



**Vestavia Hills
Planning and Zoning Commission Agenda
November 13, 2025
6:00 PM**

1. Roll Call
2. Pledge Of Allegiance
3. Approval Of Minutes

Preliminary Plats

4. LPJV, LLP Is Requesting **Preliminary Plat Approval** For Liberty Park Brayfield Crest Drive Extension. The Purpose For This Request Is To Create Twenty-Three Lots And Infrastructure. The Property Is Owned By LPJV, LLP and Is Zoned Vestavia Hills PR-1.

Final Plats

Consent Agenda

5. FP-25-7 Chris Burkhalter Is Requesting **Final Plat Approval** For **Burkhalter's Resurvey**. The Purpose For This Request Is To Combine Lots And Vacate Alley. The Property Is Owned By Chris Burkhalter and Is Zoned Vestavia Hills R-2.
6. FP-25-19 Cathy Pryor Is Requesting **Final Plat Approval** For Resurvey Of Shaw's Addition To Dolly Ridge Estates Plat No. 3 & Lot F-2 Of Dolly Ridge Estates. The Purpose For This Request Is To Amend Lot Lines. The Property Is Owned By Cathy Prior and Rowena Shaw and Is Zoned Vestavia Hills R-1.
7. FP-25-20 LPJV, LLP Is Requesting **Final Plat Approval** For Bray Town Center Phase I Resurvey No. 1. The Purpose For This Request Is To Subdivide One Lot Into Two. The Property Is Owned By LPJV, LLP and Is Zoned Vestavia Hills PB.

Rezoning

8. RZ-25-10 Paradox Properties, LLC Is Requesting Rezoning For 4308, 4312, 4316, and 4320 Dolly Ridge Rd. from Vestavia Hills R-4 to Vestavia Hills B-1.2 For The Purpose Of Professional Office Development.

9. RZ-25-11 Canwyn LLC, LLC Is Requesting Rezoning For 4521 Pine Tree Cir. from Vestavia Hills O-1 to Vestavia Hills B-2 With A Conditional Use For Storage For The Purpose Of Construction Storage.

PUBLIC HEARING PROCEDURES

The following procedures shall be followed for every public hearing of the Commission:

- All comments shall be limited to **3 minutes**. A countdown clock will be provided on the video screens.
- Do not duplicate comments made by previous speakers. For example, if traffic is mentioned as an issue, do not readdress that issue.
- All comments shall be directed to the presiding officer. Do not address the audience or the applicant.
- Each speaker shall identify himself, including full name and address.

SPECIAL NOTICE CONCERNING P&Z COMMISSION MEETINGS

If you prefer not to attend a meeting or work session in person, you may participate remotely:

- **Videoconference:** To participate by videoconference, you may access the meeting via Zoom at <https://us02web.zoom.us/j/5539517181>. When the Zoom.us window opens in your browser, click "Allow" to be placed in a virtual "waiting room." The host will open the meeting and allow all participants to join the meeting at that time. All participants will be automatically muted upon entrance to the meeting. If you wish to speak during time(s) identified for public input, activate the "video" feature and unmute yourself by toggling the mute button. When the Chairman recognizes you and gives you the floor, state your name and address for the record and then you may address the Commission. Some useful Zoom functions include: microphone Mute/Unmute; Start/Stop Video; and View Participants – opens a pop-out screen that includes the "Raise Hand" icon that you may use to raise a virtual hand.
- **Teleconference:** To participate by telephone, dial 312.626.6799 and enter the meeting ID: 5539517181. All participants will be automatically muted upon entrance to the meeting. If you wish to speak during time(s) identified for public input, unmute yourself by pressing *6 on your keypad. Then state your name and wait for the Chairman to recognize you. When the Chairman recognizes you and gives you the floor, state your name and address for the record and then address the Commission.

Meetings may be recorded. By participating in the meeting, you are consenting to be recorded.

"Zoom-bombing." Zoom-bombing is a cyber-crime and is punishable by law. In the event of an attendee intruding into any City of Vestavia Hills Zoom meeting, the online broadcast will be terminated immediately. Council and/or board members may be readmitted but online attendees will not. Although Zoom-bombing is not a frequent occurrence, those wishing to make public comment should attend the meeting in person.

CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION
MINUTES

OCTOBER 9, 2025

6:00 P.M.

The Planning & Zoning Commission of Vestavia Hills met in regular session on this date at 6:00 PM, following publication and posting pursuant to Alabama law. Due to the COVID-19 pandemic, in coordination with a Proclamation from Governor Ivey and pursuant to orders from the Jefferson County Health Department Official requiring social distancing along with limits of attendees, this meeting was held with a portion of the Commission digitally attending the meeting via remote computer locations utilizing a Zoom.com application. Staff and general public/audience members also were invited to attend via Zoom.com following publication pursuant to Alabama law. Chairman Vercher called the meeting to order and the City Planner called the roll with the following:

MEMBERS PRESENT:

- Lindsey Cochran, Chairman
- Jonathan Romeo
- Ryan Farrell
- Ryan Blackenburg
- Hasting Sykes
- David Maluff

MEMBERS ABSENT:

- Mike Vercher
- Rick Honeycutt
- Rusty Weaver

OTHER OFFICIALS PRESENT:

- Conrad Garrison, City Planner
- Lori Beth Kearley, Dir. Of Public Services
- Ethan Fisher, City Engineer

**Appeared via Zoom*

APPROVAL OF MINUTES

Ms. Cochran stated that the minutes of the August meeting are presented for approval.

MOTION Motion to approve minutes was made by Mr. Romeo and second was by Mr. Blackenburg. Voice vote as follows:

Mr. Farrell – yes Mr. Sykes – yes
Mr. Romeo – yes Mr. Maloof– yes
Mr. Blackenburg – yes Ms. Cochran– yes
Motion carried.

Rezoning

1. RZ-25-8 Todd Thompson Is Requesting **Rezoning** For **3122, 3128, 3134, & 3136 Sunview Dr.** from **Vestavia Hills B-1.2 to Vestavia Hills B-1.2** For The Purpose Of Office Development.

Mr. Garrison explained that the property was originally approved for a hair salon but has since sold to a bank. Staff has no issues with the request.

Ms. Cochran opened the floor for a public hearing.

Elise Bodenheimer and Kent Parks asked clarifying questions about the project.

Ms. Cochran closed the public hearing and opened the floor for a motion.

MOTION Mr. Romeo made a motion to recommend Rezoning for 3128 Sunview Dr. from Vestavia Hills B-1.2 to Vestavia Hills B-1.2

Second was by Mr. Farrell. Motion was carried on a roll call; vote as follows:

Mr. Farrell – yes Mr. Sykes – yes
Mr. Romeo – yes Mr. Maloof– yes
Mr. Blackenburg – yes Ms. Cochran– yes
Motion carried.

2. RZ-25-7 Jason Kessler Is Requesting **Rezoning** For **3951 Wall St.** from **Vestavia Hills B-2 to Vestavia Hills R-9** For The Purpose Of Townhome Development.

Mr. Garrison explained that the request for a six lot townhome development.

Ms. Cochran opened the floor for a public hearing.

Joan Kindle, speaking on behalf of the Westminster subdivision spoke and submitted a petition of support.

Ms. Cochran closed the public hearing and opened the floor for a motion.

MOTION Mr. Sykes made a motion to recommend Rezoning for 3951 Wall St. from Vestavia Hills B-2 to Vestavia Hills R-9. Second was by Mr. Romeo. Motion was carried on a roll call; vote as follows:

Mr. Farrell – yes Mr. Sykes – yes
Mr. Romeo – yes Mr. Maloof– yes
Mr. Blackenburg – yes Ms. Cochran– yes
Motion carried.

3. RZ-25-9 Joseph Miller Is Requesting **Rezoning For 3130, 3136, & 3152 Belwood Dr. and 4050 Autumn Ln.** from **Vestavia Hills R-4 and R-8 to Vestavia Hills R-9** For The Purpose Of Townhome Development.

Mr. Garrison explained that the request is for a 59 lot townhome subdivision and went over the plan specifics.

Taylor and Zach Burton, Joey Miller, and Charles Cochran were present to answer any questions.

Ms. Cochran opened the floor for a public hearing.

Forty-three people raised their hands and were concerned about infrastructure.

Forty-three people raised their hands were concerned about safety.

Forty-three people raised their hands were concerned about traffic.

Thirty-eight people raised their hands were concerned density.

Thirty-eight people raised their hands were concerned about a drainage pond.

Speakers included Rich Melville, Joe Moore, Steve Bargis, Peggy Gargis, Robert De Buys, Leah Satcher, Elise Bodenhiemer, Steve Gargis, Jim Diggle, Morris Newman, Rosemary Johnson, and Steven Gamble.

Taylor and Zach Burton Charles Cochran, and Joey Miller explained the highlights of the plan.

Ms. Kearley and Mr. Fisher confirmed the designs meet the minimum City requirements.

Ms. Cochran closed the public hearing and opened the floor for a motion.

MOTION Mr. Maloof made a motion to recommend Rezoning for 3130, 3136 and 3152 Belwood Dr. and 4050 Autumn Dr. from Vestavia Hills R-8 and R-4 to Vestavia Hills R-9 conditioned on 1. The development shall be constructed substantially as described in

plans attached to and incorporated into this ordinance as fully written therein as detailed in the attached preliminary plat. 2. Private restrictive covenants detailing the maintenance of the private streets and drainage systems be recorded and a copy of the recorded covenants be submitted to the Office of the City Clerk and attached to this ordinance prior the effective date of Ordinance.

Second was by Mr. Farrell. Motion was carried on a roll call; vote as follows:

Mr. Farrell – yes Mr. Sykes – yes
Mr. Romeo – yes Mr. Maloof– yes
Mr. Blackenburg – yes Ms. Cochran– yes
Motion carried.

Conrad Garrison, City Planner



PP-25-3

Preliminary Plat

Application

Status: Active

Submitted On: 10/24/2025

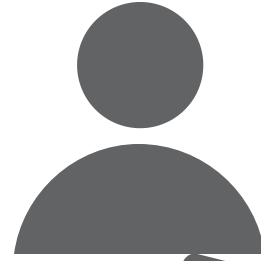
Primary Location

1300 U1 S LIBERTY RD
VESTAVIA HILLS, AL 35242

Owner

LPJV

Applicant



Alex
Pattillo



205-
313-1138



apattillo@schoel.com



1001 22nd
Street South

Birmingham, AL 35205

Project Information

Property Address*

1300 S Liberty Road U1

Parcel ID Number

Legal Description*

metes and bounds desc attached

Current Zoning Classification*

PR-1

Acreage*

20.26

Application Submission Date*

10/24

Reason for Request* 

Creation of 23 single family residential lots and public right of way with associated infrastructure.

Owner Information

Applications must be either submitted by the owner of the property or a representative duly appointed by the owner by way of a notarized letter and/or power of attorney.

By checking this box, I hereby affirm that I am the representative of the owner duly authorized to represent this petition for rezoning. Simultaneously with this application, I am submitting notarized documentation from the owner which authorizes me to represent this case. If no authorization is provided, this application cannot be processed.



Owner Name*

James Parsons

Company Name

Liberty Park Joint Venture, LLP

Mailing Address*

1000 Urban Center Dr, Suite 235,
Vestavia Hills, AL 35242

Owner Email

jparsons@libertypark.com

Phone Number*

205-910-5144

By checking this box, I hereby affirm that I am the representative of the owner duly authorized to represent this petition for rezoning. Simultaneously with this application, I am submitting notarized documentation from the owner which authorizes me to represent this case.



Representative for Owner

Alex Pattillo

Company Name

Schoel

Email*

apattillo@schoel.com

Mailing Address of Representative

1001 22nd St S, Birmingham, AL 35205

Phone No. of Representative

205-313-1138

Surveyor Information

Name*

Mark Clark

Company*

Schoel

Mailing Address*

1001 22nd St S, Birmingham, AL 35205

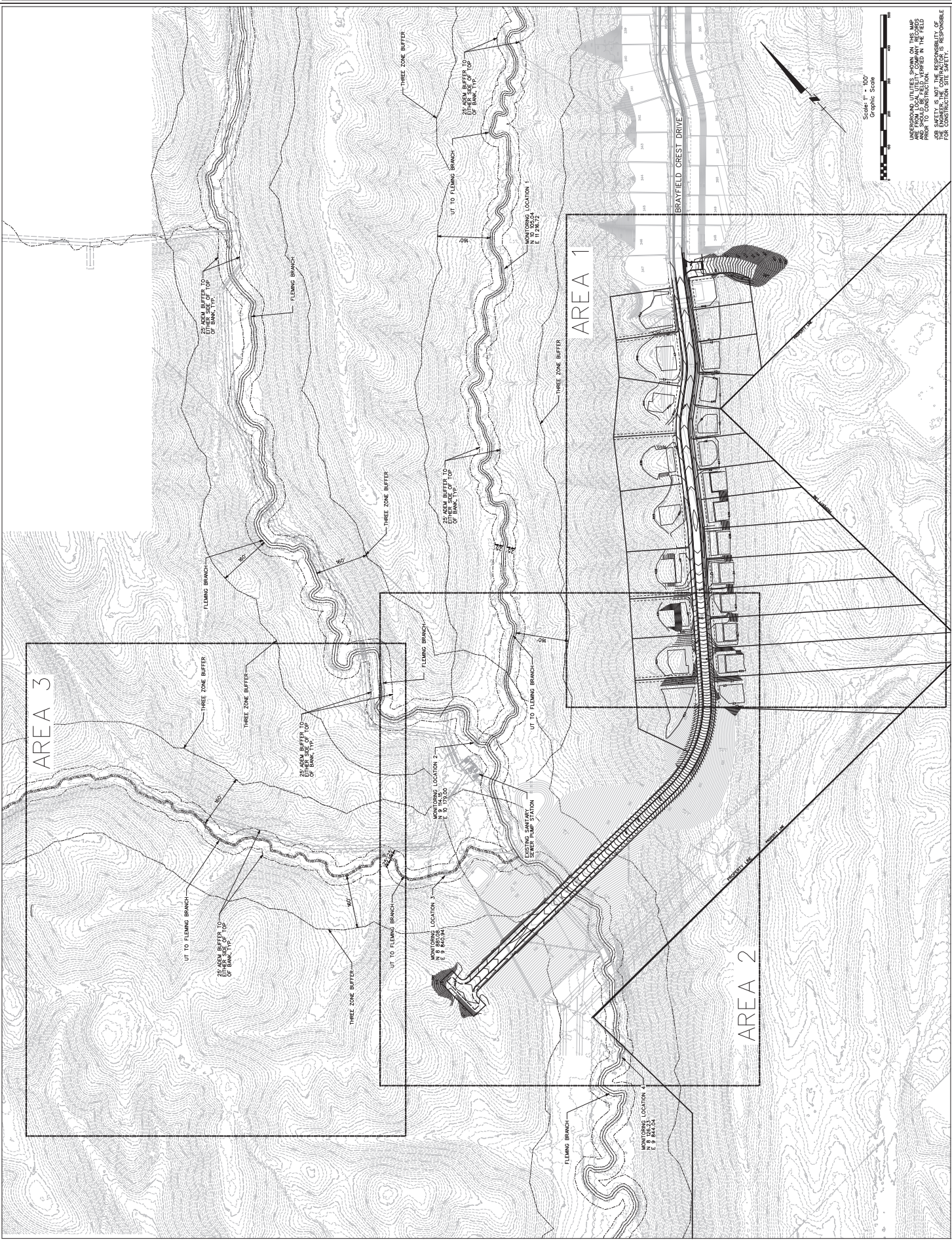
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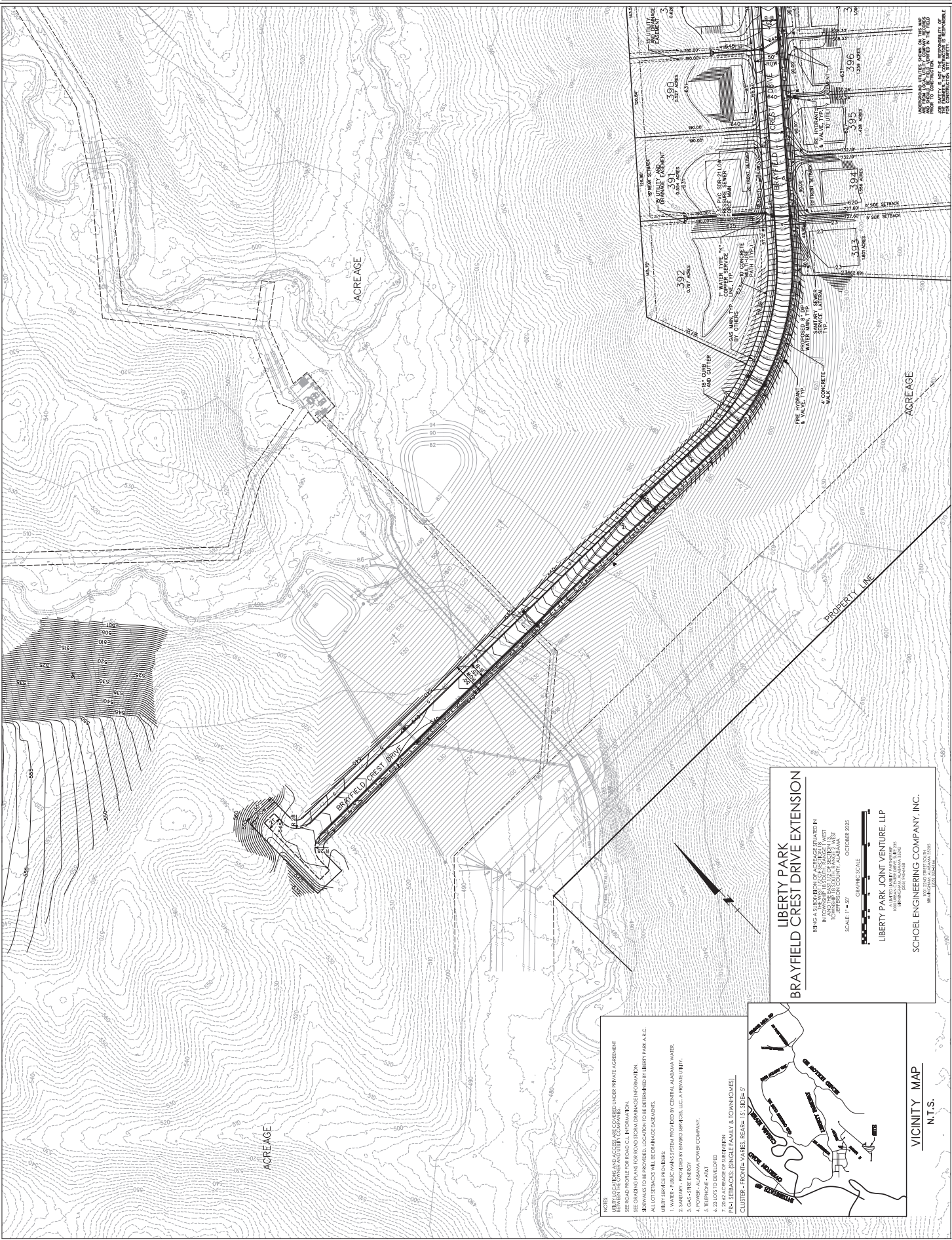
205-313-1140

