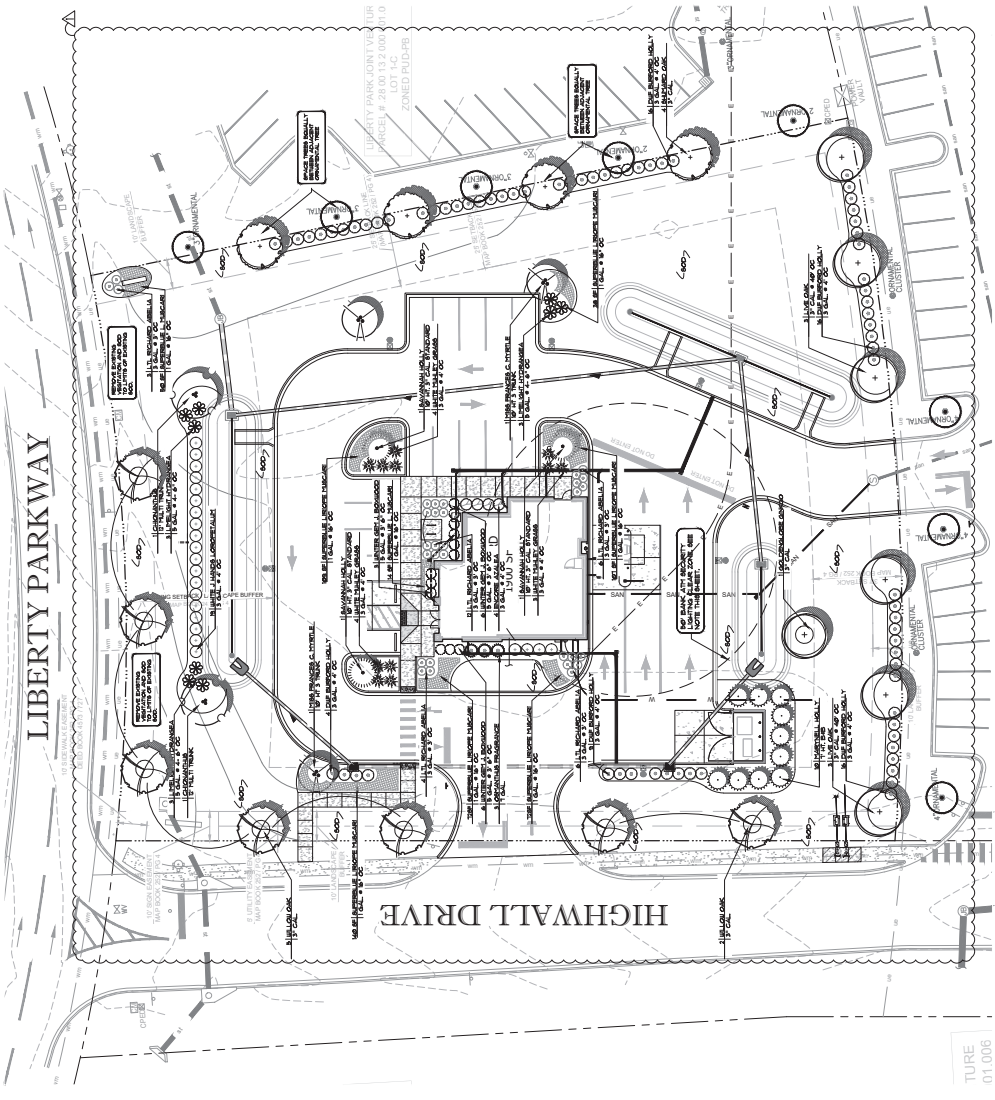
IRRIGATION LEGEND

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- 2. 3/4" PVC SCHEDULE 40
- 3. 1" PVC SCHEDULE 40
- 4. 1 1/2" PVC SCHEDULE 40
- 5. 2" PVC SCHEDULE 40
- 6. 3" PVC SCHEDULE 40
- 7. 4" PVC SCHEDULE 40
- 8. 6" PVC SCHEDULE 40
- 9. 8" PVC SCHEDULE 40
- 10. 10" PVC SCHEDULE 40
- 11. 12" PVC SCHEDULE 40
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- 14. 24" PVC SCHEDULE 40
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- 16. 36" PVC SCHEDULE 40
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- 53. 1392" PVC SCHEDULE 40
- 54. 1440" PVC SCHEDULE 40
- 55. 1488" PVC SCHEDULE 40
- 56. 1536" PVC SCHEDULE 40
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- 59. 1680" PVC SCHEDULE 40
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- 68. 2112" PVC SCHEDULE 40
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Know what's below.
Call before you dig.

- NOTES:**
- IF CONFLICTS EXIST BETWEEN PROPOSED LANDSCAPE AND SITE LIGHTING, UTILITIES OR OTHER LANDSCAPE CONTRACTORS, NO CONFLICTS SHALL BE ALLOWED. LANDSCAPE ARCHITECT HAS INSTALLED LOCATION OF LIGHTING VARIER FROM PLANS.
 - IF CONDITIONS BECOME SUCH AS LOW AREAS THAT WILL INHERENTLY HOLD WATER OR ANY CONDITIONS THAT PRODUCE A THREAT TO THE LOW TRUNK SURVIVAL OF THE NEW PLANTING, THE LANDSCAPE CONTRACTOR IS TO CONTACT THE LANDSCAPE ARCHITECT FOR CHANGES.
 - IF THESE CONDITIONS ARE NOT COORDINATED DURING CONSTRUCTION, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR RELOCATING NEW MATERIAL AT DIRECTION OF THE LANDSCAPE ARCHITECT AT THE TIME OF PUNCH LIST.
 - STORAGE SHOWN AS SCHEDULED. IF VARIANCE OCCURS, LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR APPROVAL OF CHANGES.
 - ALL SHRUBS AT FRONT OF PARKING AREAS. CENTER OF PLANT TO BE LOCATED 24" FROM BACK OF CURB.
 - ALL SHRUBS ALONG DRIVE OR CURB. CENTER OF PLANT TO BE LOCATED 36" FROM DRIVE OR CURB.
 - CONTRACTOR RESPONSIBLE FOR OFF SITE DISTURBANCE AND REPLACEMENT OF LANDSCAPE / PLANT MATERIAL WITH LIKE KIND.
 - IF CONFLICTS EXIST BETWEEN PLANTINGS AND SITE ELEMENTS, CONTRACTOR SHALL COORDINATE WITH BUILDING AND MECHANICAL CONTRACTORS AND ARCHITECT. IF CONFLICTS ARE NOT MADE WITH ARCHITECT / ENGINEER, CONTRACTOR WILL BE RESPONSIBLE FOR RELOCATION OF MATERIAL AND ADJUSTMENTS AT THE TIME OF PUNCH LIST AS DIRECTED.
 - ALL PLANTING BEDS AND TREE PITS SHALL BE MULCHED WITH A 3" THICK LAYER OF SINGLE SHARDED MULCH. NO NUGGETS TO BE USED IN DEVELOPMENT OF PARTICULAR MULCH. CONTRACTOR TO INSTALL AS REQUIRED WITH BAK APPROVAL.



PLANT LIST

COTTON NAME	CAL	HT	SPREAD	REUSE	SPACING	CONTENTS
SAVANNAH HOLLY	10'	7'	4'	ANA STANDARD	3' GAL	TREE FORM
HARTY NELL HOLLY	10'	7'	4'	ANA STANDARD	3' GAL	PULL PLANT
CHOCOLATE THYRILLE	10'	7'	4'	ANA STANDARD	3' GAL	MULTI-TRUNK
BILLOW OAK	14'	9'	9'	ANA STANDARD	3' GAL	3' CAL
AUT ROYALTY ENCORE	18'	14'	14'	3 GAL # 4 OC	3' GAL	PULL PLANT
DUP BURFORD HOLLY	18'	14'	14'	3 GAL # 4 OC	3' GAL	PULL PLANT
WINTER GIFT BOWWOOD	18'	14'	14'	3 GAL	3' GAL	PULL PLANT
WHITE JAZZ HANGS LOROPETALUM	18'	24'	24'	3 GAL	3' GAL	PULL PLANT
WHITE JAZZ HANGS LOROPETALUM	18'	24'	24'	3 GAL # 9 6" OC	3' GAL	PULL PLANT
LT. RICHARD ABELIA	14'	14'	14'	3 GAL # 4 OC	3' GAL	PULL PLANT
WHITE MULY GRASS	24'	24'	24'	3 GAL # 4 OC	3' GAL	PULL PLANT
LIPORE MISCARI BERBERIA	8'	6'	6'	1 GAL # 14" OC	1 GAL	PULL PLANT
LIPORE MISCARI VANDYKA	8'	6'	6'	1 GAL # 14" OC	1 GAL	PULL PLANT
MATCH EXISTING						WHOLE PIECES

TREES

- LEV. ATTEMATA SAVANNAH
- LEV X HARTY NELL
- LEV X HARTY NELL
- CHOCOLATE THYRILLE
- CHOCOLATE THYRILLE
- CHOCOLATE THYRILLE
- CHOCOLATE THYRILLE
- CHOCOLATE THYRILLE
- CHOCOLATE THYRILLE
- CHOCOLATE THYRILLE

SHRUBS

- LIPORE MISCARI BERBERIA
- LIPORE MISCARI VANDYKA
- LIPORE MISCARI VANDYKA
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MISC.