Registration Number

Email*

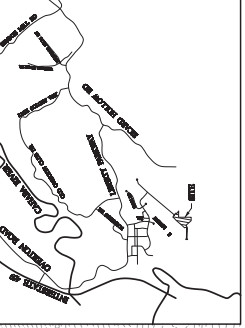
mclark@schoel.com



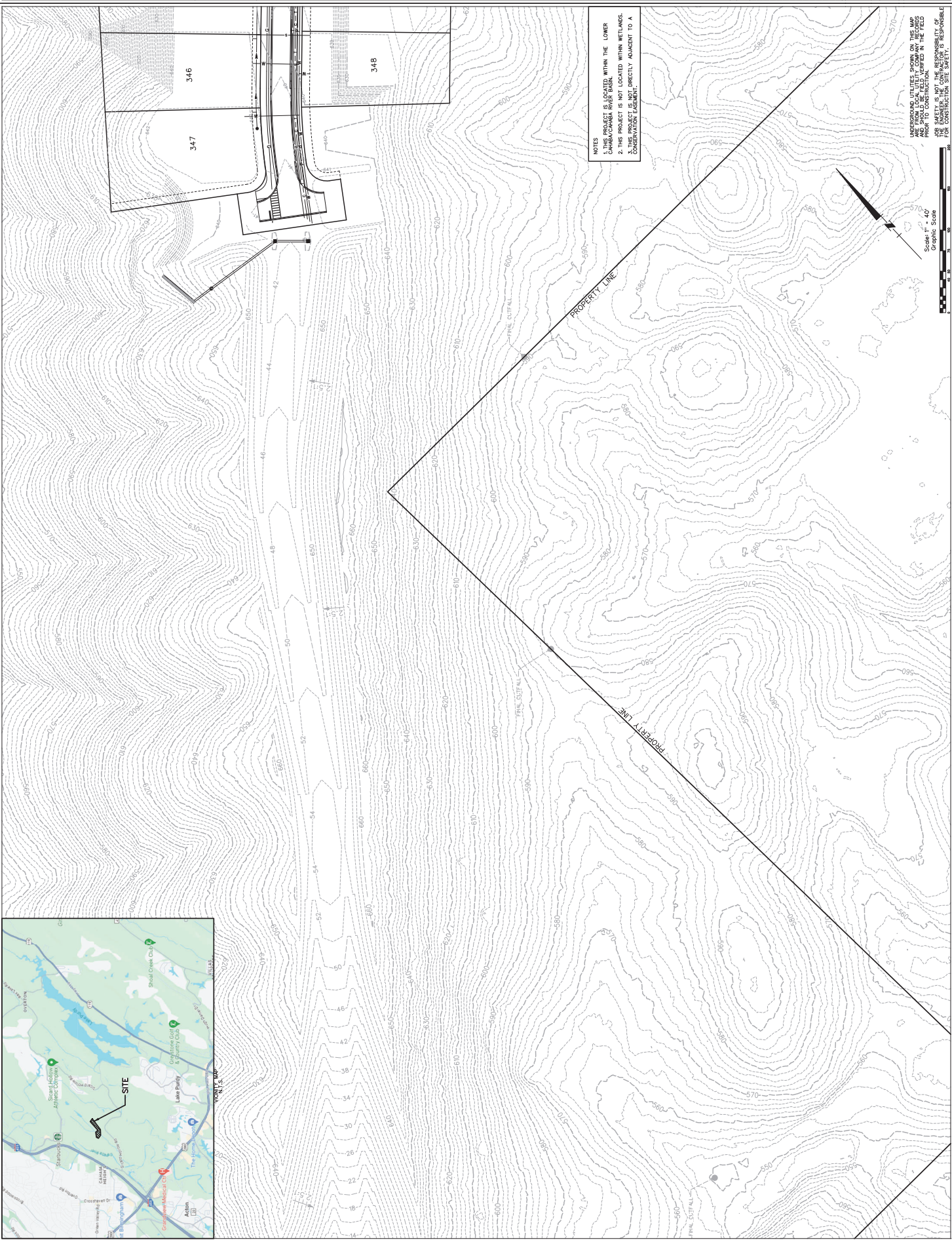


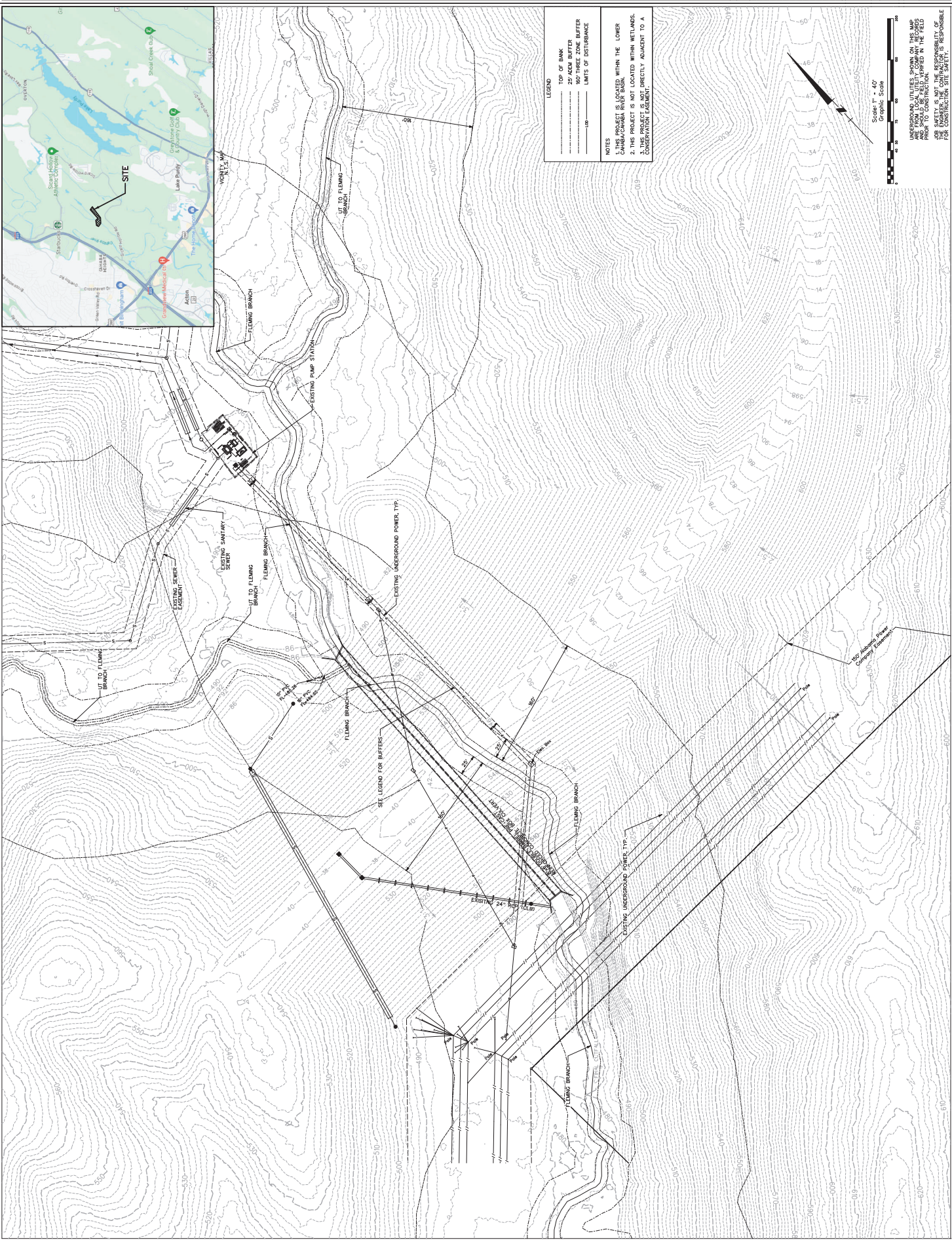
NOTES:
 1. THIS PLAN AND ACCESS ARE BASED UNDER PRIVATE AGREEMENT BETWEEN THE OWNER AND LIBERTY VENTURE, INC.
 2. SEE GRADING PLANS FOR ROAD TO TOP DRAINAGE INFORMATION.
 3. ALL LOT SERVICES WILL BE DRAINAGE SEWERED.
 4. UTILITY SERVICE PROVIDERS:
 5. WATER - PUBLIC MAIN SYSTEM PROVIDED BY CENTRAL ALABAMA WATER.
 6. SANITARY - PROVIDED BY ENVIRO SERVICES, LLC, A PRIVATE ENTITY.
 7. GAS - FIRE ENERGY.
 8. POWER - ALABAMA POWER COMPANY.
 9. 20' BUFFER ZONE TO DEVELOP.
 10. 20' BUFFER ZONE TO DEVELOP.
 11. 20' BUFFER ZONE TO DEVELOP.
 12. 20' BUFFER ZONE TO DEVELOP.
 13. 20' BUFFER ZONE TO DEVELOP.
 14. 20' BUFFER ZONE TO DEVELOP.
 15. 20' BUFFER ZONE TO DEVELOP.
 16. 20' BUFFER ZONE TO DEVELOP.
 17. 20' BUFFER ZONE TO DEVELOP.
 18. 20' BUFFER ZONE TO DEVELOP.
 19. 20' BUFFER ZONE TO DEVELOP.
 20. 20' BUFFER ZONE TO DEVELOP.

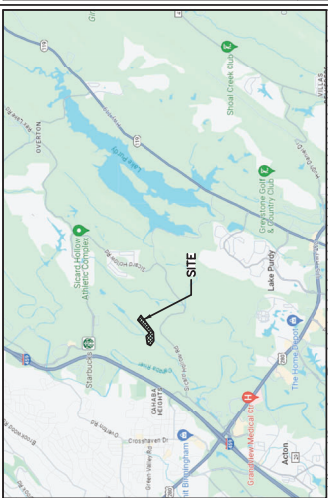
**LIBERTY PARK
 BRAYFIELD CREST DRIVE EXTENSION**
 BEING A SUBDIVISION OF LANDS LOCATED IN
 THE COUNTY OF TUSCALOOSA, ALABAMA
 FOR THE PURPOSES OF THE
 PLAT OF THE BRAYFIELD CREST DRIVE
 EXTENSION, TUSCALOOSA COUNTY, ALABAMA
 SCALE: 1" = 50'
 GRAPHIC SCALE
 OCTOBER 2025
 LIBERTY PARK JOINT VENTURE, LLP
 10000 W. VESTAVIA HILLS ROAD, SUITE 100
 BIRMINGHAM, ALABAMA 35244
 SCHOL ENGINEERING COMPANY, INC.
 10000 W. VESTAVIA HILLS ROAD, SUITE 100
 BIRMINGHAM, ALABAMA 35244



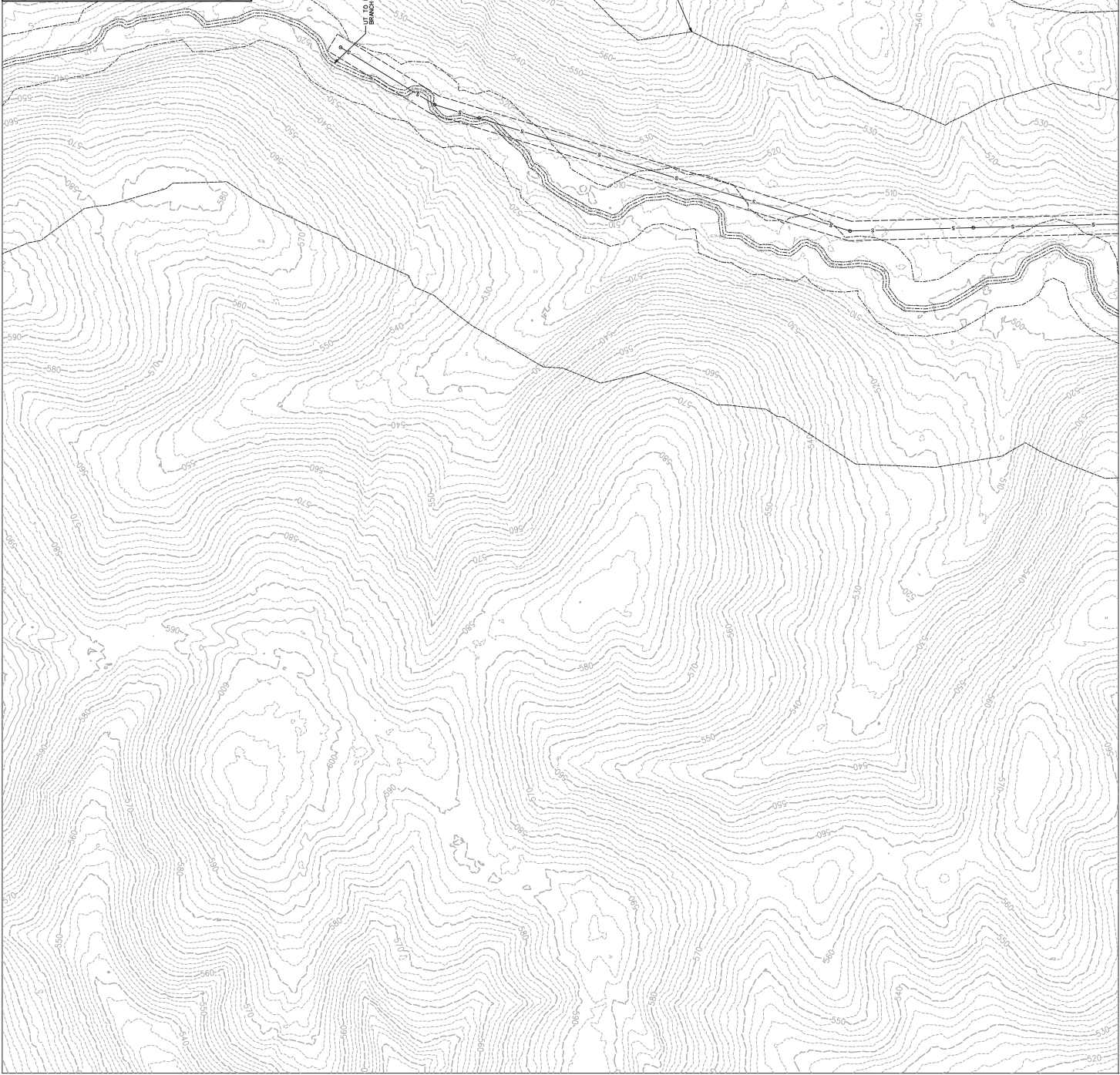
VICINITY MAP
 N.T.S.





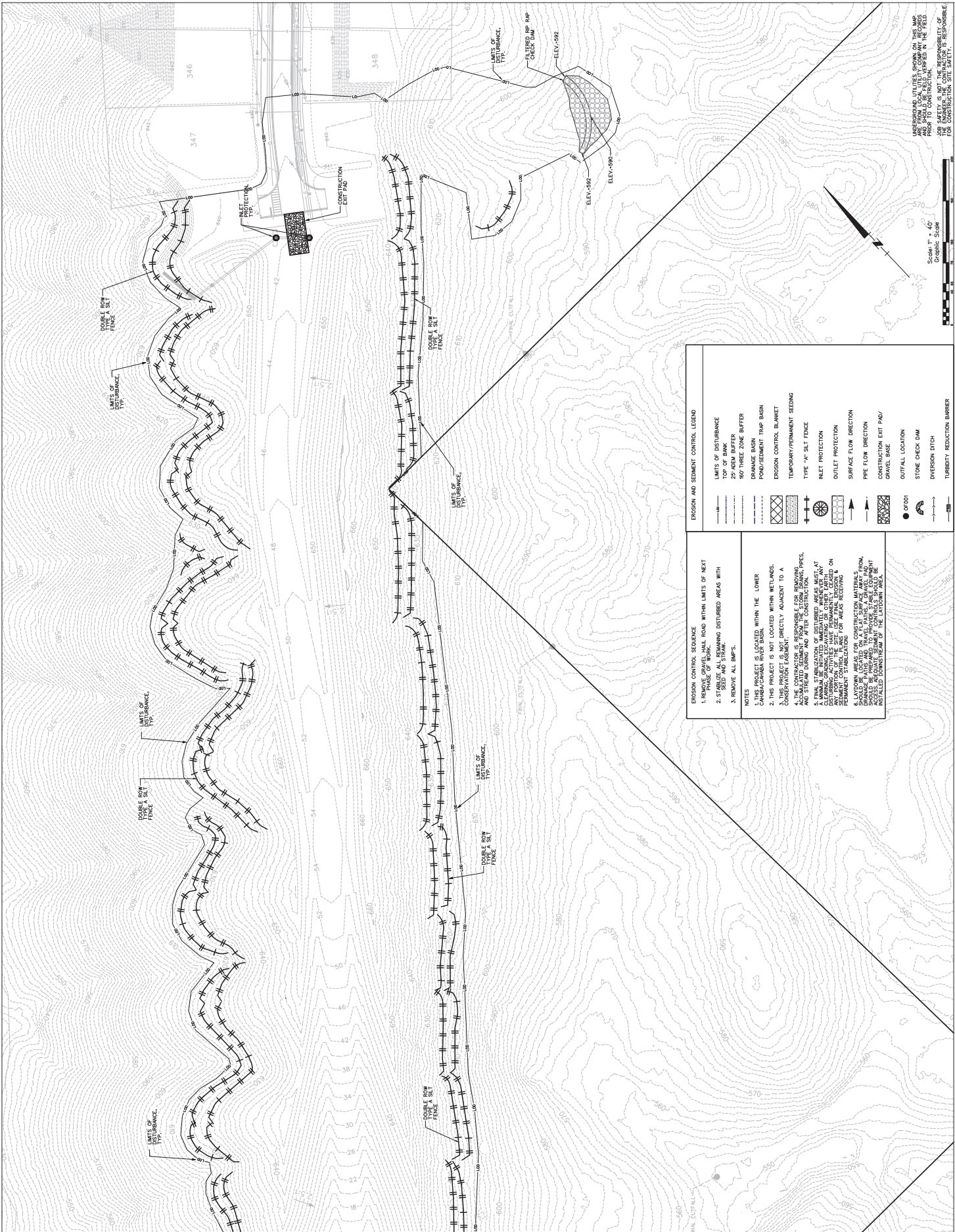


- LEGEND**
- TOP OF BANK
 - 300' THREE ZONE BUFFER
 - LIMITS OF DISTURBANCE
- NOTES**
1. THIS PROJECT IS LOCATED WITHIN THE LOWER CANNONDAWHA RIVER BASIN.
 2. THE PROJECT IS NOT LOCATED WITHIN WETLANDS.
 3. THIS PROJECT IS CURRENTLY SUBJECT TO A CONSERVATION EASEMENT.



Scale: 1" = 40'
 Horizontal Scale
 Vertical Scale

UNDERGROUND UTILITIES SHOWN ON THIS MAP AND SHOULD BE FIELD VERIFIED IN THE FIELD FOR SAFETY IS NOT THE RESPONSIBILITY OF THE ENGINEER. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE DATA.



EROSION AND SEDIMENT CONTROL LEGEND

[Symbol]	LIMITS OF DISTURBANCE
[Symbol]	TOP OF BANK
[Symbol]	25' ADJACENT BUFFER
[Symbol]	80' THREE ZONE BUFFER
[Symbol]	DRAINAGE BASIN
[Symbol]	POSSIBLE TRAP BASIN
[Symbol]	EROSION CONTROL BLANKET
[Symbol]	TEMPORARY/PERMANENT SEEDING
[Symbol]	TYPE 'A' SILT FENCE
[Symbol]	INLET PROTECTION
[Symbol]	OUTLET PROTECTION
[Symbol]	SURFACE FLOW DIRECTION
[Symbol]	PIPE FLOW DIRECTION
[Symbol]	CONSTRUCTION EXIT PAD/ GRASSLAGE
[Symbol]	OUTFALL LOCATION
[Symbol]	STONE CHECK DAM
[Symbol]	DIVERSION DITCH
[Symbol]	TURBIDITY REDUCTION BARRIER

EROSION CONTROL SEQUENCE

1. REMOVE GRAVITATIONAL ROAD WITHIN LIMITS OF NEXT
2. STABILIZE ALL REMAINING DISTURBED AREAS WITH "SEED AND STRAW"
3. REMOVE ALL BMPs.

NOTES

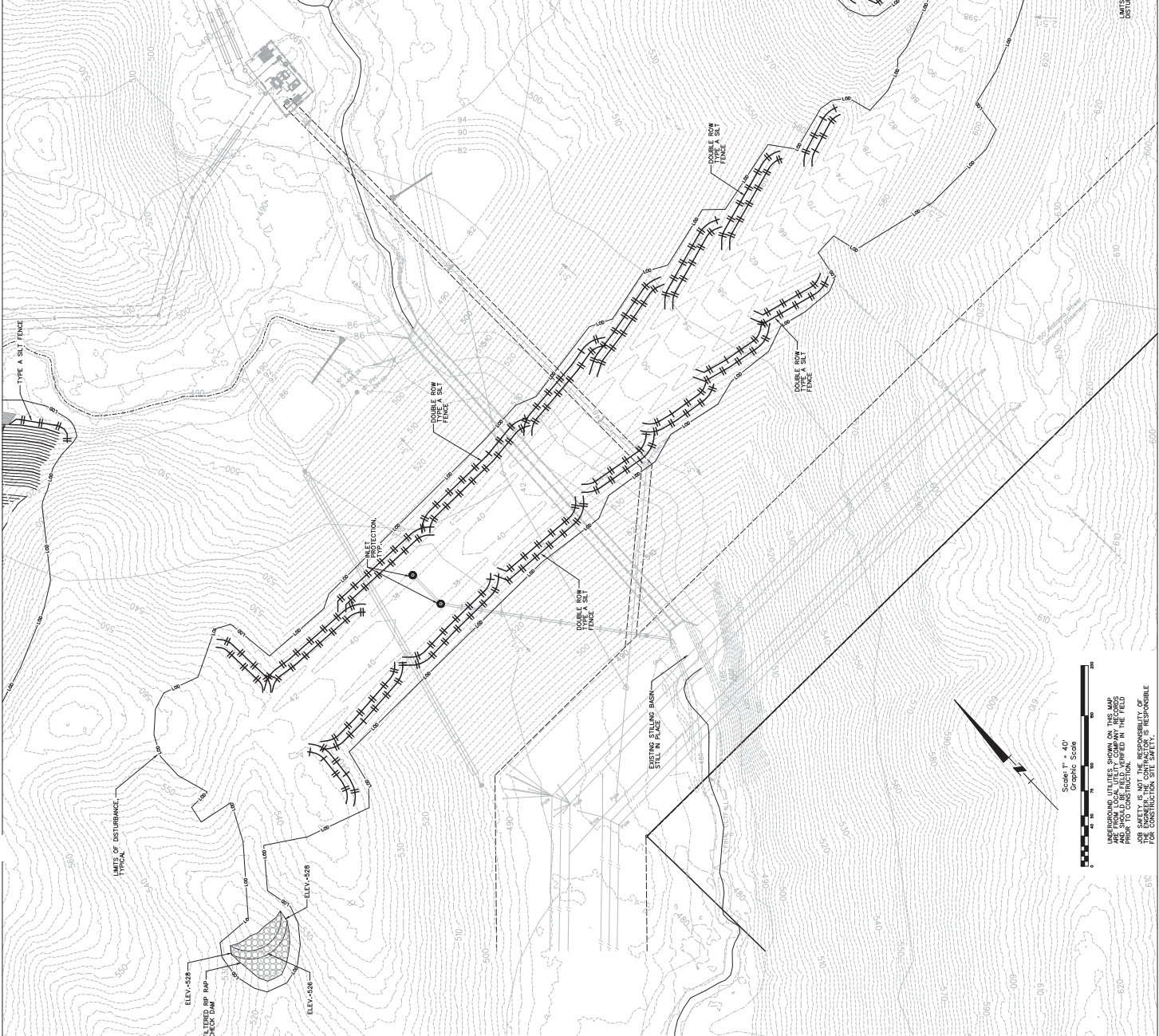
1. THIS PROJECT IS LOCATED WITHIN THE LOWER
2. THIS PROJECT IS NOT LOCATED WITHIN WETLANDS.
3. THIS PROJECT IS NOT DIRECTLY ADJACENT TO A CONSERVATION EASEMENT.
4. ALL QUALITY CONTROL STRUCTURES (FLOW RESTRICTION PIPES, AND STREAM DIVERSIONS) SHALL BE PERMANENTLY LEADED ON DISTURBED AREAS. PERMANENTLY LEADING ON DISTURBED AREAS SHALL BE PERMANENTLY LEADED ON SEEDING CONTROL AREAS FOR AREAS RECEIVING
5. LAYDOWN MATS FOR CONSTRUCTION MATERIALS SHOULD BE LOCATED ON ALL LOTS WITHIN THE ADJACENT DISTURBED AREAS. LAYDOWN MATS SHOULD BE INSTALLED TO PREVENT TURBIDITY FROM BEING INSTALLED DOWNSTREAM OF THE LAYDOWN AREA.

Scale: 1" = 40'
 Graphic Scale

UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE NOT TO BE FIELD VERIFIED IN THE FIELD AND SHOULD BE FIELD VERIFIED IN THE FIELD. FOR SAFETY IS NOT THE RESPONSIBILITY OF THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.

- EROSION AND SEDIMENT CONTROL LEGEND**
- LIMITS OF DISTURBANCE
 - TOP OF BANK
 - 20' ROW BUFFER
 - 10' TREE ZONE BUFFER
 - DRAINAGE BASIN
 - POST-SEEDMENT TRAP BASIN
 - EROSION CONTROL BLANKET
 - TEMPORARY/PERMANENT SEEDING
 - TYPE "A" SILT FENCE
 - TYPE "B" SILT FENCE
 - INLET PROTECTION
 - OUTLET PROTECTION
 - SURFACE FLOW DIRECTION
 - PIPE FLOW DIRECTION
 - CONSTRUCTION EXIT PAD/ GRAVEL USE
 - STONE CHECK DAM
 - OUTFALL LOCATION
 - DIVERSION DITCH
 - TURBIDITY REDUCTION BARRIER

- EROSION CONTROL SEQUENCE**
1. REMOVE GRAVEL ROAD LEAD WITHIN LIMITS OF NEXT DISTURBANCE.
 2. STABILIZE ALL REMAINING DISTURBED AREAS WITH SEED AND STRAW.
 3. REMOVE ALL BMPs.
- NOTES**
1. ALL BMPs SHALL BE LOCATED WITHIN THE LOWER LIMITS OF DISTURBANCE.
 2. THIS PROJECT IS NOT LOCATED WITHIN WETLANDS.
 3. THIS PROJECT IS NOT DIRECTLY ADJACENT TO A WETLAND.
 4. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH A PERMANENT SEEDING.
 5. FINAL STABILIZATION OF DISTURBED AREAS MUST BE COMPLETED WITHIN 90 DAYS OF COMPLETION OF THE PROJECT.
 6. LAYDOWN AREAS FOR CONSTRUCTION MATERIALS, BRUSH, PAINTS AND TRAILER PARKS, GRAVEL PAD, AND OTHER STORAGE AREAS SHALL BE LOCATED AND ACCESS TO THESE AREAS SHALL BE CONTROLLED BY A GRAVEL PAD AND TRAILER PARK CONTROL BARRIER INSTALLED DOWNSTREAM OF THE LAYDOWN AREA.



Scale: 1" = 40'
 Graphic Scale

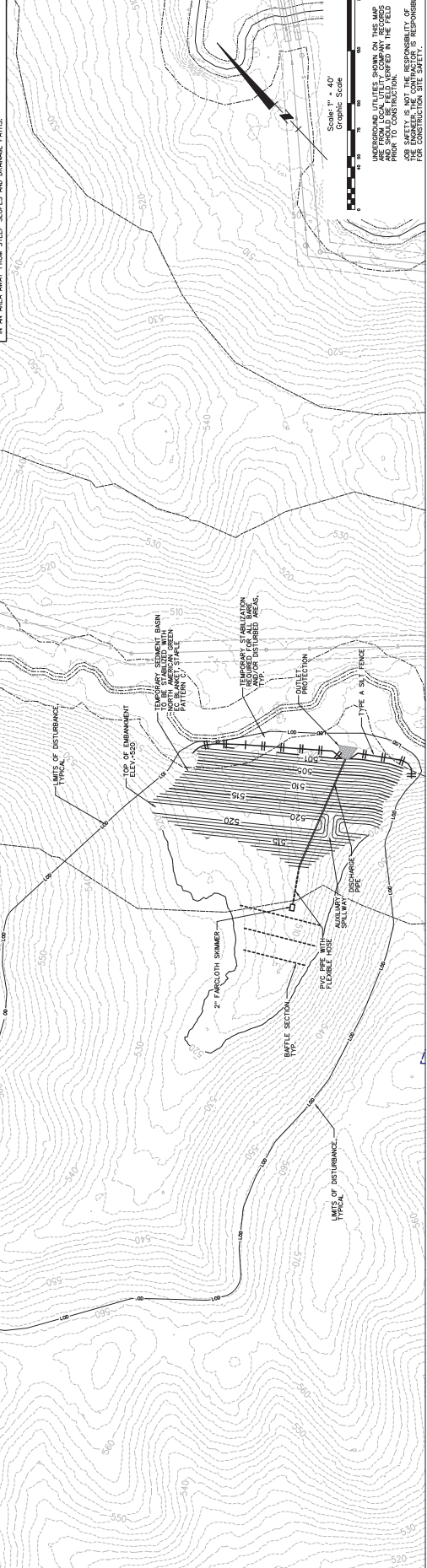
UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE NOT TO BE RELIED UPON. THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES IS NOT THE RESPONSIBILITY OF THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.

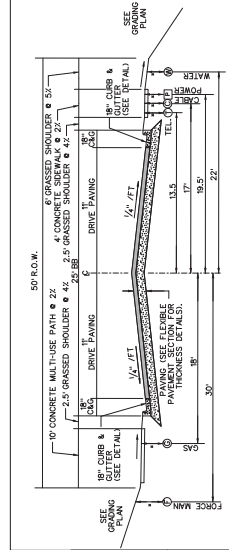
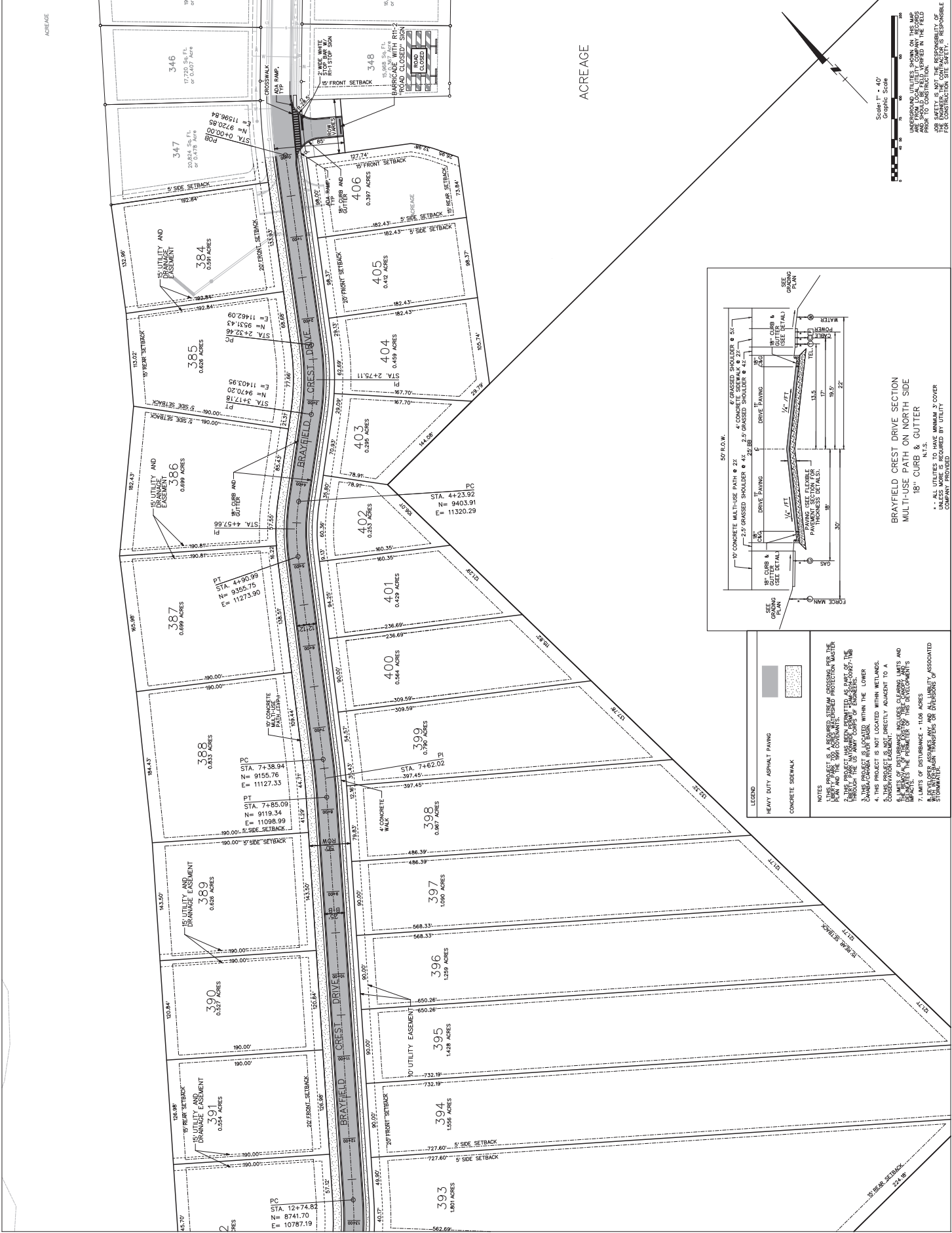
EROSION AND SEDIMENT CONTROL LEGEND