- LIPORE MISCARI BERBERIA
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ALL PLANTING BEDS AND TREE PITS SHALL BE MULCHED WITH A 3" THICK LAYER OF SINGLE SHARDED MULCH. NO NUGGETS. IF WITHIN A DEVELOPMENT REQUIRING PARTICULAR MULCH, CONTRACTOR TO INSTALL AS REQUIRED WITH APPROVAL.



REV	BY	DATE	DESCRIPTION
1	WR	02/28/25	PERM SET
2	WR	02/27/25	PERM COMMENT

PROJECT INFORMATION BLOCK
JOB # 200413
DATE 02/27/25
DRAWN BY
CHECKED BY
DATE
SHEET TITLE

REV	BY	DATE	DESCRIPTION
1	EF	02/28/25	PERMIT SET
2	EF	02/28/25	PERMIT COMMENT

PROJECT INFORMATION BLOCK	
JOB #	2023097540
DATE	06/22/2025
DRAWN BY	
CHECKED BY	
SCALE	AS SHOWN

SHEET TITLE	SITE ACCESS PLAN (FIRE TRUCK)
SHEET NUMBER	SA01.01

SITE PLAN LEGEND:

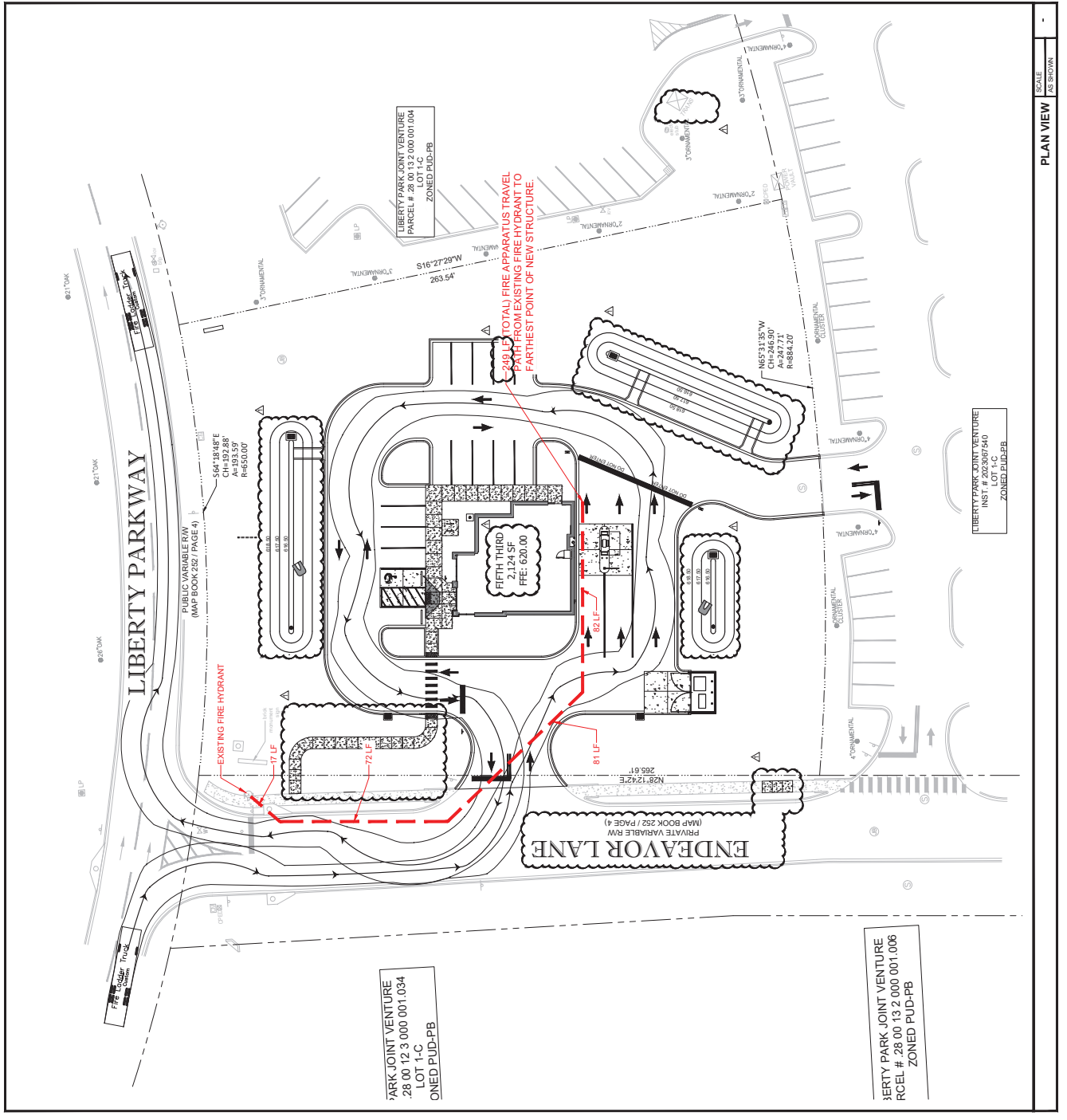
- DIRECTIONAL ARROW
- HANDICAP PARKING
- PROPOSED PAVEMENT STRIPE
- PROPOSED CURB
- EXISTING CURB
- PROPERTY LINE
- EXISTING CONCRETE TO REMAIN
- PROPOSED CONCRETE LESS THAN 1" THICK
- PROPOSED CONCRETE 1" OR GREATER
- NEW ASPHALT PAVEMENT

TRUCK LEGEND

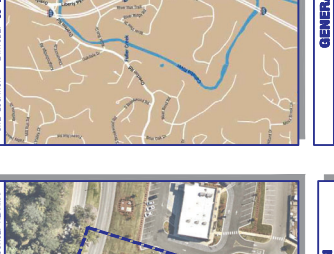
Rear-Load Garbage Truck
feet

- Width : 8.00
- Track : 8.00
- Lock to Lock Time : 6.0
- Clearing Angle : 27.4

SCALE



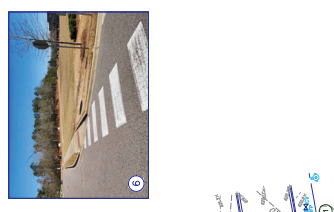
SITE PHOTOGRAPHS



AERIAL IMAGE



VICINITY MAP



TITLE EXCEPTIONS

THE FOLLOWING EXCEPTIONS ARE LISTED IN PARAGRAPHS 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

PROPERTY DESCRIPTION

This property is located in the NE 1/4 of Section 12, T12N, R10E, E1/2, containing approximately 120 acres. The property is bounded by Liberty Park Joint Venture to the north and east, and by the State of Alabama to the south and west. The property is currently zoned PUD-18 and is being offered for sale as a single lot.

GENERAL NOTES

This survey was prepared for the purpose of showing the location of the proposed road and easements. The survey was conducted in accordance with the standards of the Alabama Board of Surveyors. The survey was completed on November 14, 2024.

SURVEYOR CERTIFICATION

I, the undersigned, being a duly licensed Surveyor in the State of Alabama, do hereby certify that this is a true and correct copy of the original survey as recorded in the Public Office of the State of Alabama.

CLOSURE STATEMENT

This is to certify that this map or plat and the survey on which it is based are in accordance with the requirements of the Alabama Board of Surveyors. The survey was completed on November 14, 2024.