	LIMITS OF DISTURBANCE
	TOP OF BANK
	160' THREE ZONE BUFFER
	DRAINAGE BASIN
	POND/SEDIMENT TRAP BASIN
	EROSION CONTROL BLANKET
	TEMPORARY/PERMANENT SEEDING
	TYPE 'K' SILT FENCE
	INLET PROTECTION
	OUTLET PROTECTION
	SURFACE FLOW DIRECTION
	PIPE FLOW DIRECTION
	CONSTRUCTION EXIT PAVE/ GRAVEL BASE
	OUTFALL LOCATION
	SPOT ELEVATION

1. EROSION CONTROL SEEDING SHALL NOT BE MORE THAN 3.0% COMPLETE DO NOT CLEAR ANY MORE AREA THAN WHAT IS REQUIRED FOR STREAM DIVERSIONS.
2. INSTALL TYPE A SILT FENCE ALONG LIMITS OF PLANNED DISTURBANCE. MAINTAIN 10' BUFFER TO ALL EXISTING OR PROPOSED CONSTRUCTION ACTIVITIES TO PREVENT DISTURBANCE TO EXISTING VEGETATION AND TO PREVENT CONSTRUCTION ACTIVITIES FROM ENTERING TO DISTURBANCE.
3. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND STRAW.
4. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND STRAW.
5. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND STRAW.
6. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND STRAW.
7. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND STRAW.

SILT FENCES:
 INSERT SILT FENCES DAILY DURING CONSTRUCTION AS WELL AS AFTER EACH RAIN WHERE THE FENCE MEETS THE GROUND OR FLANKS AT THE LENGTH OF THE FENCE. THE FENCE SHOULD BE MAINTAINED AT ALL TIMES. THE LENGTH OF THE FENCE SHOULD BE MAINTAINED AT ALL TIMES. THE FENCE SHOULD BE MAINTAINED AT ALL TIMES. THE FENCE SHOULD BE MAINTAINED AT ALL TIMES.





**BRAYFIELD CREST DRIVE SECTION
 MULTI-USE PATH ON NORTH SIDE
 18" CURB & GUTTER**
 N.E.S.

* ALL UTILITIES TO HAVE MINIMUM 3' COVER
 UNLESS MORE IS REQUIRED BY UTILITY
 COMPANY. (SEE DETAIL)

LEGEND

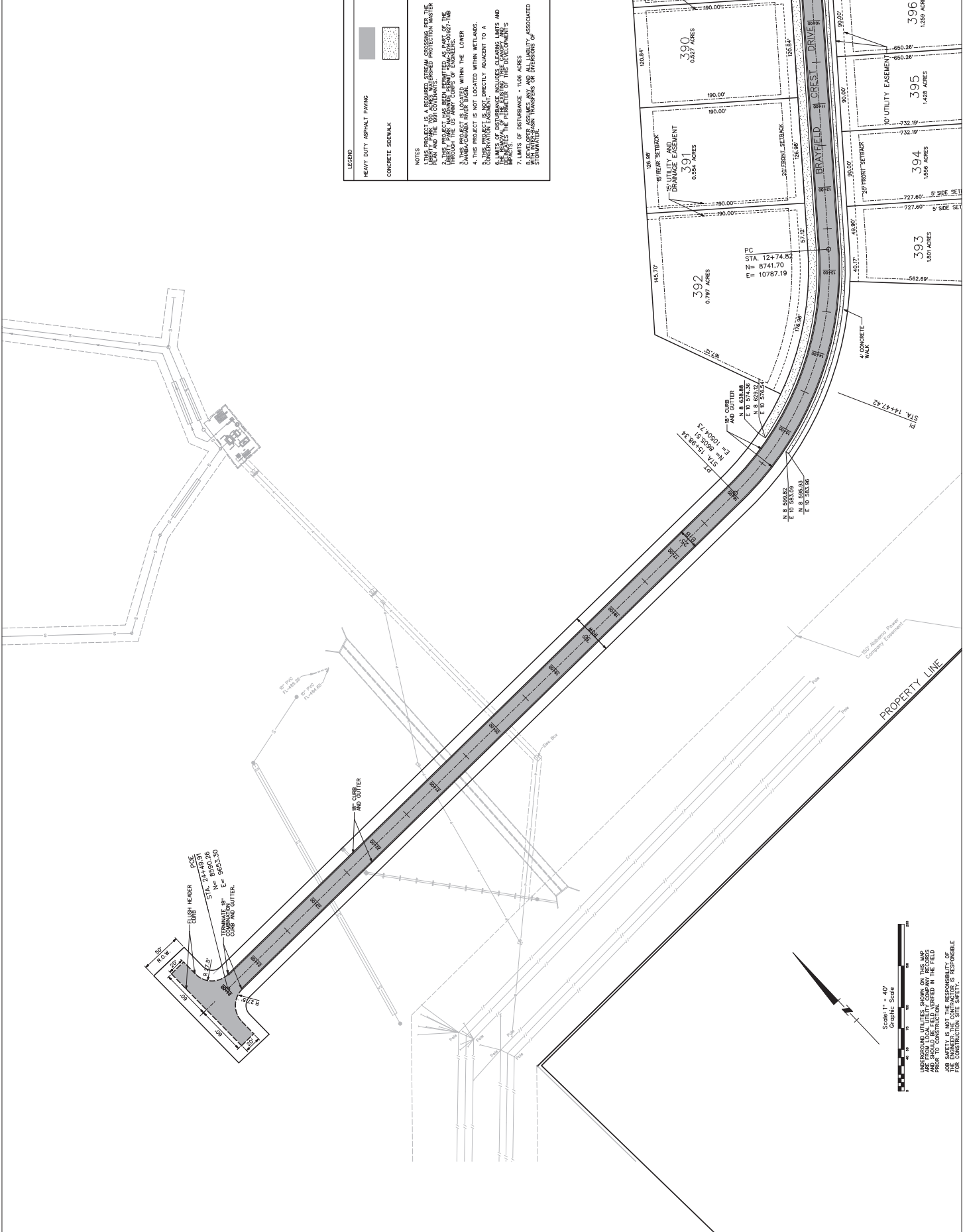
- HEAVY DUTY ASPHALT PAVING
- CONCRETE SIDEWALK

NOTES

- THIS PROJECT IS A BOUNDARY CROSSING PROJECT. THE PLAT AND THE 100' CONTIGUOUS LOTS TO THE NORTH AND SOUTH ARE THE PROPERTY OF THE DEVELOPER. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJACENT PROPERTY. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJACENT PROPERTY. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJACENT PROPERTY.
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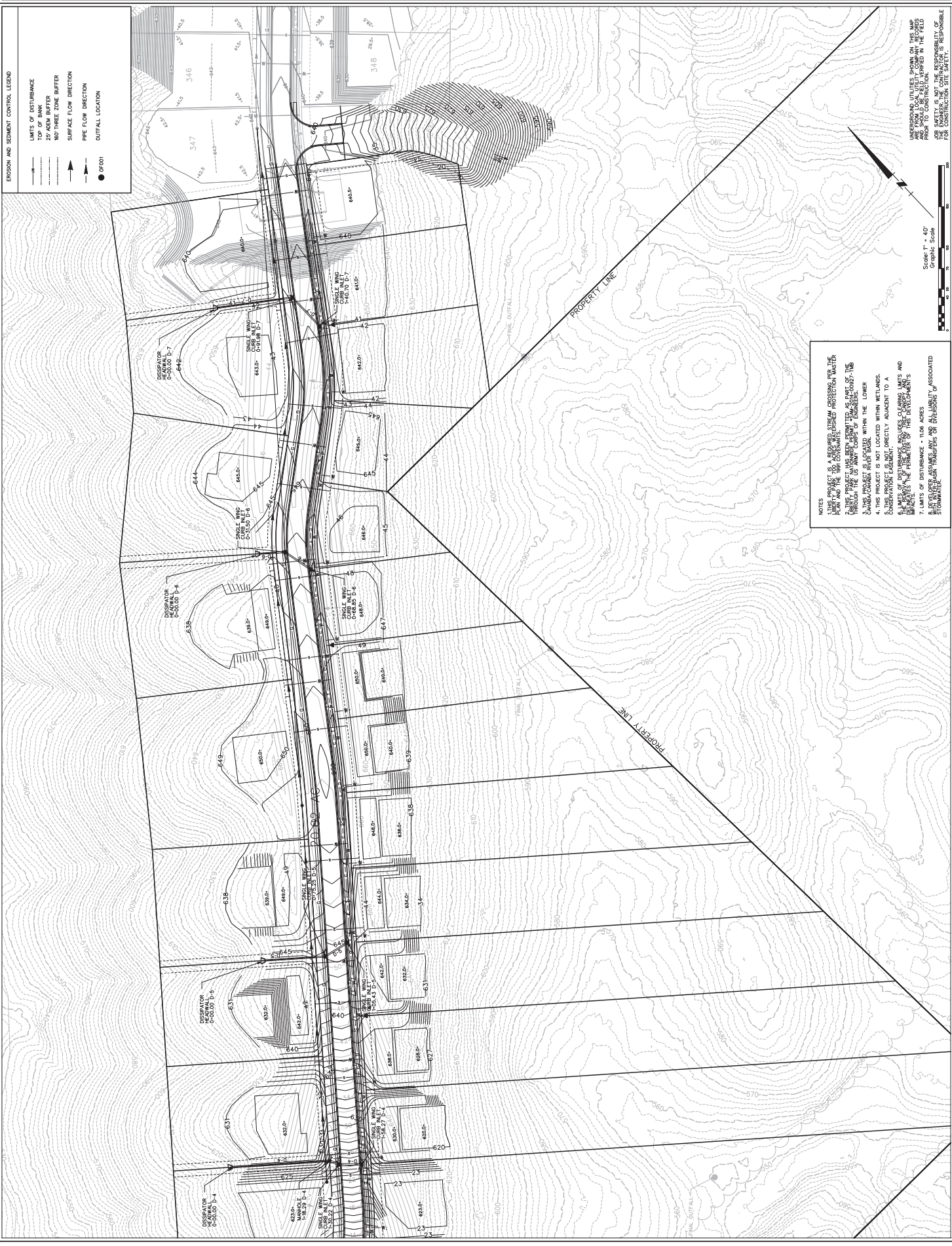
LEGEND
 HEAVY DUTY ASPHALT PAVING
 CONCRETE SIDEWALK

NOTES
 1. THIS PROJECT IS A REQUIRED STREAM CROSSING PER THE
 ALABAMA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 (ADEM) AND THE US ARMY CORPS OF ENGINEERS. THE
 EMBANKMENT SHALL BE CONSTRUCTED WITHIN THE LOWER
 LIMITS OF DISTURBANCE. THE PERMITS FOR THIS DEVELOPMENT
 SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
 2. THIS PROJECT IS NOT LOCATED WITHIN WETLANDS.
 3. THE PROJECT IS DIRECTLY ADJACENT TO A
 CONSERVATION EASEMENT.
 4. LIMITS OF DISTURBANCE INCLUDES LEASING LIMITS AND
 PERMITS FOR THIS DEVELOPMENT.
 5. THE PROJECT IS ADJACENT TO A CONSERVATION EASEMENT.
 6. LIMITS OF DISTURBANCE INCLUDES LEASING LIMITS AND
 PERMITS FOR THIS DEVELOPMENT.
 7. LIMITS OF DISTURBANCE = 11.00 ACRES
 8. SEE ATTACHED DRAWINGS FOR DRAINAGE ASSOCIATED
 WITH THIS PROJECT.



Scale: 1" = 40'
 Graphic Scale

UNDERGROUND UTILITIES SHOWN ON THIS MAP
 ARE NOT SHOWN IN THE FIELD AND SHOULD
 BE VERIFIED IN THE FIELD. THE ENGINEER
 IS NOT RESPONSIBLE FOR THE CONSTRUCTION
 OF THE PROJECT.



EROSION AND SEDIMENT CONTROL LEGEND

- LIMITS OF DISTURBANCE
- TOP OF BANK
- 20' ASH BUFFER
- 20' TREE CORE BUFFER
- SURFACE FLOW DIRECTION
- PIPE FLOW DIRECTION
- OUTFALL LOCATION
- OF001

NOTES

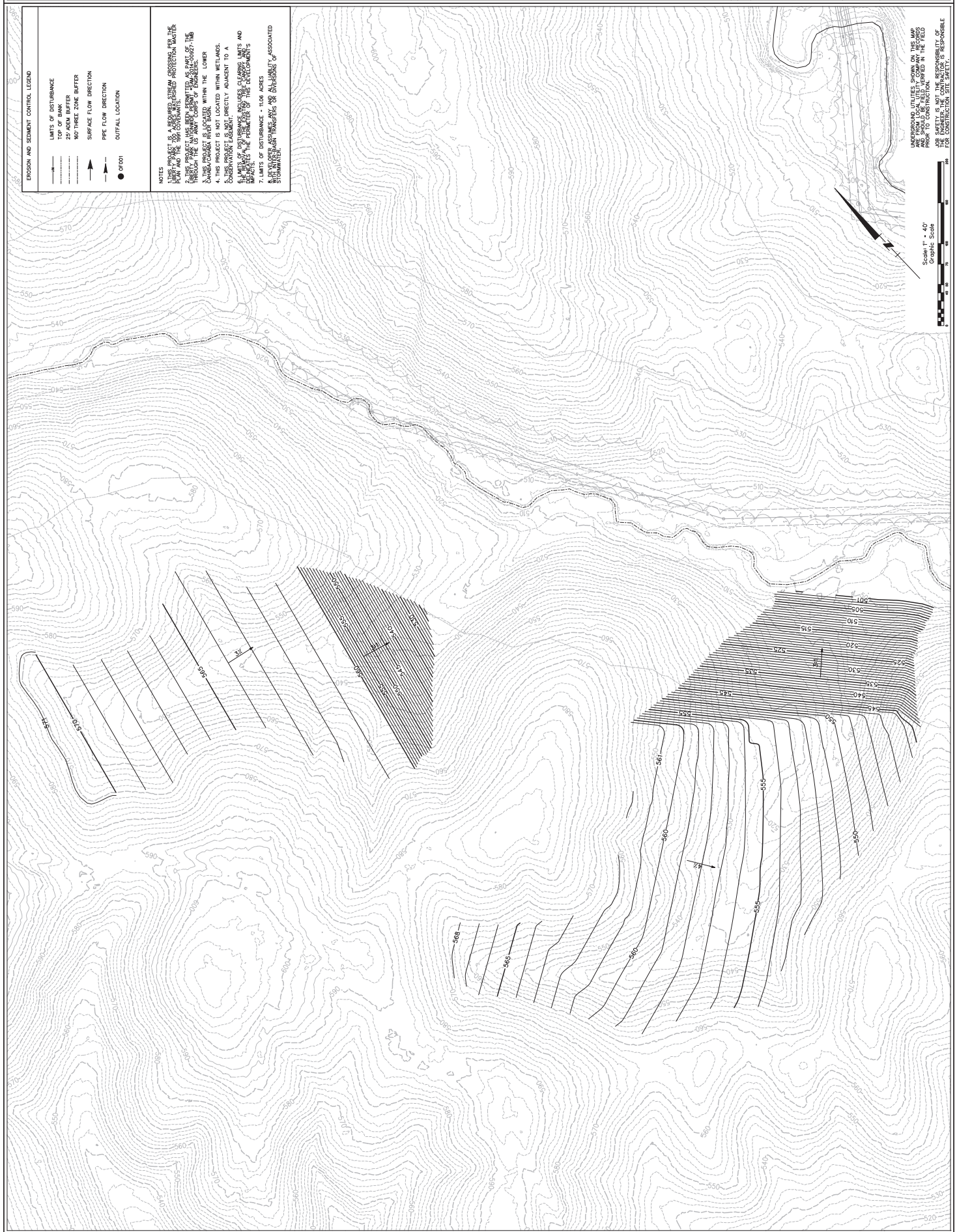
- THIS PROJECT IS A REQUIRED STREAM CROSSING PER THE CLEAN WATER ACT AND THE 1991 CONSERVATION PROTECTION WATER QUALITY PROGRAM. THE PERMIT IS FOR THE CONSTRUCTION OF THE BRAYFIELD CREST DRIVE EXTENSION THROUGH THE US ARMY CORPS OF ENGINEERS, SAVANNAH DISTRICT, RIVER BASIN WITHIN THE LOWER COLUMBIA RIVER BASIN.
- THIS PROJECT IS NOT LOCATED WITHIN WETLANDS.
- ALL DISTURBANCE AREAS SHALL BE RESTORED TO A CONDITION EQUIVALENT TO OR BETTER THAN THE ORIGINAL CONDITION.
- THE LIMITS OF DISTURBANCE ARE CLEARLY SHOWN AND IDENTIFIED ON THIS PLAN.
- THE LIMITS OF DISTURBANCE ARE 11.00 ACRES.
- ALL DISTURBANCE AREAS SHALL BE RESTORED TO A CONDITION EQUIVALENT TO OR BETTER THAN THE ORIGINAL CONDITION.