GeoSurvey

Professional Land Surveying Services

18660 Barrows Mill Road
Marietta, Georgia 30062

Phone: (770) 795-9900
Fax: (770) 795-8888

www.geosurvey.com
License: 20246057-1499

Liberty Park Joint Venture

Parcel # 28 00 12 000 001004
Zoned PUD-18

Liberty Park Joint Venture

Parcel # 28 00 13 2 000 001008
Zoned PUD-18

Liberty Park Joint Venture

Parcel # 28 00 12 000 001004
Zoned PUD-18

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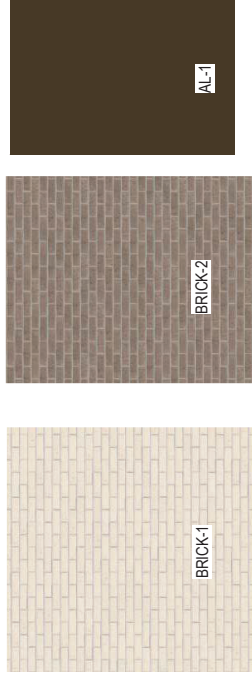
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FIFTH THIRD

Design Criteria
 Primary street facing facade shall have a minimum transparency of 50-80%
 Side facades facing a right-of-way shall have transparency of 20%
 Entrance on Primary facade
 Variety of building forms shall be employed to create visual character and interest
 Exterior character of all buildings shall enhance pedestrian activity in their immediate vicinities
 Parapets must extend minimum 5 feet above the top of roof structure. The minimum height is to ensure that all rooftop equipment is hidden from public view.

Facade Material
 Wall materials: brick, stone, stucco
 Trim/accents materials: brick, stone, wood
 Wall material percentages for overall building:
 Brick: 80-100%
 Stone: up to 20%
 Stucco: up to 20%



Signage:
 No more than 2 flush-mount signs
 No signs shall have backlighting or contain internal illumination, but instead should be down or uplit, or contain backlit lettering (halo).

EXTERIOR FINISH	MANUFACTURER	COLOR	COMMENTS
BRICK-1	GLENN-GERY	ASPEN WHITE WIRECUT	HANLEY PLANT
BRICK-2	ACME	SLATE GRAY	SLATE GRAY - (VALOUR TEXTURE)
AL-1	KAWNEER /PAC CLAD	BRONZE ANODIZED	BRONZE ANODIZED STOREFRONT

**FIFTH THIRD
 LIBERTY PARK**
 3201 ENDEAVOR LANE,
 VESTAVIA HILLS, AL 35242

DRAWN BY: LG
 CHECKED BY:
 05/08/25

1F



FIFTH THIRD



FIFTH THIRD
 LIBERTY PARK
 3201 ENDEAVOR LANE,
 VESTAVIA HILLS, AL 35242

DRAWN BY: LG
 CHECKED BY: ...
 05/08/25

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FIFTH THIRD



FIFTH THIRD
LIBERTY PARK
3201 ENDEAVOR LANE,
VESTAVIA HILLS, AL 35242

DRAWN BY: LG
CHECKED BY: ...
05/08/25

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FIFTH THIRD



**FIFTH THIRD
LIBERTY PARK**
3201 ENDEAVOR LANE,
VESTAVIA HILLS, AL 35242

DRAWN BY: LG
CHECKED BY: ...
05/08/25

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FIFTH THIRD



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LIBERTY PARK
3201 ENDEAVOR LANE,
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FIFTH THIRD



**FIFTH THIRD
LIBERTY PARK**
3201 ENDEAVOR LANE,
VESTAVIA HILLS, AL 35242

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ACM PANEL - GENERAL NOTES

- ALL ACM PANELS SET TO BE ANCHORED TO MASONRY AT GABLE METAL STUD FRAMING. REFER TO STRUCTURAL METAL STUD FRAMING BY CIVIL ENGINEER.
- ALL PANELS MUST BE INSTALLED WITH PANEL JOINTS AS REQUIRED FOR THE COMPOSITE PANEL ATTACHMENT.
- FIELD JOINTS MAY BE USED TO SUPPORT METAL COMPOSITE PANELS (S.G.C. TO COORDINATE).
- FIELD JOINTS SHALL NOT BE USED TO SUPPORT METAL COMPOSITE PANEL ATTACHMENT (BRACKETS BY CIVIL SYSTEMS).
- ALL METAL COMPOSITE PANELS SHALL BE FINISHED WITH AN ALUMINUM ANODIZED COATING TO MATCH THE FINISH OF THE METAL COMPOSITE PANELS TO BE INSTALLED.
- ALL DIMENSIONS AND QUANTITIES ARE TO BE FIELD VERIFIED PRIOR TO THE FABRICATION.
- ALL BRACKETS AND PANEL JOINTS TO HAVE BRACKETS AND GALLIES. APPLY 1/2" DIA. FASTENING BUSHINGS TO ALL BRACKETS AND PANEL JOINTS.
- ALL MATERIALS TO BE SUPPLIED BY THE CONTRACTOR.
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EXTERIOR GLAZING SCHEDULE

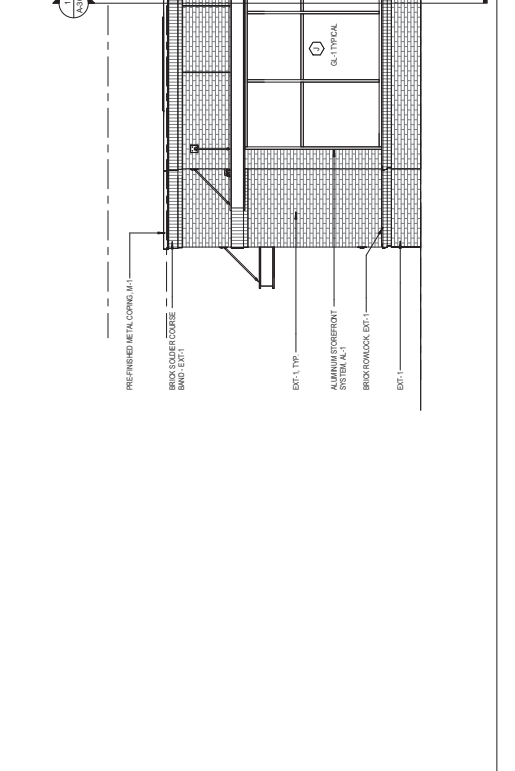
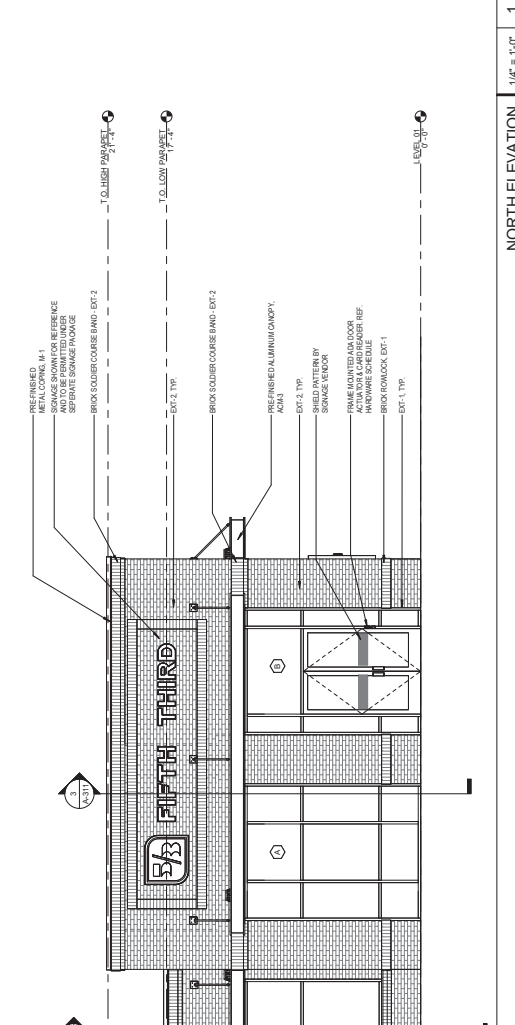
ITEM	EXTERIOR FINISH	MANUFACTURER	COLOR	COMMENTS
ACM1	ALUMINUM COMPOSITE METAL PANEL	ALCOA INDUSTRIAL	DARK BRONZE	REGULAR EXTERIOR STONEFRONT
ACM2	ALUMINUM COMPOSITE METAL PANEL	ALCOA INDUSTRIAL	DARK BRONZE	1/4" VERTICAL CENTER SET THERMALLY BROKEN STONEFRONT
ACM3	ALUMINUM COMPOSITE METAL PANEL	ALCOA INDUSTRIAL	DARK BRONZE	1/4" VERTICAL CENTER SET THERMALLY BROKEN STONEFRONT
ACM4	ALUMINUM COMPOSITE METAL PANEL	ALCOA INDUSTRIAL	DARK BRONZE	1/4" VERTICAL CENTER SET THERMALLY BROKEN STONEFRONT
ACM5	ALUMINUM COMPOSITE METAL PANEL	ALCOA INDUSTRIAL	DARK BRONZE	1/4" VERTICAL CENTER SET THERMALLY BROKEN STONEFRONT
ACM6	ALUMINUM COMPOSITE METAL PANEL	ALCOA INDUSTRIAL	DARK BRONZE	1/4" VERTICAL CENTER SET THERMALLY BROKEN STONEFRONT
ACM7	ALUMINUM COMPOSITE METAL PANEL	ALCOA INDUSTRIAL	DARK BRONZE	1/4" VERTICAL CENTER SET THERMALLY BROKEN STONEFRONT
ACM8	ALUMINUM COMPOSITE METAL PANEL	ALCOA INDUSTRIAL	DARK BRONZE	1/4" VERTICAL CENTER SET THERMALLY BROKEN STONEFRONT
ACM9	ALUMINUM COMPOSITE METAL PANEL	ALCOA INDUSTRIAL	DARK BRONZE	1/4" VERTICAL CENTER SET THERMALLY BROKEN STONEFRONT
ACM10	ALUMINUM COMPOSITE METAL PANEL	ALCOA INDUSTRIAL	DARK BRONZE	1/4" VERTICAL CENTER SET THERMALLY BROKEN STONEFRONT

EXTERIOR GLAZING SCHEDULE

ITEM	EXTERIOR FINISH	MANUFACTURER	COLOR	COMMENTS
GL1	ALUMINUM STOREFRONT SYSTEM	ALUMINUM STOREFRONT SYSTEM	ANODIZED ALUMINUM	ALUMINUM STOREFRONT SYSTEM
GL2	ALUMINUM STOREFRONT SYSTEM	ALUMINUM STOREFRONT SYSTEM	ANODIZED ALUMINUM	ALUMINUM STOREFRONT SYSTEM
GL3	ALUMINUM STOREFRONT SYSTEM	ALUMINUM STOREFRONT SYSTEM	ANODIZED ALUMINUM	ALUMINUM STOREFRONT SYSTEM
GL4	ALUMINUM STOREFRONT SYSTEM	ALUMINUM STOREFRONT SYSTEM	ANODIZED ALUMINUM	ALUMINUM STOREFRONT SYSTEM
GL5	ALUMINUM STOREFRONT SYSTEM	ALUMINUM STOREFRONT SYSTEM	ANODIZED ALUMINUM	ALUMINUM STOREFRONT SYSTEM
GL6	ALUMINUM STOREFRONT SYSTEM	ALUMINUM STOREFRONT SYSTEM	ANODIZED ALUMINUM	ALUMINUM STOREFRONT SYSTEM
GL7	ALUMINUM STOREFRONT SYSTEM	ALUMINUM STOREFRONT SYSTEM	ANODIZED ALUMINUM	ALUMINUM STOREFRONT SYSTEM
GL8	ALUMINUM STOREFRONT SYSTEM	ALUMINUM STOREFRONT SYSTEM	ANODIZED ALUMINUM	ALUMINUM STOREFRONT SYSTEM
GL9	ALUMINUM STOREFRONT SYSTEM	ALUMINUM STOREFRONT SYSTEM	ANODIZED ALUMINUM	ALUMINUM STOREFRONT SYSTEM
GL10	ALUMINUM STOREFRONT SYSTEM	ALUMINUM STOREFRONT SYSTEM	ANODIZED ALUMINUM	ALUMINUM STOREFRONT SYSTEM

EXTERIOR GLAZING SCHEDULE

ITEM	EXTERIOR FINISH	MANUFACTURER	COLOR	COMMENTS
BR1	BRICK COURSE	BRICK COURSE	BRICK COURSE	BRICK COURSE
BR2	BRICK COURSE	BRICK COURSE	BRICK COURSE	BRICK COURSE
BR3	BRICK COURSE	BRICK COURSE	BRICK COURSE	BRICK COURSE
BR4	BRICK COURSE	BRICK COURSE	BRICK COURSE	BRICK COURSE
BR5	BRICK COURSE	BRICK COURSE	BRICK COURSE	BRICK COURSE
BR6	BRICK COURSE	BRICK COURSE	BRICK COURSE	BRICK COURSE
BR7	BRICK COURSE	BRICK COURSE	BRICK COURSE	BRICK COURSE
BR8	BRICK COURSE	BRICK COURSE	BRICK COURSE	BRICK COURSE
BR9	BRICK COURSE	BRICK COURSE	BRICK COURSE	BRICK COURSE
BR10	BRICK COURSE	BRICK COURSE	BRICK COURSE	BRICK COURSE



NORTH ELEVATION 1/4" = 1'-0"

WEST ELEVATION 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE		COMMENTS
ITEM	MANUFACTURER	COLOR
A-01	ALCOA ARCHITECTURAL METAL PANEL	DARK BRONZE
A-02	ALUMINUM COMPOSITE PANEL	BRONZE
A-03	PAINTED GALVANIZED STEEL CLT	BRONZE
A-04	PAINTED GALVANIZED STEEL CLT	BRONZE
A-05	PAINTED GALVANIZED STEEL CLT	BRONZE
A-06	PAINTED GALVANIZED STEEL CLT	BRONZE
A-07	PAINTED GALVANIZED STEEL CLT	BRONZE
A-08	PAINTED GALVANIZED STEEL CLT	BRONZE
A-09	PAINTED GALVANIZED STEEL CLT	BRONZE
A-10	PAINTED GALVANIZED STEEL CLT	BRONZE

GLAZING - GENERAL NOTES

EXTERIOR GLAZING SYSTEMS SHALL BE AS FOLLOWS:

1. SYSTEM SHALL BE SET IN ALUMINUM FRAME.

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100. SYSTEM SHALL BE SET IN ALUMINUM FRAME.

ACM PANEL - GENERAL NOTES

A. ALL ACM PANELS SHALL BE ANCHORED TO MASONRY AT GROUND LEVEL. STUDY DRAWING REFERS TO STRUCTURAL METAL STUD DRAWING FOR ANCHORING DETAILS.

B. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

C. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

D. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

E. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

F. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

G. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

H. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

I. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

J. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

K. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

L. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

M. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

N. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

O. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

P. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

Q. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

R. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

S. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

T. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

U. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

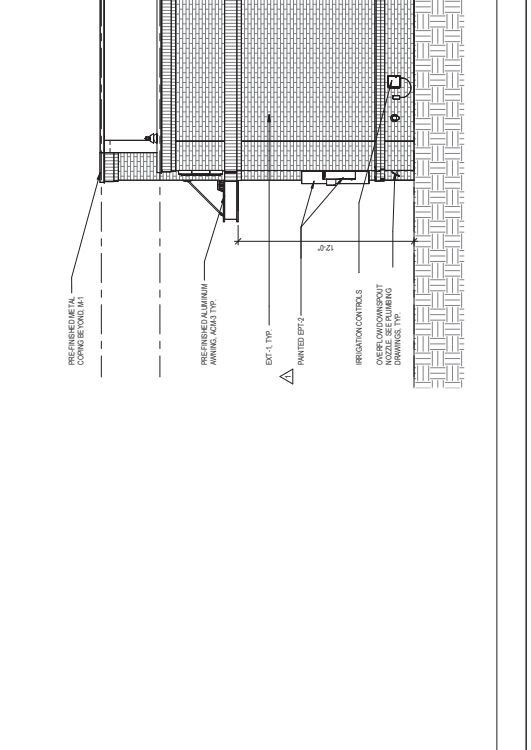
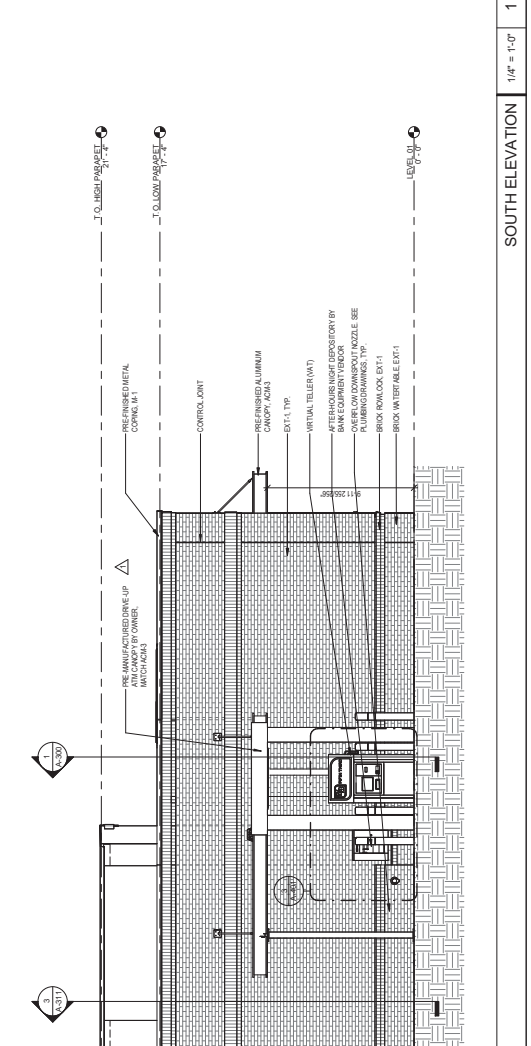
V. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

W. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

X. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

Y. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.

Z. ALL PANELS SHALL BE SET IN ALUMINUM FRAME.



ISSUE	DATE	DESCRIPTION
1	02/25/25	50% REVIEW
2	03/20/25	100% REVIEW
3	04/15/25	100% REVIEW
4	05/10/25	100% REVIEW
5	06/05/25	100% REVIEW
6	07/01/25	100% REVIEW
7	08/01/25	100% REVIEW
8	09/01/25	100% REVIEW
9	10/01/25	100% REVIEW
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100	05/01/33	100% REVIEW

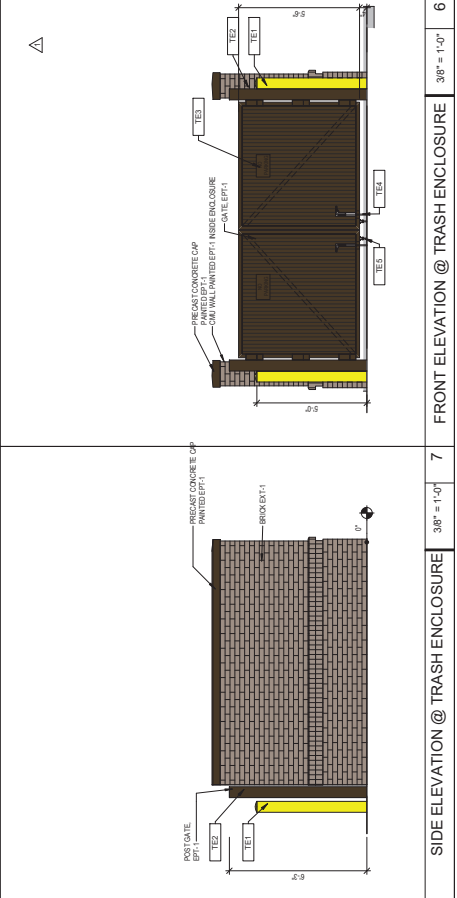
THIS DOCUMENT IS THE PROPERTY OF BDG ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BDG ARCHITECTS. THE USER OF THIS DOCUMENT AGREES TO HOLD BDG ARCHITECTS HARMLESS FROM AND AGAINST ALL LIABILITY, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY BDG ARCHITECTS AS A RESULT OF THE USER'S USE OF THIS DOCUMENT. THE USER OF THIS DOCUMENT AGREES TO HOLD BDG ARCHITECTS HARMLESS FROM AND AGAINST ALL LIABILITY, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY BDG ARCHITECTS AS A RESULT OF THE USER'S USE OF THIS DOCUMENT.

SCALE

ISSUE BY	DATE	DESCRIPTION
-	02/25/25	50% REVIEW
1	02/25/25	100% AEC COMMENTS
2	02/25/25	100% AEC COMMENTS
3	02/25/25	100% AEC COMMENTS

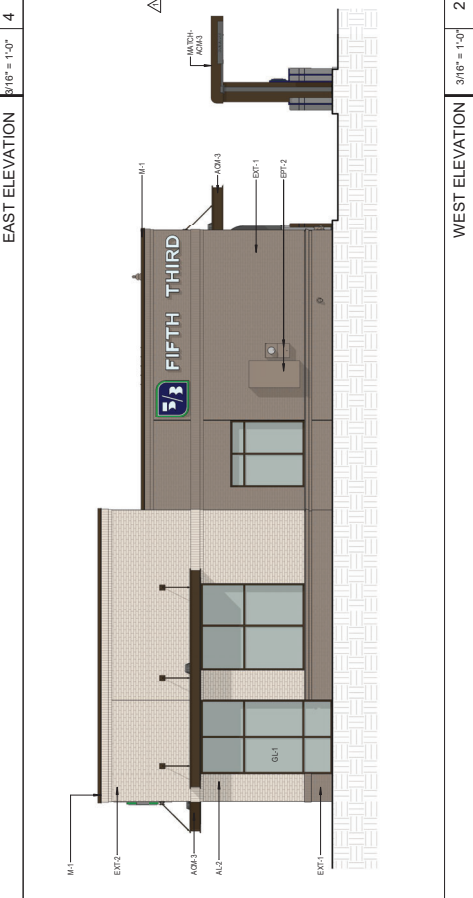
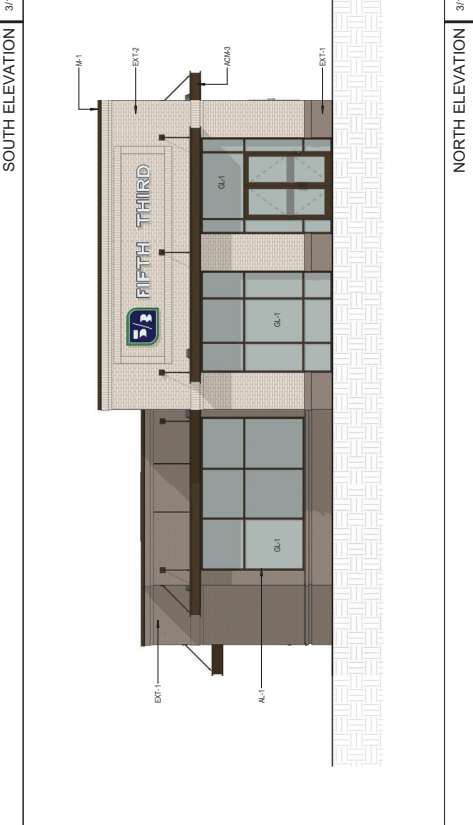
PROJECT INFORMATION BLOCK	
JOB #	240652
DATE	02/25/25
CHECKED BY	JM
DRAWN BY	JM
SHEET TITLE	COLOR EXTERIOR ELEVATIONS
SHEET NUMBER	A-202

EXTERIOR FINISH SCHEDULE				
ITEM	EXTERIOR FINISH	MANUFACTURER	COLOR	COMMENTS
AD3	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL LEXTRON240	DARK BRONZE	
AD4	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL LEXTRON240	BRONZE ANODIZED STONEBROOK	
EP1	PAINTED GALVANIZED STEEL GATE	SHERMAN WILLIAMS	SWISS COCOA W/P	
EP2	EXTERIOR PAINT	BEHR	SWISS COCOA W/P	
EP3	EXTERIOR PAINT	BEHR	SWISS COCOA W/P	
EP4	EXTERIOR PAINT	BEHR	SWISS COCOA W/P	
GL1	GLASS	GLASS	GLASS	
GL2	GLASS	GLASS	GLASS	
GL3	GLASS	GLASS	GLASS	
GL4	GLASS	GLASS	GLASS	
GL5	GLASS	GLASS	GLASS	
GL6	GLASS	GLASS	GLASS	
GL7	GLASS	GLASS	GLASS	
GL8	GLASS	GLASS	GLASS	
GL9	GLASS	GLASS	GLASS	
GL10	GLASS	GLASS	GLASS	
GL11	GLASS	GLASS	GLASS	
GL12	GLASS	GLASS	GLASS	
GL13	GLASS	GLASS	GLASS	
GL14	GLASS	GLASS	GLASS	
GL15	GLASS	GLASS	GLASS	
GL16	GLASS	GLASS	GLASS	
GL17	GLASS	GLASS	GLASS	
GL18	GLASS	GLASS	GLASS	
GL19	GLASS	GLASS	GLASS	
GL20	GLASS	GLASS	GLASS	