EROSION AND SEDIMENT CONTROL LEGEND

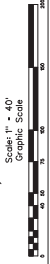
- LIMITS OF DISTURBANCE
- TOP OF BANK
- 20' AREA BUFFER
- 180' THREE ZONE BUFFER
- SURFACE FLOW DIRECTION
- PIPE FLOW DIRECTION
- #001 OUTFALL LOCATION

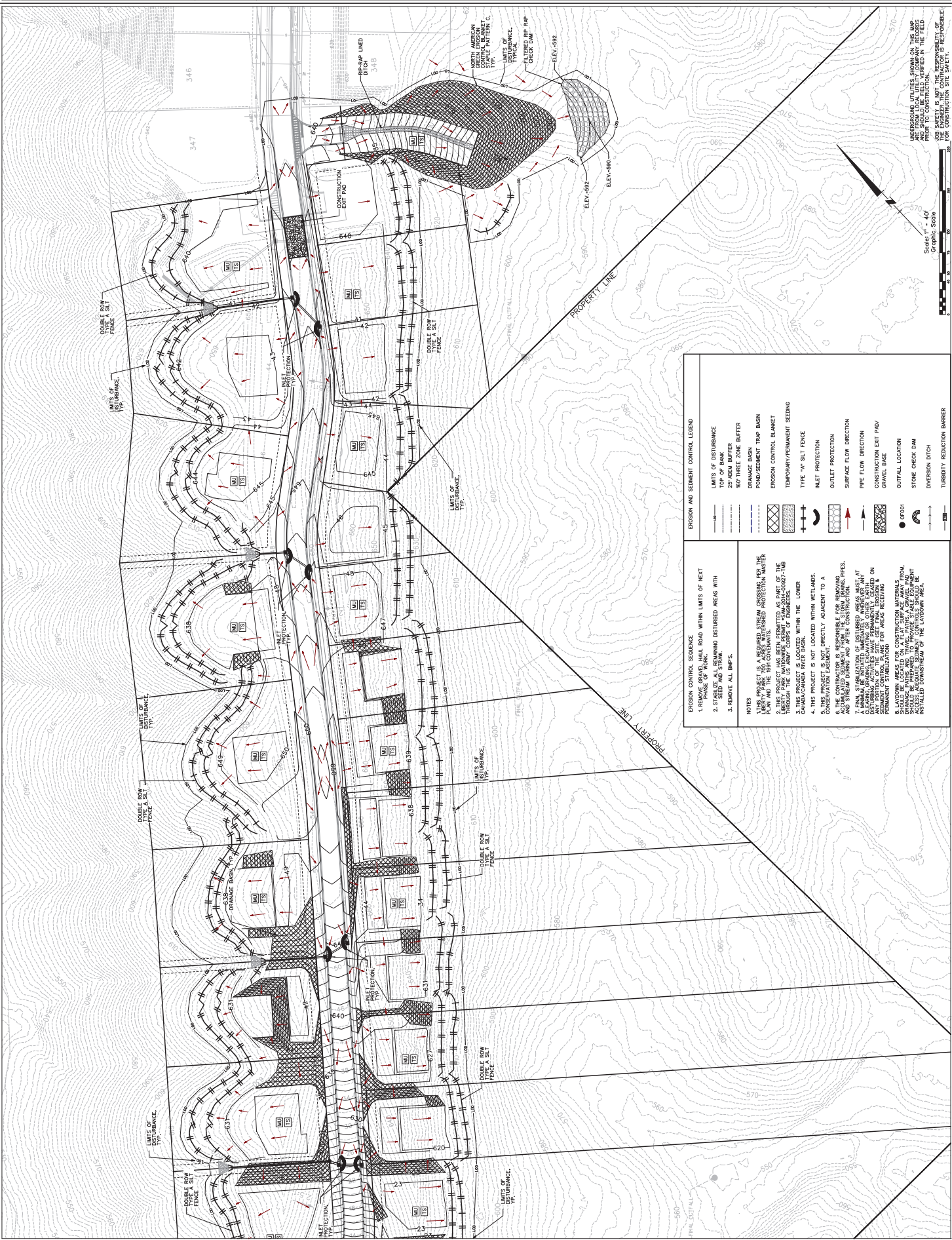
NOTES

1. THIS PLAT IS A PRELIMINARY DESIGN APPROVED BY THE TUSCALOOSA COUNTY BOARD OF ALTERNATE COMMISSIONERS. THE PLAT AND THE 999 COORDINATES THEREON SHALL BE RECORDED IN THE PUBLIC RECORDS OF THE TUSCALOOSA COUNTY COMMISSIONERS' OFFICE. THIS PLAT IS NOT TO BE CONSIDERED A FINAL DESIGN.
2. THIS PROJECT IS LOCATED WITHIN THE LOWER VESTAVIA HILLS SUBDIVISION, AS SHOWN ON THE 1999 CONSERVATION EASEMENT MAP AND THE 1999 CONSERVATION EASEMENT AGREEMENT. THE PROJECT IS NOT DIRECTLY ADJACENT TO A CONSERVATION EASEMENT.
3. THE PROJECT IS NOT LOCATED WITHIN METLANDS.
4. THE PROJECT IS NOT LOCATED WITHIN THE 100' BUFFER ZONE OF ANY METLANDS.
5. THE PROJECT IS NOT LOCATED WITHIN THE 100' BUFFER ZONE OF ANY METLANDS.
6. THE PROJECT IS NOT LOCATED WITHIN THE 100' BUFFER ZONE OF ANY METLANDS.
7. LIMITS OF DISTURBANCE - FOUR ACRES
8. THE PROJECT IS NOT LOCATED WITHIN THE 100' BUFFER ZONE OF ANY METLANDS.



UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE NOT TO BE DELETED OR MOVED IN THE FIELD. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.





EROSION AND SEDIMENT CONTROL LEGEND

	LIMITS OF DISTURBANCE
	TOP OF BANK
	25' AEM BUFFER
	100' TREE ZONE BUFFER
	PONGASEMENT TRAP BASIN
	EROSION CONTROL BLANKET
	TEMPORARY/PERMANENT SEEDING
	TYPE "W" SILT FENCE
	INLET PROTECTION
	OUTLET PROTECTION
	SURFACE FLOW DIRECTION
	PIPE FLOW DIRECTION
	CONSTRUCTION EXIT PAD
	GRAVEL BASIN
	OUTFALL LOCATION
	STONE CHECK DAM
	DIVERSION DITCH
	TURBIDITY REDUCTION BARRIER

EROSION CONTROL SEQUENCE

- REMOVE GRAVEL LINE ROAD WITHIN LIMITS OF NEXT LOT AND THE 100' TREE WATERSHED PROTECTION MASTER PLAN. ALL REMAINING DISTURBED AREAS WITH SEED AND STRAW.
- REMOVE ALL BMPs.
- REMOVE ALL BMPs.

NOTES

- THIS PROJECT IS A REQUIRED STREAM CROSSING PER THE LIBERTY PARK 100' TREE WATERSHED PROTECTION MASTER PLAN. THIS PROJECT HAS BEEN PERMITTED AS PART OF THE LIBERTY PARK 100' TREE WATERSHED PROTECTION MASTER PLAN THROUGH THE US ARMY CORPS OF ENGINEERS, CHICKAMAUGA RIVER BASIN.
- THIS PROJECT IS LOCATED WITHIN THE LOWER CHICKAMAUGA RIVER BASIN.
- THIS PROJECT IS NOT LOCATED WITHIN WETLANDS, AND IS NOT DIRECTLY ADJACENT TO A WETLAND.
- THE CONTRACTOR IS RESPONSIBLE FOR REMAINING PILES AND STRAW DURING AND AFTER CONSTRUCTION.
- A BANK IS THE LIMITED OR DISTURBED AREAS ADJACENT TO A STREAM OR DITCH. DISTURBED AREAS MUST BE PROPERLY SEEDING AND STRAW COVERED. THE USE OF AREAS REQUIRING PERMANENT STABILIZATION.
- ALL CONSTRUCTION MATERIALS SHOULD BE LOCATED ON A SURFACE AWAY FROM THE STREAM OR DITCH. ALL CONSTRUCTION MATERIALS SHOULD BE PREPARED TO PREVENT STABLE EQUIPMENT FROM BEING INSTALLED DOWNSTREAM OF THE WORKING AREA.

UNDERGROUND UTILITIES SHOWN ON THIS MAP AND SHOULD BE FIELD VERIFIED IN THE FIELD. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR SUBSTITUTION OF 3/4" x 1/2" GRAPHIC SCALE

- EROSION AND SEDIMENT CONTROL LEGEND**
- LIMITS OF DISTURBANCE
 - TOP OF BANK
 - 20' AREA BUFFER
 - 100' THREE ZONE BUFFER
 - DRAINAGE BASIN
 - FOND/SEDIMENT TRAP BASIN
 - EROSION CONTROL BLANKET
 - TEMPORARY/PERMANENT SEEDING
 - TYPE "K" SILT FENCE
 - INLET PROTECTION
 - OUTLET PROTECTION
 - SURFACE FLOW DIRECTION
 - PIPE FLOW DIRECTION
 - CONSTRUCTION EXIT PAW/ GRAVEL BASE
 - OUTFALL LOCATION
 - STONE CHECK DAM
 - DIVERSION DITCH
 - TURBIDITY REDUCTION BARRIER

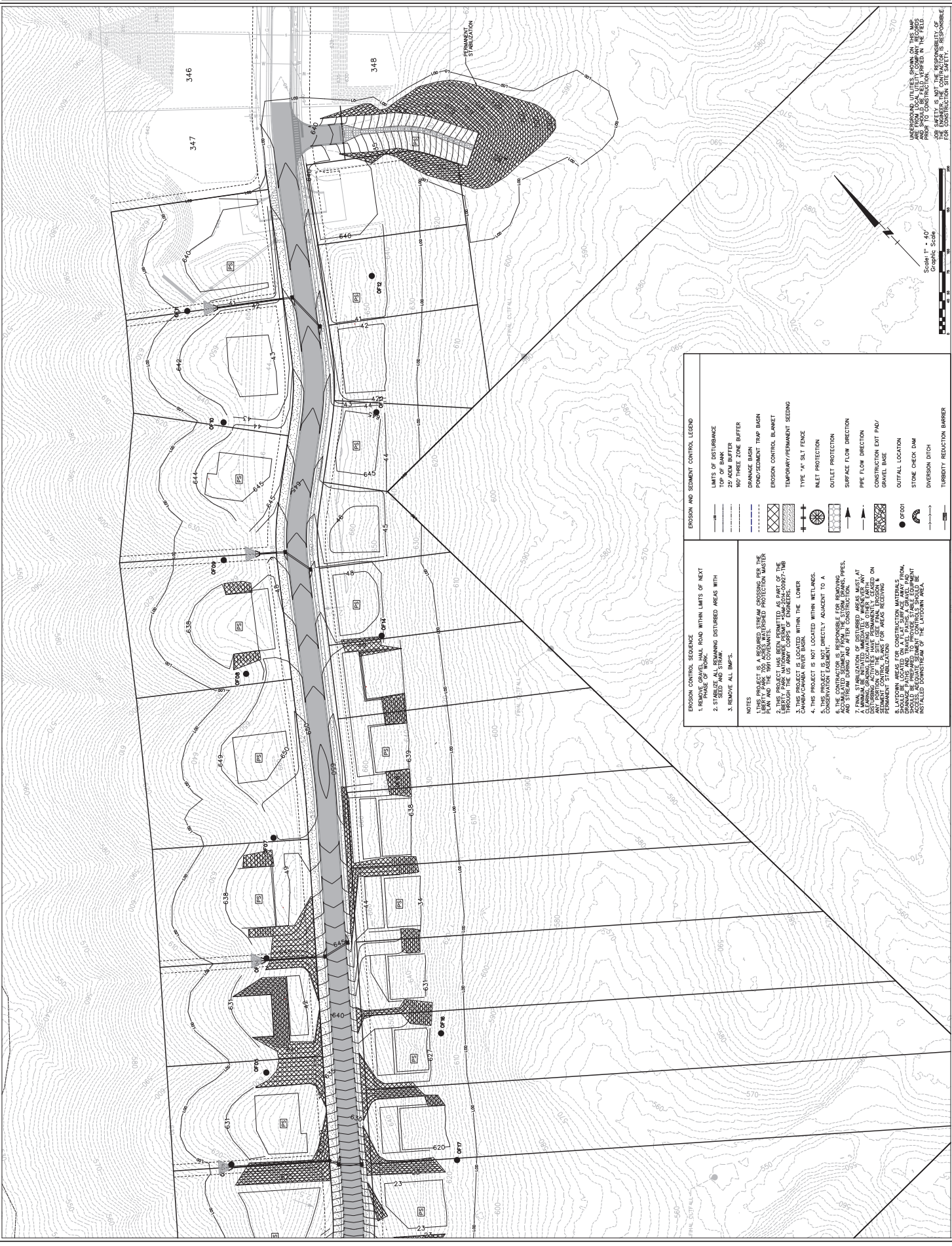
- EROSION CONTROL REQUIREMENTS**
1. EROSION CONTROL REQUIREMENTS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 2. INSTALL TYPE A SILT FENCE ALONG LIMITS OF PLANNED STREAM DIVERSIONS.
 3. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND STRAW.
 4. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND STRAW.
 5. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND STRAW.
 6. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND STRAW.
 7. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND STRAW.

SILT FENCES:
 INSERT SILT FENCES DAILY DURING Ongoing CONSTRUCTION AS WELL AS AFTER EACH RAIN WHERE THE FENCE MEETS THE GROUND OR SLIPS AS LONG AS THE LENGTH OF THE FENCE IS NOT EXCEEDED. THE FENCE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE FENCE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL DISTURBED GROUND SHALL BE STABILIZED BY SEEDING. TEMPORARY STABILIZATION SHOULD BE UNIFORMLY COVERED WITH SEED MAT FOUND ON SHEET C5-7 OF THIS PACKAGE.

Scale: 1" = 40'
 Graphical Scale
 UNDERGROUND UTILITIES SHOWN ON THIS MAP AND SHOULD BE FIELD VERIFIED IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.





EROSION AND SEDIMENT CONTROL LEGEND

	LIMITS OF DISTURBANCE
	TOP OF BANK
	25' BUFFER
	100' BUFFER
	150' BUFFER
	200' BUFFER
	300' BUFFER
	400' BUFFER
	500' BUFFER
	600' BUFFER
	700' BUFFER
	800' BUFFER
	900' BUFFER
	1000' BUFFER
	EROSION CONTROL BLANKET
	TEMPORARY/PERMANENT SEEDING
	TYPE "X" SILT FENCE
	INLET PROTECTION
	OUTLET PROTECTION
	SURFACE FLOW DIRECTION
	PIPE FLOW DIRECTION
	CONSTRUCTION EXIT PAUL
	GRAVEL BASIN
	OUTFALL LOCATION
	STONE CHECK DAM
	DIVERSION DITCH
	TURBIDITY REDUCTION BARRIER

EROSION CONTROL SEQUENCE

- REMOVE GRAVELLINE ROAD WITHIN LIMITS OF NEXT LEGITIMATE ROAD.
- REMOVE ALL REMAINING DISTURBED AREAS WITH SEED AND STRAW.
- REMOVE ALL BMPs.

NOTES

- THIS PROJECT IS A REQUIRED STREAM CROSSING PER THE LIBERTY PARK 1000 ACRES WATERSHED PROTECTION MASTER PLAN. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED THROUGH THE US ARMY CORPS OF ENGINEERS, CHICKAMAUGA RIVER BASIN.
- THIS PROJECT IS LOCATED WITHIN THE LOWER CONSERVATION PLAZA.
- THIS PROJECT IS NOT LOCATED WITHIN WETLANDS, WATERSHED PROTECTION PLAZA, OR OTHER SENSITIVE AREAS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMAINING AREAS AND STREAM DURING AND AFTER CONSTRUCTION.
- A BARRIERS SHALL BE INSTALLED AT ALL CONSTRUCTION SITES TO PREVENT TURBIDITY FROM ENTERING THE STREAM. THESE BARRIERS SHALL BE INSTALLED ON ALL CONSTRUCTION SITES AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. TURBIDITY REDUCTION BARRIERS SHALL BE INSTALLED DOWNSTREAM OF THE WORKING AREA.

UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.

Scale: 1" = 40'
 Graphic Scale

EROSION AND SEDIMENT CONTROL LEGEND

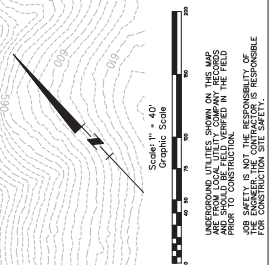
	LIMITS OF DISTURBANCE
	TOP OF BANK
	25' SEDIMENT BUFFER
	50' SEDIMENT BUFFER
	EROSION CONTROL BLANKET
	TEMPORARY/PERMANENT SEEDING
	TYPE 1/4" SILT FENCE
	INLET PROTECTION
	OUTLET PROTECTION
	SURFACE FLOW DIRECTION
	PIPE FLOW DIRECTION
	CATCHMENT BASIN
	GRAVEL BASE
	OUTFALL LOCATION
	STONE CHECK DAM
	DIVERSION DITCH
	TURBIDITY REDUCTION BARRIER

EROSION CONTROL SEQUENCE

1. REPAIR OR RECONSTRUCT ROAD WITHIN LIMITS OF NEXT UPSTREAM BARRIER.
2. STABILIZE ALL REMAINING DISTURBED AREAS WITH SEED AND STRAW.
3. REMOVE ALL BMPs.

NOTES

1. THIS PROJECT IS A REQUIRED STREAM CROSSING PER THE BRAY AND THE 1998 CONSERVED PROTECTION MASTER PLAN.
2. THIS PROJECT HAS BEEN PERMITTED AS PART OF THE BRAY AND THE 1998 CONSERVED PROTECTION MASTER PLAN THROUGH THE US ARMY CORPS OF ENGINEERS.
3. THIS PROJECT IS LOCATED WITHIN THE LOWER CANYON/CREEK RIVER BASIN.
4. THIS PROJECT IS NOT LOCATED WITHIN WETLANDS.
5. THE PROJECT IS NOT LOCATED ADJACENT TO A CONSERVED ELEMENT.
6. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EROSION CONTROL DEVICES AND STRAW DURING AND AFTER CONSTRUCTION.
7. ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL OR BETTER CONDITION. ALL DISTURBED AREAS RECEIVING PERMANENT SEEDING SHALL BE RESEEDING.
8. ALL CONSTRUCTION MATERIALS SHALL BE STORED ON A 4 FT SURFACE DRAIN FROM THE PROJECT AREA. ALL EQUIPMENT SHALL BE MAINTAINED TO PROVIDE STABLE EQUIPMENT ON ALL SURFACES. ALL EQUIPMENT SHALL BE INSTALLED DOWNSTREAM OF THE LAYOUT AREA.



**LIBERTY PARK
 PRELIMINARY PLAT PACKAGE
 VESTAVIA HILLS, ALABAMA**



- EROSION AND SEDIMENT CONTROL LEGEND**
- LIMITS OF DISTURBANCE
 - TOP OF BANK
 - 25' AREA BUFFER
 - 180' THREE ZONE BUFFER
 - DRAINAGE BASIN
 - FOND/SEDIMENT TRAP BASIN
 - EROSION CONTROL BLANKET
 - TEMPORARY/PERMANENT SEEDING
 - TYPE "K" SILT FENCE
 - INLET PROTECTION
 - OUTLET PROTECTION
 - SURFACE FLOW DIRECTION
 - PIPE FLOW DIRECTION
 - CONSTRUCTION EXIT PAV/ GRAVEL BASE
 - OUTFALL LOCATION
 - STONE CHECK DAM
 - DIVERSION DITCH
 - TURBIDITY REDUCTION BARRIER

EROSION CONTROL REQUIREMENTS

1. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND STRAW.
2. INSTALL TYPE A SILT FENCE ALONG LIMITS OF PLANNED STREAM DIVERSIONS.
3. THE COMPLETE DO NOT CLEAR ANY MORE AREA THAN WHAT IS REQUIRED FOR STREAM DIVERSIONS.
4. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND STRAW.
5. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND STRAW.
6. BEGIN EXCAVATION AS REQUIRED FOR THE REMAINDER OF THE DISTURBED AREA FOR THE REMAINDER OF THE DISTURBED AREA FOR THE REMAINDER OF THE DISTURBED AREA.
7. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND STRAW.
8. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND STRAW.
9. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND STRAW.
10. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND STRAW.

SILT FENCES:

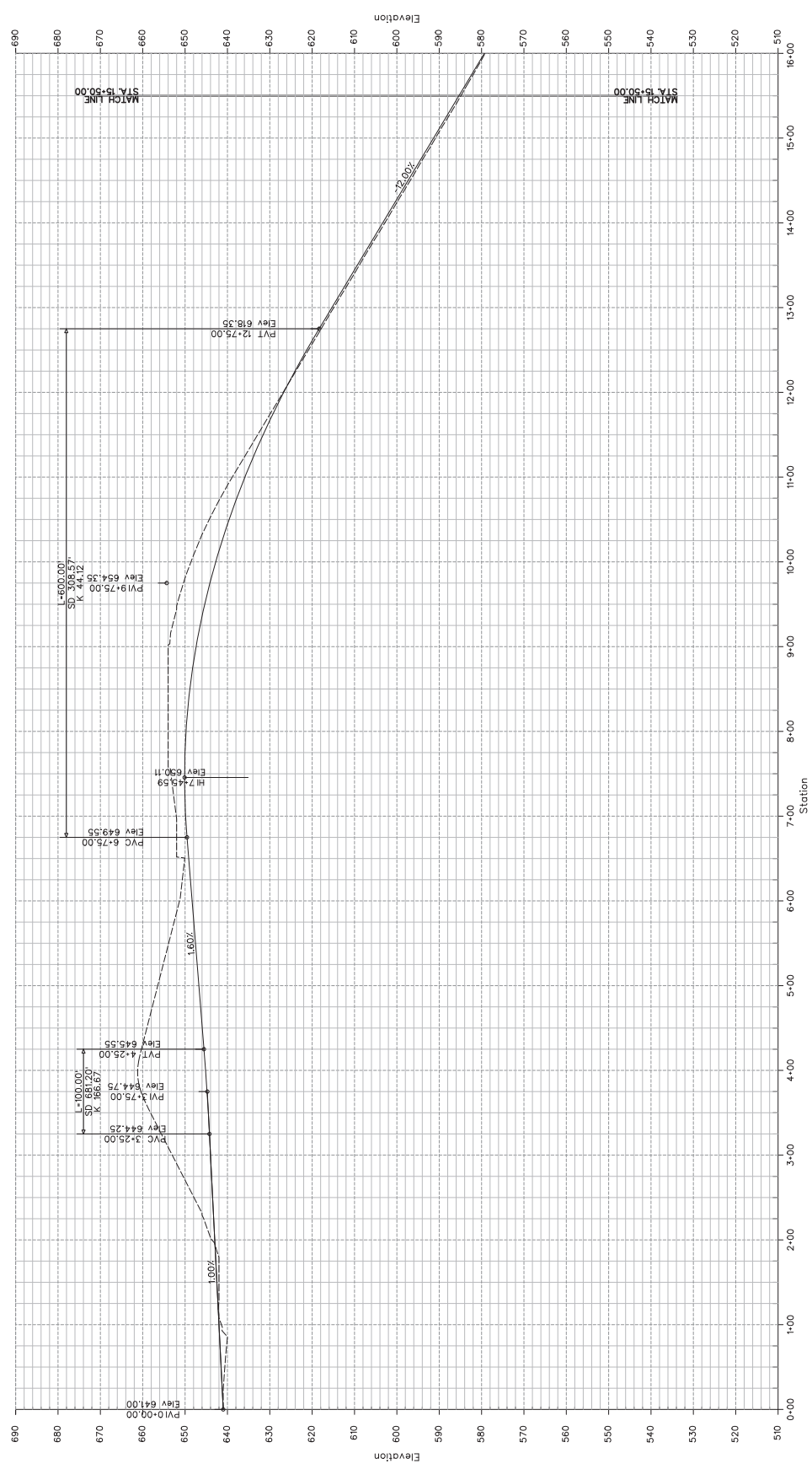
INSTALL SILT FENCES DURING CONSTRUCTION AS WELL AS AFTER EACH DISTURBED AREA IS COMPLETED. THE LENGTH OF EACH SILT FENCE SHALL BE SUFFICIENT TO COVER THE ENTIRE LENGTH OF THE DISTURBED AREA. THE SPACING BETWEEN SILT FENCES SHALL BE SUFFICIENT TO PREVENT SOIL FROM BEING WASHED INTO THE DISTURBED AREA. THE SILT FENCES SHALL BE INSTALLED AT THE TOP OF THE DISTURBED AREA AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE SILT FENCES SHALL BE INSTALLED AT THE TOP OF THE DISTURBED AREA AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE SILT FENCES SHALL BE INSTALLED AT THE TOP OF THE DISTURBED AREA AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

PERMANENT STABILIZATION:

PERMANENT STABILIZATION SHALL BE INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF EACH DISTURBED AREA IS COMPLETED. THE PERMANENT STABILIZATION SHALL BE INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF EACH DISTURBED AREA IS COMPLETED. THE PERMANENT STABILIZATION SHALL BE INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF EACH DISTURBED AREA IS COMPLETED.

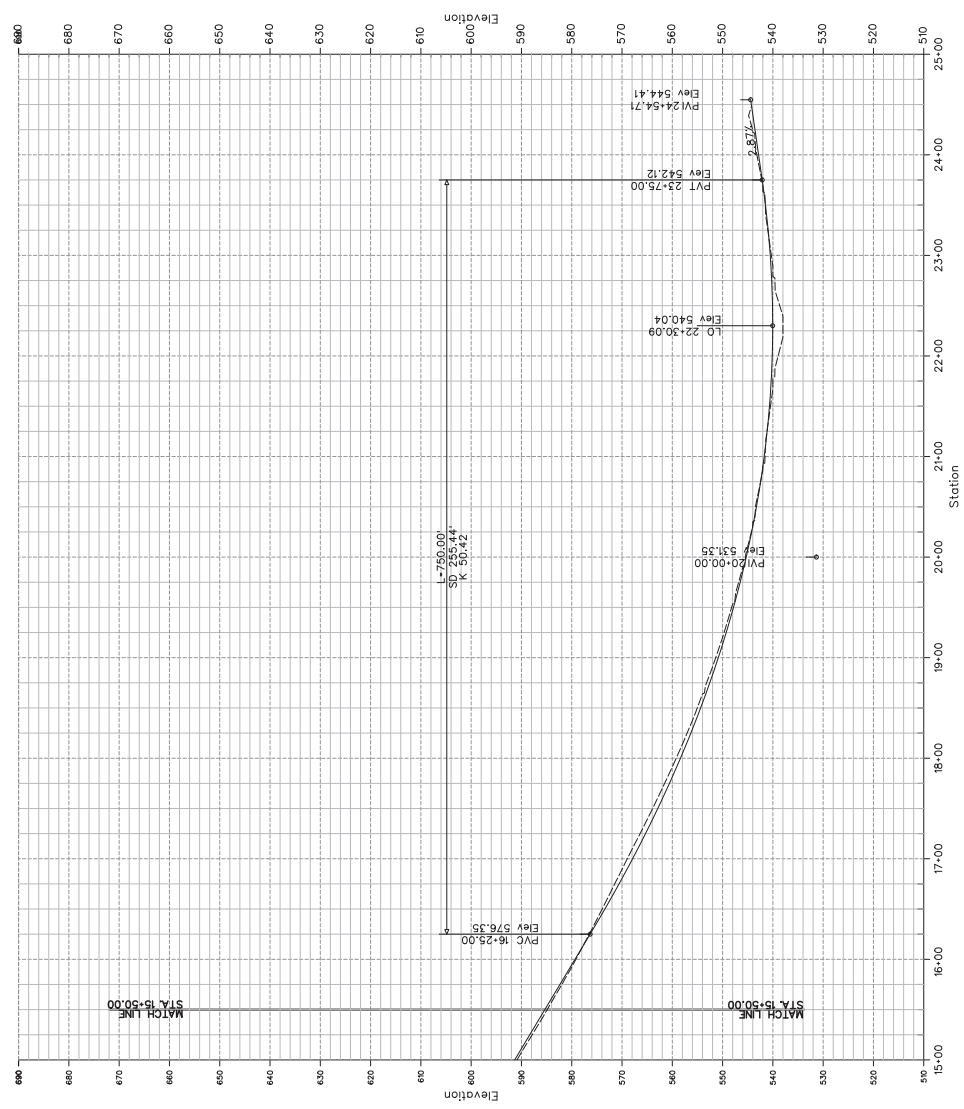
Scale: 1" = 40' Horizontal Scale

UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE NOT TO BE FIELD VERIFIED IN THE FIELD AND SHOULD BE FIELD VERIFIED IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH AND SPACING OF ALL UTILITIES BEFORE CONSTRUCTION.



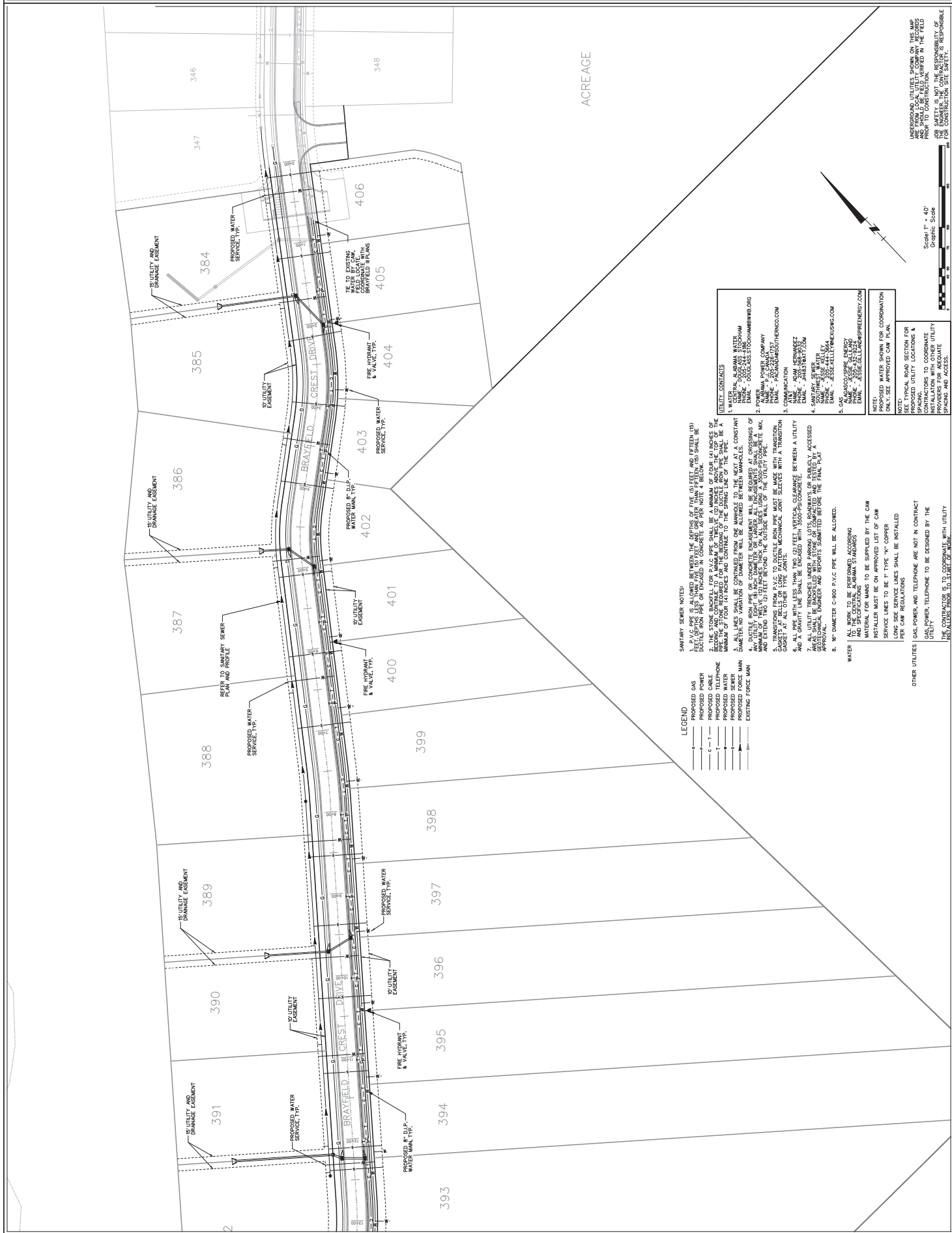
25 MPH DESIGN SPEED
PROFILE - BRAYFIELD CREST DRIVE (STA. 0+00 - 15+50.00)
 SCALE: H. = 10' HORIZ.
 V. = 10' VERT.