6 FRONT ELEVATION @ TRASH ENCLOSURE 3/16" = 1'-0"

7 SIDE ELEVATION @ TRASH ENCLOSURE 3/8" = 1'-0"



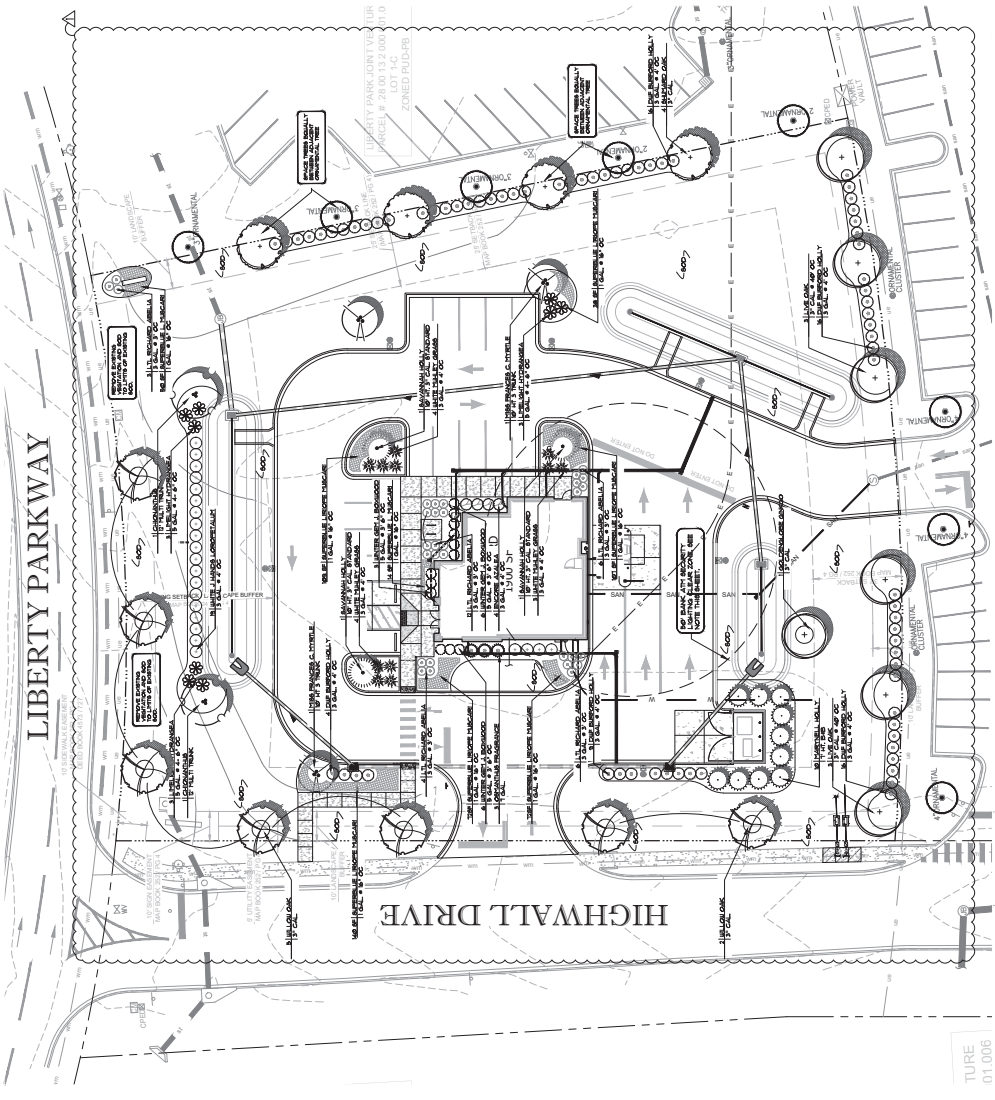
4 EAST ELEVATION 3/16" = 1'-0"

2 WEST ELEVATION 3/16" = 1'-0"

3 SOUTH ELEVATION 3/16" = 1'-0"

1 NORTH ELEVATION 3/16" = 1'-0"

LIBERTY PARKWAY



PROJECT WILL BE REVIEWED FOR PLAN CONFORMITY BY LANDSCAPE ARCHITECT. ALL MATERIAL TO BE GRADE A. MATERIAL NOT MEETING SPECIFICATIONS OR NOT SUPERIOR QUALITY WILL BE REJECTED. CONTRACTOR TO BE RESPONSIBLE FOR REJECTION. CONTRACTOR TO BE RESPONSIBLE FOR MAINTENANCE OF ALL PLANTINGS THROUGHOUT THE LIFE OF THE PROJECT.

ANY LANDSCAPE WITHIN 10 FEET OF THE ATT OR NIGHT DROP SHALL BE NO HIGHER THAN 2" ABOVE GRADE AND SHALL BE MAINTAINED AT THIS HEIGHT THROUGHOUT THE LIFE OF THE PLANT.

TURE
01.006



- NOTES:**
- IF CONFLICTS EXIST BETWEEN PROPOSED LANDSCAPE AND SITE LIGHTING, UTILITIES OR OTHER CONDITIONS, CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT IMMEDIATELY. CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT IMMEDIATELY TO DETERMINE LOCATION OF LIGHTING VARIATION FROM PLANS.
 - IF ANY CONDITIONS EXIST AS LOW AREAS THAT WILL POTENTIALLY HOLD WATER OR ANY CONDITIONS THAT PRODUCE A THREAT TO THE LOCAL TERRY SERVICES OF THE NEIGHBORHOOD, THE LANDSCAPE CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT IMMEDIATELY.
 - IF THESE CONDITIONS ARE NOT COORDINATED DURING CONSTRUCTION, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR RELOCATING NEIGHBORHOOD AT DIRECTION OF THE LANDSCAPE ARCHITECT AT THE TIME OF PUNCH LIST.
 - REMOVE EXISTING AS SHOWN TO VARIANCE LOCATIONS, LANDSCAPE AND LANDSCAPE ARCHITECT FOR CHANGES.
 - ALL SHRUBS AT FRONT OF PARKING AREAS, CENTER OF PLANT TO BE LOCATED 2' FROM BACK OF CURB.
 - ALL SHRUBS ALONG DRIVE OR CURB, CENTER OF PLANT TO BE LOCATED 36"
 - CONTRACTOR RESPONSIBLE FOR SITE DISTURBANCE AND REPLACEMENT OF LANDSCAPE / PLANT MATERIAL WITH LIKE KIND.
 - IF CONFLICTS EXIST BETWEEN PLANTINGS AND SITE ELEMENTS, CONTRACTOR SHALL COORDINATE WITH PLANTINGS AND SITE ELEMENTS, CONTRACTOR SHALL COORDINATE WITH PLANTINGS AND SITE ELEMENTS, CONTRACTOR SHALL COORDINATION IS NOT MADE WITH ARCHITECT / OWNER, CONTRACTOR WILL BE LIST AS DIRECTED.
 - ALL PLANTING BEDS AND TREE PITS SHALL BE MULCHED WITH A 3" RETILED LAYER OF SINGLE SHARDED MULCH. NO NUGGETS TO BE USED IN A DEVELOPMENT PARTICULAR MULCH, CONTRACTOR TO INSTALL AS REQUIRED WITH BANK APPROVAL.

PLANT LIST

BOTANICAL NAME	CAL	HT	SPREAD	REUSE	SPACING	CONTENTS
TREES						
SAVANNAH HOLLY	18"	7'	4'	ANA STANDARD		TREE FORM
LEAFY NELL HOLLY	18"	7'	4'	ANA STANDARD		PULL PLANT
CHOCOLATE WATTLE	18"	7'	4'	ANA STANDARD		MULCH
WILLOW OAK	18"	7'	4'	ANA STANDARD		3" GAL
SHRUBS						
RAUT ROYALTY ENCORE	18"	3'	3 GAL. # 4 OC			PULL PLANT
DUF BURROCK HOLLY	18"	3'	3 GAL. # 4 OC			PULL PLANT
WINTER GERT BIRCHWOOD	18"	3'	3 GAL. # 4 OC			PULL PLANT
WHITE JAZZ HANCO LOROPETALUM	18"	24"	3 GAL. # 9.9" OC			PULL PLANT
WHITE JAZZ HANCO LOROPETALUM	18"	24"	3 GAL. # 9.9" OC			PULL PLANT
WHITE HUNNY ORANGE	18"	24"	3 GAL. # 4 OC			PULL PLANT
MISC.						
SUPER BLUE LINOROE	8"	6"	1 GAL. # 14" OC			PULL PLANT
VANDERBILT HISCARE LINOROE	8"	6"	1 GAL. # 14" OC			PULL PLANT
BERMEIDA 492076A SPP						WHOLE PIECES

ALL PLANTING BEDS AND TREE PITS SHALL BE MULCHED WITH A 3" RETILED LAYER OF SINGLE SHARDED MULCH. NO NUGGETS TO BE USED IN A DEVELOPMENT PARTICULAR MULCH, CONTRACTOR TO INSTALL AS REQUIRED WITH APPROVAL.



REV	BY	DATE	DESCRIPTION
1	WJ	06/28/20	PERMITS
2	WJ	06/29/20	PERMITS COMMENT




PROJECT INFORMATION BLOCK
 JOB # 200613
 DATE 06/29/20
 DRAWN BY WJ
 CHECKED BY WJ
 SHEET TITLE LANDSCAPE PLAN

Design Review Board Application

Applicant

Primary Location

DRB-25-18

 Randy Brooks
 205-965-6645 ext. 0
 rbrooks@avastrealty.com

1477 MONTGOMERY HWY
VESTAVIA HILLS, AL 35216

Submitted On: Aug 27, 2025

User Advisory

Owner of Property

Name

Real Estate Investments LTD LLC

Address

5336 Stadium Trace Pkwy S106

City

Hoover

State

AL

Zip Code

35244

Phone Number

2059656645

Email

rbrooks@avastrealty.com

Billing/Responsible Party

Name

Randy Brooks

Address

5336 Stadium Trace Pkwy S 106

City

Hoover

State

AL

Zip Code

35244

Phone Number

2059656645

Email

rbrooks@avastrealty.com

Representing Attorney/Other Agent

Name

--

Address

--

City

--

State

--

Zip Code

--

Phone Number

--

Email

--

Description of Property

Subject Property Address

1477 Montgomery Hwy Vestavia Hills AL

Property Zoning Classification

Commercial

Subdivision Name, Lot #, Block #, etc.

--

Reason for Request

Check all that apply

Preliminary Review

--

Landscape Review

--

Architectural Review

true

Final Review of Materials

--

Other

--

Detailed Explanation

Painting Exterior and adding stone at the bottom area of front windows and asphaltting parking lot

Process

Check all that apply

New Building

--

Renovation of Existing Building

true

New Landscape Plan

--

Renovation to Existing Landscaping Plan

--

Other

--

Detailed Explanation

--

Affidavit:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit.

Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

General: Provide three copies and one digital copy (pdf format) of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application. Drawings shall be folded to size 8 ½" by 11".

1. Architectural Review

- a. Site plan showing roadways, entrances, exits and parking
- b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
- c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.

2. Landscape Review

- a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
- b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
- c. Parking lots: Provide calculations of total square footage and square footage designed for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
- d. Irrigation plan for all landscaped areas.
- e. Statement of maintenance policy and provisions.

1477 Montgomery Hwy Building
Renovation Expenses Budget
8/1/2025

Item:	Budget	Drawn To Date:	This Draw:	Balance:
Building/Closing Cost	\$582,443			
Demolition:	\$25,000			
Windows:	\$22,000			
Doors:	\$7,500			
Interior Walls:	\$8,800			
Electrical:	\$18,500			
Insulation:	\$14,500			
Plumbing:	\$18,500			
Drywall:	\$18,850			
Trim:	\$8,500			
Paint: Interior	\$18,000			
Flooring	\$30,000			
Ceiling:	\$17,950			
Light Fixtures	\$8,000			
Exterior Painting	\$10,000			
HVAC	\$15,000			
Asphalt Parking and striping	\$15,000			
Misc>	\$41,399			
Kitchen	\$15,000			
Furniture:	\$25,000			
Interest	15,058.00			
Total:	\$935,000.00			

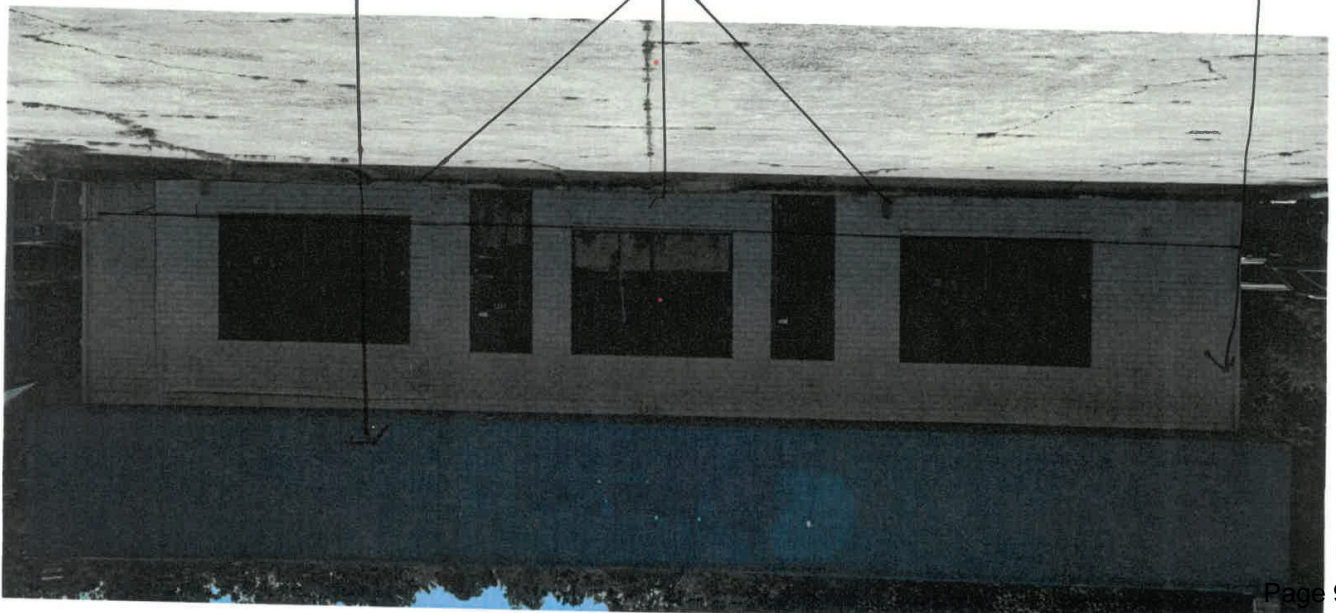


Autonomous
SW 9557



Scattered Showers
SW 9559

Grey
stone





Measure Details Print Share
Find address or place

10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20
21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30
31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40
Subject
1477
1479
1475
2018
1477

By the undersigned, Harry W. Brown, Jr., Registered Engineer-Load Surveyor, State of Alabama, Richard Blease, as President of Empire Building & Construction Co., L.L.C., and James O. Lunceford, Owner of Lot 2, Lot 3 and Lot 4, do hereby certify that this platting is a true and correct map of the lots of LUNCCEFORD'S ADDITION TO SECTION 19, TOWNSHIP 19 SOUTH, RANGE 3 WEST, JEFFERSON COUNTY, ALABAMA, and that the same have been approved and shown to the satisfaction of the Board of Adjustment of the City of Vestavia, Alabama, and that the same have been approved and shown to the satisfaction of the Board of Adjustment of the City of Vestavia, Alabama, and that the same have been approved and shown to the satisfaction of the Board of Adjustment of the City of Vestavia, Alabama.

IN WITNESS WHEREOF, we have hereunto set our hands, this 1 day of February, 2006.