LEGEND:
 - - - - - EXISTING GRADE
 - - - - - PROPOSED GRADE



25 MPH DESIGN SPEED
PROFILE - BRAYFIELD CREST DRIVE (STA. 15+50.00 - 24+54.71)
 SCALE: V - 20' PER IN.
 H - 1" PER FT.

LEGEND:
 - - - - - EXISTING GRADE
 ——— PROPOSED GRADE



SANITARY SEWER NOTES:
 1. 12" DIA. PIPE IS ALLOWED BETWEEN THE TOP OF THE SOLEILLET AND FIFTEEN (15') FEET BELOW THE TOP OF THE MANHOLE. ALL OTHERS SHALL BE 18" DIA. DUCTILE IRON PIPE OR ENCASED IN CONCRETE AS PER NOTE 4. BELOW.
 2. ALL SANITARY SEWER LINES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED. THE SIZES AND DEPTHS SHALL BE AS SHOWN ON THE PLAN. ALL LINES SHALL BE A MINIMUM OF FOUR FEET DEEP AND CONTINUE TO THE SPRINKLER OF THE TRAIL.
 3. ALL LINES SHALL BE CONTINUED FROM ONE MANHOLE TO THE NEXT AT A CONSTANT DIAMETER. NO VARIATION OF DIAMETER WILL BE ALLOWED BETWEEN MANHOLES.
 4. ALL SANITARY SEWER LINES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED. THE SIZES AND DEPTHS SHALL BE AS SHOWN ON THE PLAN. ALL LINES SHALL BE A MINIMUM OF FOUR FEET DEEP AND CONTINUE TO THE SPRINKLER OF THE TRAIL.
 5. ALL SANITARY SEWER LINES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED. THE SIZES AND DEPTHS SHALL BE AS SHOWN ON THE PLAN. ALL LINES SHALL BE A MINIMUM OF FOUR FEET DEEP AND CONTINUE TO THE SPRINKLER OF THE TRAIL.
 6. ALL SANITARY SEWER LINES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED. THE SIZES AND DEPTHS SHALL BE AS SHOWN ON THE PLAN. ALL LINES SHALL BE A MINIMUM OF FOUR FEET DEEP AND CONTINUE TO THE SPRINKLER OF THE TRAIL.
 7. ALL UTILITY TRENCHES UNDER PARKING LOTS, ROADS, OR PUBLICLY ACCESSED AREAS SHALL BE 18" DIA. UNLESS OTHERWISE NOTED. THE SIZES AND DEPTHS SHALL BE AS SHOWN ON THE PLAN. ALL LINES SHALL BE A MINIMUM OF FOUR FEET DEEP AND CONTINUE TO THE SPRINKLER OF THE TRAIL.
 8. ALL UTILITY TRENCHES UNDER PARKING LOTS, ROADS, OR PUBLICLY ACCESSED AREAS SHALL BE 18" DIA. UNLESS OTHERWISE NOTED. THE SIZES AND DEPTHS SHALL BE AS SHOWN ON THE PLAN. ALL LINES SHALL BE A MINIMUM OF FOUR FEET DEEP AND CONTINUE TO THE SPRINKLER OF THE TRAIL.
 9. ALL UTILITY TRENCHES UNDER PARKING LOTS, ROADS, OR PUBLICLY ACCESSED AREAS SHALL BE 18" DIA. UNLESS OTHERWISE NOTED. THE SIZES AND DEPTHS SHALL BE AS SHOWN ON THE PLAN. ALL LINES SHALL BE A MINIMUM OF FOUR FEET DEEP AND CONTINUE TO THE SPRINKLER OF THE TRAIL.
 10. ALL UTILITY TRENCHES UNDER PARKING LOTS, ROADS, OR PUBLICLY ACCESSED AREAS SHALL BE 18" DIA. UNLESS OTHERWISE NOTED. THE SIZES AND DEPTHS SHALL BE AS SHOWN ON THE PLAN. ALL LINES SHALL BE A MINIMUM OF FOUR FEET DEEP AND CONTINUE TO THE SPRINKLER OF THE TRAIL.

LEGEND

- PROPOSED GAS
- PROPOSED POWER
- PROPOSED CABLE/PHONE
- PROPOSED WATER
- PROPOSED SEWER
- PROPOSED FIRE HYDRANT
- EXISTING FORCE MAIN

UTILITY CONTACTS

1. CENTRAL ALABAMA WATER	NAME: JAMES H. HARRIS	PHONE: 205-242-2800	EMAIL: JHARRIS@CAWATER.COM
2. POWER	NAME: JAMES H. HARRIS	PHONE: 205-242-2800	EMAIL: JHARRIS@CAWATER.COM
3. COMMUNICATION	NAME: JAMES H. HARRIS	PHONE: 205-242-2800	EMAIL: JHARRIS@CAWATER.COM
4. SOUTHERN BELL	NAME: JAMES H. HARRIS	PHONE: 205-242-2800	EMAIL: JHARRIS@CAWATER.COM
5. GAS	NAME: JAMES H. HARRIS	PHONE: 205-242-2800	EMAIL: JHARRIS@CAWATER.COM

NOTE: PROPOSED WATER SHOWN FOR COORDINATION ONLY. SEE APPROVED C&M PLAN.

NOTE/TYPICAL ROAD SECTION FOR PROPOSED UTILITY LOCATIONS & SPACING: THE CONTRACTOR IS RESPONSIBLE FOR COORDINATE INSTALLATION WITH OTHER UTILITY LOCATIONS AND TO OBTAIN NECESSARY SPACING AND ACCESS.

UTILITY CONTACTS

1. CENTRAL ALABAMA WATER SERVICE, INC.
 2. POWER AND LIGHT, INC.
 3. COMMUNICATIONS
 4. SOUTHERN BELL TELEPHONE COMPANY
 5. GAS (SHELL ENERGY SERVICES COMPANY)
 6. FIRE (VESTAVIA HILLS FIRE DEPARTMENT)

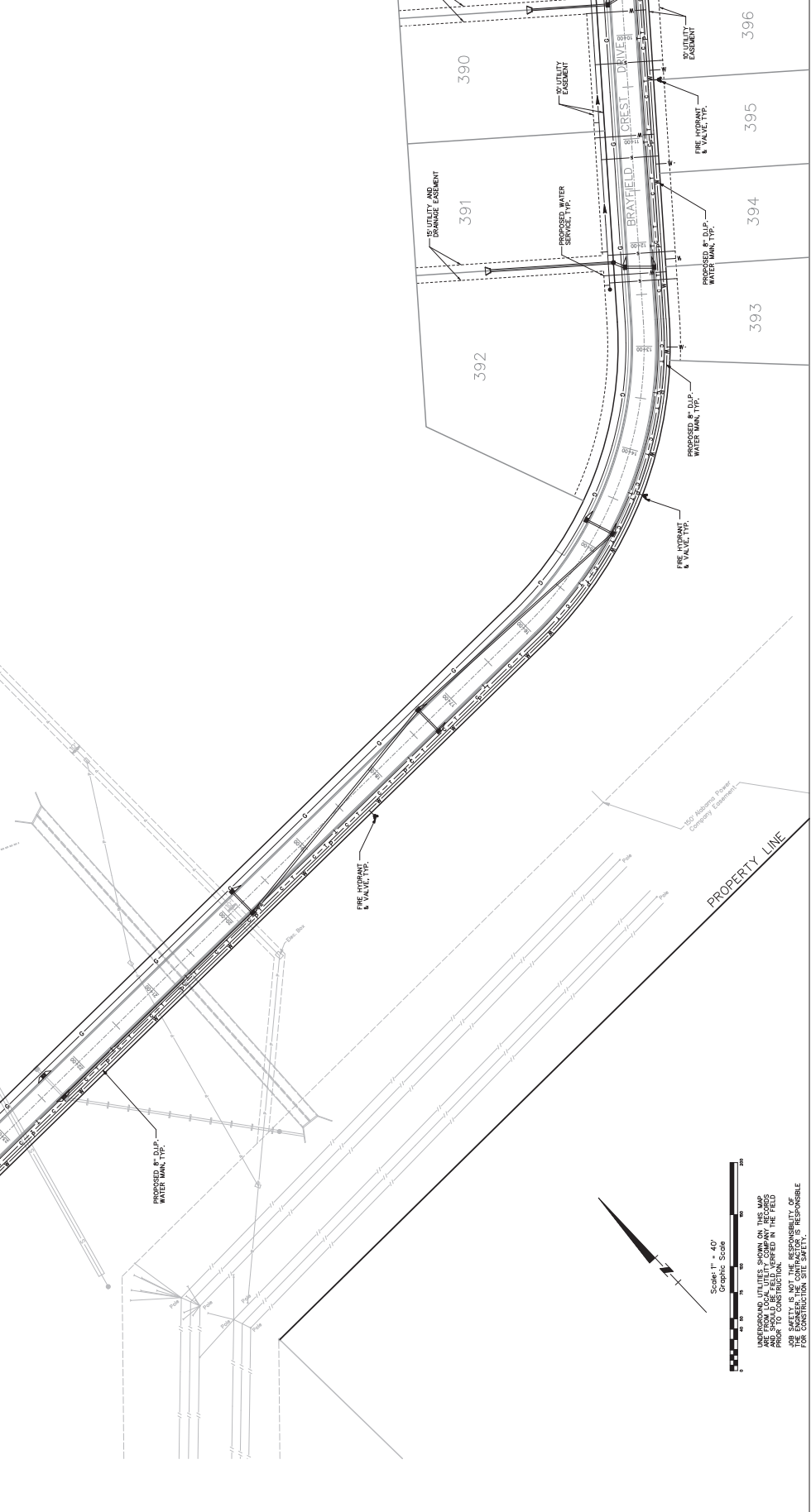
NOTE:
 PROPOSED WATER SHOWN FOR COORDINATION ONLY. SEE APPROVED COW PLAN.
 NOT A TYPICAL ROAD SECTION FOR PROPOSED UTILITY LOCATIONS & INSTALLATION. CONTRACTORS TO COORDINATE WITH OTHER UTILITY CONTRACTORS TO COORDINATE SPACING AND ACCESS.

CONTRACTOR'S NOTES:

- P.V.C. PIPE IS ALLOWED BETWEEN THE DEPTHS OF FIVE (5) FEET AND FIFTEEN (15) FEET. DEPTHS GREATER THAN FIFTEEN (15) FEET SHALL BE PERMITTED FOR USES AS APPROVED BY THE LOCAL AGENCY.
- THE STONE BACKFILL FOR P.V.C. PIPE SHALL BE A MINIMUM OF FOUR (4) INCHES OF 1/2" SAND OR EQUIVALENT. THE SAND SHALL BE PLACED IN 12" LAYERS. THE SAND SHALL BE COMPACTED TO A MINIMUM OF FOUR (4) INCHES AND CONTINUE TO THE SPRING LINE OF THE PIPE.
- CONCRETE ENCASEMENT SHALL BE REQUIRED AT ALL CROSSINGS OF EXISTING OR PROPOSED UTILITY LINES. THE ENCASEMENT SHALL BE A MINIMUM OF TWO (2) FEET THICK ON ALL SIDES AND A MINIMUM OF FOUR (4) INCHES ABOVE AND BELOW THE UTILITY LINE. THE ENCASEMENT SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER. THE ENCASEMENT SHALL BE CONCRETE WITH A MINIMUM OF TWO (2) FEET VERTICAL CLEARANCE BETWEEN A UTILITY AND A GRAVITY LINE SHALL BE ENCASED WITH 3500-PSI CONCRETE.
- ALL WORK TO BE PERFORMED ACCORDING TO THE BRIMINGHAM WATER WORKS STANDARDS.
- MATERIAL FOR MAINS TO BE SUPPLIED BY THE COW.
- INSTALLER MUST BE ON APPROVED LIST OF COW.
- SERVICE LINES TO BE 1" TYPE "K" COPPER.
- LONG SIDE SERVICE LINES SHALL BE INSTALLED PER BWW REGULATIONS.
- GAS, POWER, AND TELEPHONE ARE NOT IN CONTRACT WITH THE COW.
- UTILITY CONTRACTORS TO COORDINATE WITH UTILITY CONTRACTORS PRIOR TO START OF WORK.
- 8" DIAMETER C-900 P.V.C. PIPE WILL BE ALLOWED.

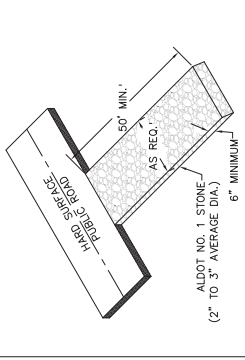
LEGEND

- PROPOSED GAS
- PROPOSED POWER
- PROPOSED CABLE
- PROPOSED TELEPHONE
- PROPOSED WATER
- PROPOSED SEWER
- PROPOSED FORCE MAIN
- EXISTING FORCE MAIN

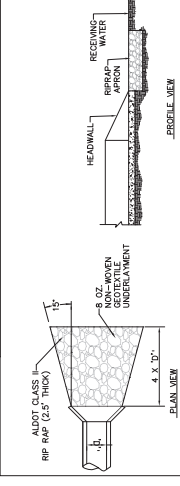


Scale: 1" = 40'
 Graphic Scale

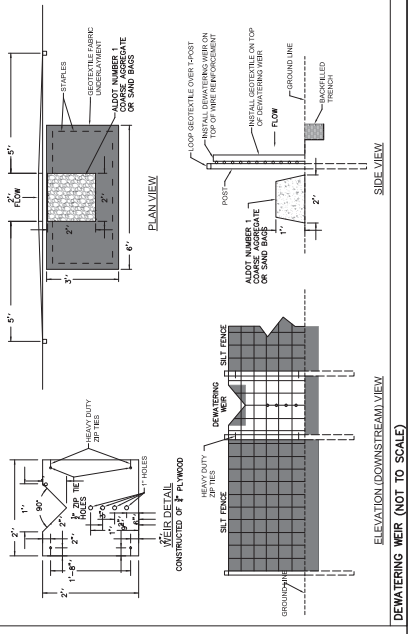
UNDERGROUND UTILITIES SHOWN ON THIS MAP AND SHOULD BE FIELD VERIFIED IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETERMINATION OF THE LOCATION OF ALL UTILITIES.



CONSTRUCTION EXIT PAD (NOT TO SCALE)



OUTLET PROTECTION (NOT TO SCALE)



DEWATERING WEIR (NOT TO SCALE)



LIBERTY PARK BRAYFIELD CREST DRIVE EXTENSION PRELIMINARY PLAT PACKAGE VESTAVIA HILLS, ALABAMA

DRAWN BY: [Blank]
PERMIT SET: 10/24/25
REVISIONS: [Blank]
DATE: [Blank]
SCALE: [Blank]
PROJECT: [Blank]
SHEET: [Blank]
C10-2

Initial Silt Fence Summary											
Segment ID	Associated Outfall	Silt Fence Configuration	h (ft)	W (ft)	L (ft)	a (ft)	Z1 (ft/ft)	Z2 (ft/ft)	R (ft)	Storage Volume (ft ³)	Storage Volume (yds ³)
1	OF-1A	Linear	1.33	0	1,206	0	3	0	0	2,406	89
2	OF-1B	Linear	1.33	0	1,577	0	3	0	0	3,146	111
3	OF-1C	Linear	1.33	0	940	0	3	0	0	1,875	69
4	OF-2	Linear	1.33	0	3,838	0	3	0	0	7,657	284
5	OF-3	Linear	1.33	0	231	0	3	0	0	462	17
6	OF-4	Linear	1.33	0	376	0	3	0	0	750	28
7	OF-5	Linear	1.33	0	367	0	3	0	0	732	27
8	OF-6	Linear	1.33	0	277	0	3	0	0	553	20
9	OF-7	Linear	1.33	0	380	0	3	0	0	758	28
10	OF-8	Linear	1.33	0	427	0	3	0	0	851	32
11	OF-9	Linear	1.33	0	547	0	3	0	0	1,091	40
12	OF-10	Linear	1.33	0	395	0	3	0	0	788	29
13	OF-11	Linear	1.33	0	268	0	3	0	0	535	20
14	OF-12	Linear	1.33	0	180	0	3	0	0	359	13
15	OF-13	Linear	1.33	0	527	0	3	0	0	1,051	39
16	OF-14	Linear	1.33	0	432	0	3	0	0	862	32
17	OF-15	Linear	1.33	0	598	0	3	0	0	1,193	44
18	OF-16	Linear	1.33	0	577	0	3	0	0	1,151	43
19	OF-17	Linear	1.33	0	445	0	3	0	0	888	33
20	OF-18	Linear	1.33	0	617	0	3	0	0	1,231	46

Intermediate Silt Fence Summary											
Segment ID	Associated Outfall	Silt Fence Configuration	h (ft)	W (ft)	L (ft)	a (ft)	Z1 (ft/ft)	Z2 (ft/ft)	R (ft)	Storage Volume (ft ³)	Storage Volume (yds ³)
1	OF-1C	Linear	1.33	0	3,838	0	3	0	0	7,657	284
2	OF-2	Linear	1.33	0	1,617	0	3	0	0	3,224	119
3	OF-3	Linear	1.33	0	231	0	3	0	0	462	17
4	OF-4	Linear	1.33	0	376	0	3	0	0	750	28
5	OF-5	Linear	1.33	0	367	0	3	0	0	732	27
6	OF-6	Linear	1.33	0	277	0	3	0	0	553	20
7	OF-7	Linear	1.33	0	380	0	3	0	0	758	28
8	OF-8	Linear	1.33	0	427	0	3	0	0	851	32
9	OF-9	Linear	1.33	0	547	0	3	0	0	1,091	40
10	OF-10	Linear	1.33	0	395	0	3	0	0	788	29
11	OF-11	Linear	1.33	0	268	0	3	0	0	535	20
12	OF-12	Linear	1.33	0	180	0	3	0	0	359	13
13	OF-13	Linear	1.33	0	527	0	3	0	0	1,051	39
14	OF-14	Linear	1.33	0	432	0	3	0	0	862	32
15	OF-15	Linear	1.33	0	598	0	3	0	0	1,193	44
16	OF-16	Linear	1.33	0	577	0	3	0	0	1,151	43
17	OF-17	Linear	1.33	0	445	0	3	0	0	888	33
18	OF-18	Linear	1.33	0	617	0	3	0	0	1,231	46

Design Summary Sheet											
Units: US											
Project Information											
Project:	Alabama										
Date:	2-17-24										
Design Storm Event:	NOAA-ATLAS 14										
County:	Jefferson										
Designer:	Schubel Engineering Company, Inc.										