By: *Harry W. Brown, Jr.*
 HARRY W. BROWN, JR., P.E./P.L.S.
 REGISTERED ENGINEER-LOAD SURVEYOR
 STATE OF ALABAMA

By: *James O. Lunceford*
 JAMES O. LUNCCEFORD, Owner of Lot 2, Lot 3 and Lot 4

By: *Richard Blease*
 RICHARD BLEASE, President of Empire Building & Construction Co., L.L.C.
 EMPIRE BUILDING & CONSTRUCTION CO., L.L.C.
 10000 W. BIRCHWOOD DRIVE, SUITE 100
 BIRMINGHAM, ALABAMA 35244

STATE OF ALABAMA
 COUNTY OF JEFFERSON
 I, *James O. Lunceford*, a duly qualified and duly sworn Juror, do hereby certify that the foregoing platting is a true and correct map of the lots of LUNCCEFORD'S ADDITION TO SECTION 19, TOWNSHIP 19 SOUTH, RANGE 3 WEST, JEFFERSON COUNTY, ALABAMA, and that the same have been approved and shown to the satisfaction of the Board of Adjustment of the City of Vestavia, Alabama, and that the same have been approved and shown to the satisfaction of the Board of Adjustment of the City of Vestavia, Alabama.

Given under my hand and seal this 27th day of March, 2006.

By: *James O. Lunceford*
 JAMES O. LUNCCEFORD, Juror

STATE OF ALABAMA
 COUNTY OF JEFFERSON
 I, *Richard Blease*, a duly qualified and duly sworn Juror, do hereby certify that the foregoing platting is a true and correct map of the lots of LUNCCEFORD'S ADDITION TO SECTION 19, TOWNSHIP 19 SOUTH, RANGE 3 WEST, JEFFERSON COUNTY, ALABAMA, and that the same have been approved and shown to the satisfaction of the Board of Adjustment of the City of Vestavia, Alabama, and that the same have been approved and shown to the satisfaction of the Board of Adjustment of the City of Vestavia, Alabama.

Given under my hand and seal this 27th day of March, 2006.

By: *Richard Blease*
 RICHARD BLEASE, Juror

STATE OF ALABAMA
 COUNTY OF JEFFERSON
 I, *Richard Blease*, a duly qualified and duly sworn Juror, do hereby certify that the foregoing platting is a true and correct map of the lots of LUNCCEFORD'S ADDITION TO SECTION 19, TOWNSHIP 19 SOUTH, RANGE 3 WEST, JEFFERSON COUNTY, ALABAMA, and that the same have been approved and shown to the satisfaction of the Board of Adjustment of the City of Vestavia, Alabama, and that the same have been approved and shown to the satisfaction of the Board of Adjustment of the City of Vestavia, Alabama.

Given under my hand and seal this 27th day of March, 2006.

By: *Richard Blease*
 RICHARD BLEASE, Juror

VARIANCES APPROVED BY BOARD OF ZONING ADJUSTMENT
 CASE NO. 2006-0100-00 ON JANUARY 9, 2006

A LOT 1 FROM 50' FRONT SET BACK TO 14'
 LOT 1 FROM 30' FRONT SET BACK TO 12.5'
 LOT 1 15' FRONT SPACES REQUIRED TO 10'

B LOT 2 FROM 30' REAR SET BACK TO 20'

C LOT 4 FROM 50' FRONT SET BACK TO 35'
 LOT 4 FROM 30' FRONT SET BACK TO 20'
 LOT 4 FROM 15' FRONT SPACES REQUIRED TO 10'

APPROVED BY: *Richard Blease* DATE: 3/14/06
 City Mayor

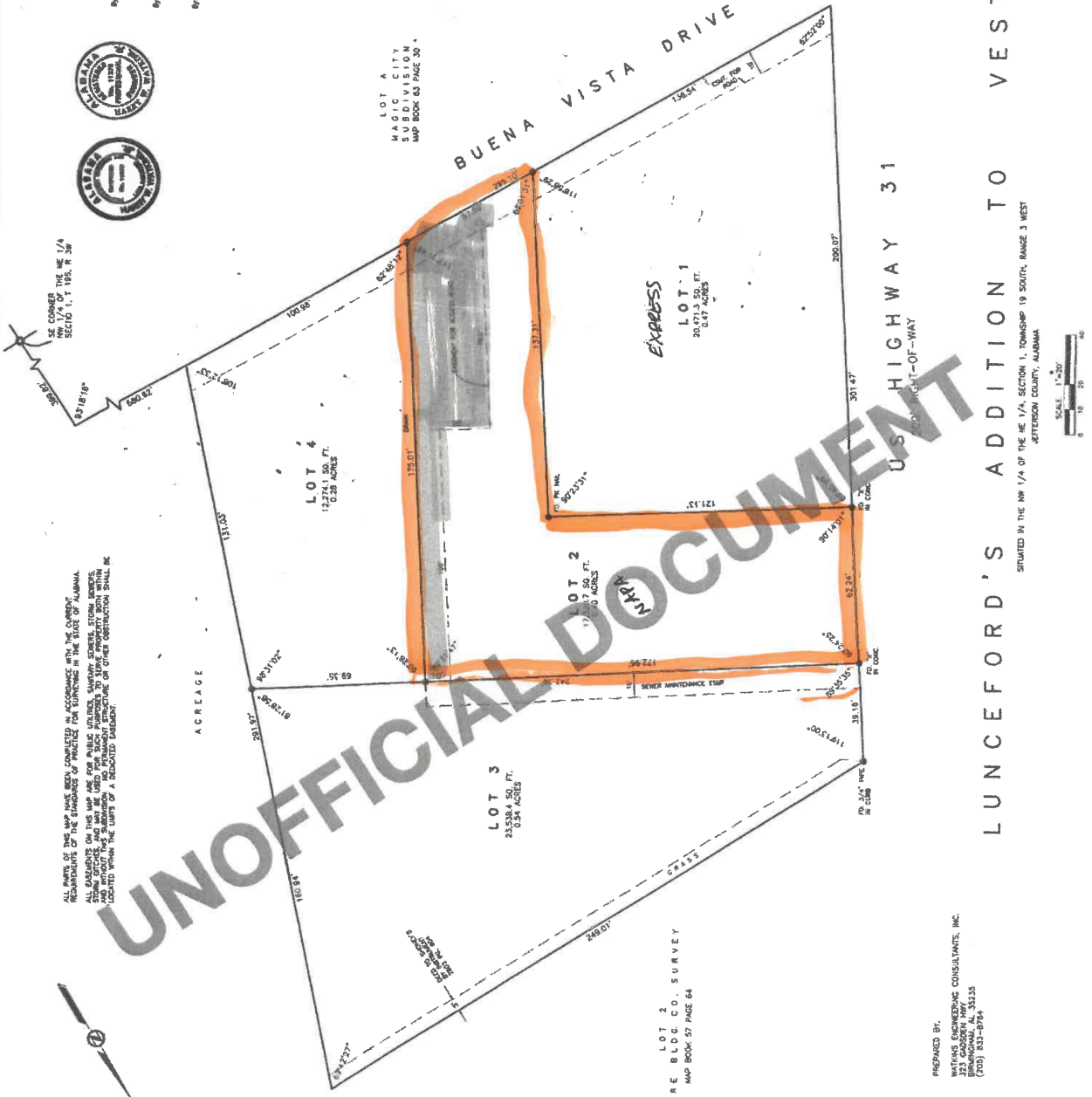
APPROVED BY: *James O. Lunceford* DATE: 3/14/06
 Vestavia City Planning and Zoning Commission

APPROVED BY: *Richard Blease* DATE: 3/14/06
 Mayor and City Clerk

APPROVED BY: *James O. Lunceford* DATE: March 16, 2006
 Empire Building & Construction Co., L.L.C.

MB 219-PG-66

County of Jefferson, Alabama
 Township 19 South, Range 3 West
 Section 19
 LUNCCEFORD'S ADDITION TO SECTION 19, TOWNSHIP 19 SOUTH, RANGE 3 WEST, JEFFERSON COUNTY, ALABAMA



UNOFFICIAL DOCUMENT

LUNCCEFORD'S ADDITION TO VESTAVIA

SITUATED IN THE 1/4 SECTION 19, TOWNSHIP 19 SOUTH, RANGE 3 WEST, JEFFERSON COUNTY, ALABAMA



PREPARED BY:
 WAYNES ENGINEERING CONSULTANTS, INC.
 1000 W. BIRCHWOOD DRIVE, SUITE 100
 BIRMINGHAM, ALABAMA 35244
 (205) 833-8784

LOT 2
 EMPIRE BLDG. CO. SURVEY
 MAP BOOK 57 PAGE 64