Phasing Schedule											
Phase	Description	Start	End	Days							
Initial	Predeveloped (existing) contours, cleared and grubbed.	12/1/24	6/30/25	211							
Intermediate	Frail contour/building pads, no parking lots, no vegetation.	6/1/25	11/30/25	182							
Final	Frail grading/permanent features installed, no vegetation.	12/1/25	6/30/26	211							

Hydrologic Analysis Summary											
Outfall ID	Initial Phase			Intermediate Phase			Final Phase				
	Area	Vol.	Q _p	Disturbed Area	Req. Storage Volume	Provided Storage Volume	Area	Vol.	Q _p		
OF-1C	12.82	38,696.66	9.53	4,684	12.82	72,766.34	19.66	6.87	1,718	4,684	
OF-2	12.82	90,366.10	25.06	8.51	1,718	3,680	14.56	84,229.69	22.80	7,000	
OF-11B							1.76	17,080.14	4.78	1.76	
										118	
										134	
										1,76	
										7,856.43	
										2,08	

Hydrologic Analysis Summary											
Outfall ID	Initial Phase			Intermediate Phase			Final Phase				
	Area	Vol.	Q _p	Disturbed Area	Req. Silt Fence	Provided Silt Fence	Area	Vol.	Q _p		
OF-1A	2.90	10,872.20	2.71	1.03	590	871					
OF-1B	5.10	15,394.15	3.79	1.56	1,000	1,242					
OF-3	0.25	754.62	0.19	0.25	50	231	0.06	12	231	0.06	
OF-4	0.26	764.80	0.19	0.26	52	376	0.04	8	376	0.04	
OF-5	0.29	875.35	0.22	0.29	58	367	0.07	14	367	0.07	
OF-6	0.17	513.14	0.13	0.17	34	277	0.05	485.23	0.14	0.05	
OF-7	0.23	694.25	0.17	0.23	46	380	0.04	388.19	0.11	0.04	
OF-8	0.23	996.09	0.25	0.23	46	427	0.06	388.19	0.11	0.04	
OF-9	0.44	1,263.12	0.33	0.44	88	547	0.09	873.42	0.24	0.09	
OF-10	0.35	1,056.46	0.26	0.35	70	395	0.05	485.23	0.14	0.05	
OF-11	0.23	694.25	0.17	0.23	46	268	0.06	582.28	0.16	0.06	
OF-12	0.10	301.85	0.07	0.10	20	180	0.02	194.09	0.05	0.02	
OF-13	0.28	845.17	0.21	0.28	56	327	0.10	970.46	0.27	0.10	
OF-14	0.16	482.95	0.12	0.16	32	432	0.06	582.28	0.16	0.06	
OF-15	0.34	1,026.28	0.25	0.34	68	598	0.09	873.42	0.24	0.09	
OF-16	0.36	1,086.65	0.27	0.36	72	577	0.11	1,067.51	0.30	0.11	
OF-17	0.44	1,328.12	0.33	0.44	88	445	0.10	970.46	0.27	0.10	
OF-18	0.44	1,328.12	0.33	0.44	88	617	0.15	1,455.69	0.41	0.15	

Initial BMP Summary Sheet													
BMP ID	Associate	Drainage Area	Disturbed Area	Required Storage	Provided Storage	Dimensions			Skimmer				
						Pond Length	Pond Width	Structure Height					
IP-1	OF-1A	1.06	72	1080	511	1080	6	8	3	1.5-inch	6912	3.67	
IP-2	OF-2	7.62	545	1,746	133	77	2	6	8	3	1.5-inch	6912	1.07
SBM-1	OF-1C	7.05	275	1,025	80	70	1	6	8	3	1.5-inch	6912	0.84
SBM-2	OF-1C	2.05	216	544	97	36	3	6	8	3	1.5-inch	6912	0.84
ST-1	OF-1C	1.61	864	1,299	345	85	4	7	10	3	1.5-inch	6912	3.36
ST-2	OF-1C	6.45											

Intermediate BMP Summary Sheet													
BMP ID	Associate	Drainage Area	Disturbed Area	Required Storage	Provided Storage	Dimensions			Skimmer				
						Pond Length	Pond Width	Structure Height					
IP-1	OF-11B	1.76	118	737	118	1080	6	8	3	1.5-inch	6912	1.07	
CD-1	OF-2	0	10.56	708	737	76	76	6	8	3	1.5-inch	6912	1.07
CD-2	OF-11B	0	1.76	118	737	76	76	6	8	3	1.5-inch	6912	1.07
SBM-1	OF-2	7.05	345	1,746	133	77	2	6	8	3	1.5-inch	6912	1.07
SBM-2	OF-2	2.05	216	544	97	36	3	6	8	3	1.5-inch	6912	0.84
ST-1	OF-2	1.61	216	544	97	36	3	6	8	3	1.5-inch	6912	0.84

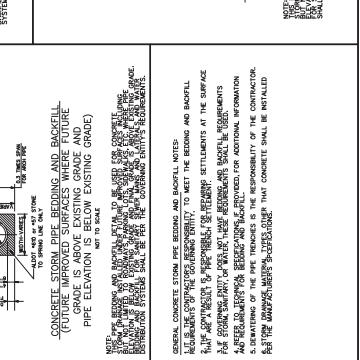
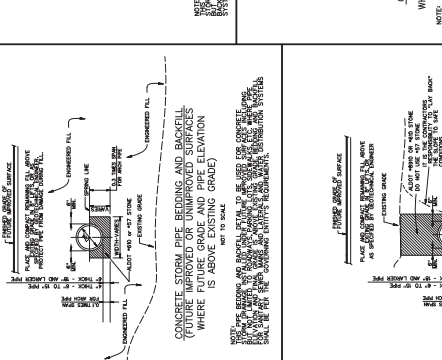
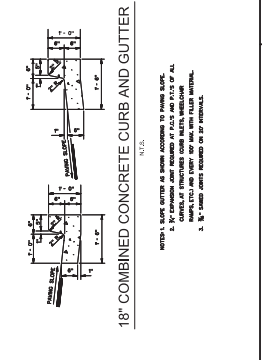
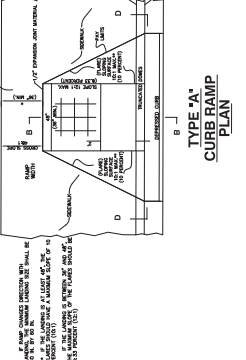
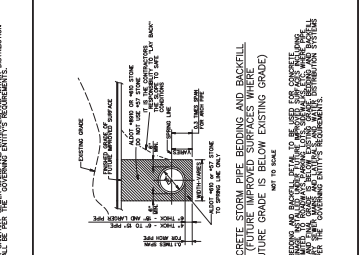
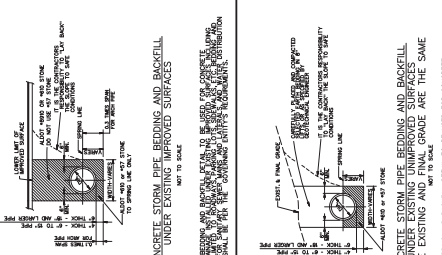
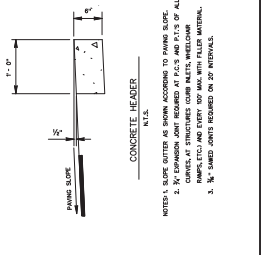
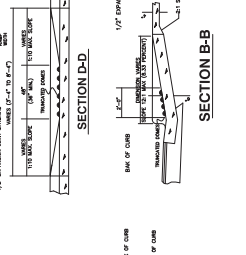
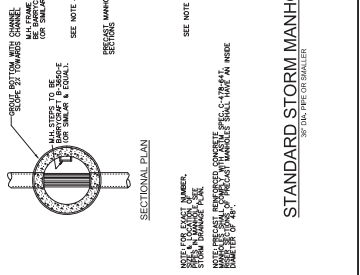
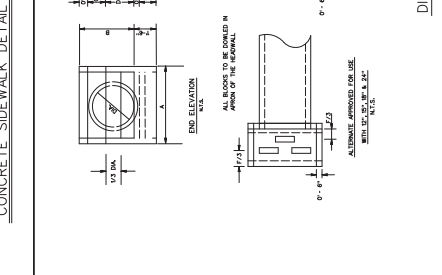
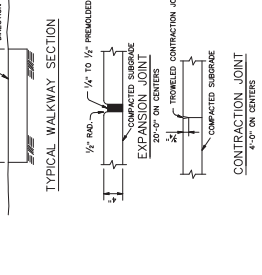
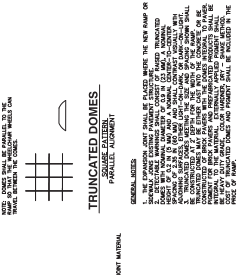
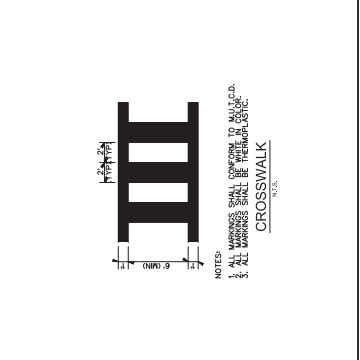
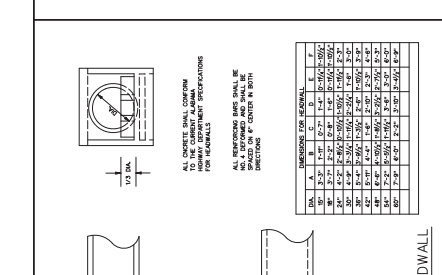
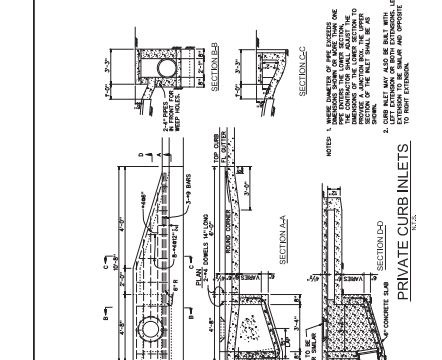
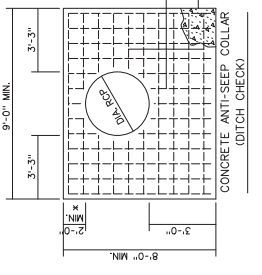
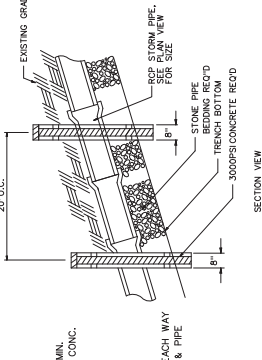
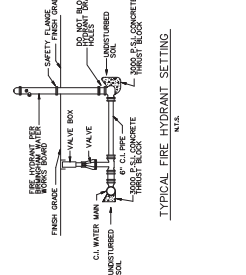
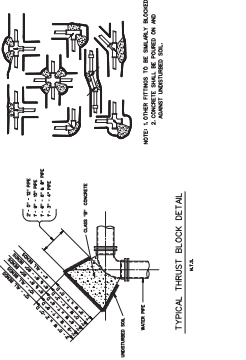
Priority Watershed: Cahaba River
 Pollutant: Sediment
 TMDL: 48%

Series Number	Protection Measure	Percent Reduction	Units Entering	Units Leaving
Outfall 01A				
First	Silt Fence	70	100	30
Second	Silt Fence	52.5	30	14.25
		Total Sediment Reduction:		86%
Outfall 01B				
First	Silt Fence	70	100	30
Second	Silt Fence	52.5	30	14.25
		Total Sediment Reduction:		86%
Outfall 01C				
First	Silt Fence	80	100	20
Second	Silt Fence	52.5	20	9.5
		Total Sediment Reduction:		91%
Outfall 02				
First	Protection Pond/Basin	80	100	20
Second	Silt Fence	52.5	20	9.5
		Total Sediment Reduction:		91%
Outfall 03				
First	Protection Pond/Basin	80	100	20
Second	Silt Fence	52.5	20	9.5
		Total Sediment Reduction:		91%
Outfall 04				
First	Silt Fence	70	100	30
Second	Silt Fence	52.5	30	14.25
		Total Sediment Reduction:		86%
Outfall 05				
First	Silt Fence	70	100	30
Second	Silt Fence	52.5	30	14.25
		Total Sediment Reduction:		86%
Outfall 06				
First	Silt Fence	70	100	30
Second	Silt Fence	52.5	30	14.25
		Total Sediment Reduction:		86%
Outfall 07				
First	Silt Fence	70	100	30
Second	Silt Fence	52.5	30	14.25
		Total Sediment Reduction:		86%
Outfall 08				
First	Silt Fence	70	100	30
Second	Silt Fence	52.5	30	14.25
		Total Sediment Reduction:		86%
Outfall 09				
First	Silt Fence	70	100	30
Second	Silt Fence	52.5	30	14.25
		Total Sediment Reduction:		86%
Outfall 10				
First	Silt Fence	70	100	30
Second	Silt Fence	52.5	30	14.25
		Total Sediment Reduction:		86%
Outfall 11				
First	Silt Fence	70	100	30
Second	Silt Fence	52.5	30	14.25
		Total Sediment Reduction:		86%
Outfall 12				
First	Silt Fence	70	100	30
Second	Silt Fence	52.5	30	14.25
		Total Sediment Reduction:		86%
Outfall 13				
First	Silt Fence	70	100	30
Second	Silt Fence	52.5	30	14.25
		Total Sediment Reduction:		86%
Outfall 14				
First	Silt Fence	70	100	30
Second	Silt Fence	52.5	30	14.25
		Total Sediment Reduction:		86%
Outfall 15				
First	Silt Fence	70	100	30
Second	Silt Fence	52.5	30	14.25
		Total Sediment Reduction:		86%
Outfall 16				
First	Silt Fence	70	100	30
Second	Silt Fence	52.5	30	14.25
		Total Sediment Reduction:		86%
Outfall 17				
First	Silt Fence	70	100	30
Second	Silt Fence	52.5	30	14.25
		Total Sediment Reduction:		86%
Outfall 18				
First	Silt Fence	70	100	30
Second	Silt Fence	52.5	30	14.25
		Total Sediment Reduction:		86%



LIBERTY PARK
 BRAYFIELD CREST DRIVE EXTENSION
 PRELIMINARY PLAT PACKAGE
 VESTAVIA HILLS, ALABAMA

DATE: 10/24/25
 PERMIT SET
 REVISIONS:
 DETAILS
 DRAWN BY: S.L.S.
 CHECKED BY: A.F.P.
 REF. NAME: 25-04-004
 C10-3



SouthWest Water Company

STANDARD TESTING REQUIREMENTS FOR SANITARY SEWER

Date: 11-15
 Sheet: B
 Scale: AS SHOWN

ACCEPTANCE AND VACUUM TESTING OF MANHOLES

- ONLY MANHOLES TESTED AFTER INCREASE TO FINAL GRAVE WILL BE CONSIDERED FOR ACCEPTABILITY. MANHOLES IN HANDS SHALL NOT BE TESTED UNTIL INCREASE IS IN PLACE. HOWEVER, THE TEST MAY BE USED BY THE INSTALLER AS A PRELIMINARY TEST TO DETERMINE THE CONDITION OF THE MANHOLE PRIOR TO INCREASE. ALL MAIN AND SERVICE LINE CONNECTIONS WITH THE MANHOLE ACCOMMODATIONS SHALL BE TESTED PRIOR TO TESTING OF THE MANHOLE. REQUIREMENTS OF VACUUM TESTS: NO FRESH AIRS WILL BE ALLOWED IN A MANHOLE.
- INSTALL THE VACUUM TESTER AND ASSEMBLY AT THE TOP ACCESS OF A MANHOLE. MAKE SURE SUCH PIPES ARE PROPERLY GRADED FOR THE PRESSURES ASSIGNED FOR THE TEST. ALL PIPES ARE TO BE GRADED TO MATCH BLOW-OUT. BE SURE THE VACUUM TESTER IS PROPERLY ASSEMBLED TO THE MANHOLE. THE CROSS BRACE TO INSURE THAT THE INFLATABLE EQUIPMENT IS PROPERLY INSTALLED AND SEALS AGAINST THE STRAIGHT TOP OF THE MANHOLE.
- ATTACH THE VACUUM PUMP ASSEMBLY TO THE PROPER CONNECTION ON THE TEST HEAD ASSEMBLY. MAKE SURE THE VACUUM RATE/VALVE IS IN THE CLOSED POSITION. INFLATE SEAMING ELEMENT TO THE RECOMMENDED MAXIMUM PERMISSIBLE PRESSURE.
- START THE VACUUM PUMP AND ALLOW PRESSURE TO STABILIZE. OPEN THE INFLATOR/TEST BALL VALVE AND EVACUATE THE MANHOLE TO 1/2 THE (APPROXIMATE) NEGATIVE 5 PSI, (3.5 BAR).

ADDITIONAL TIME PER 7' (ELEVATION)

CLASSIFIED TIME	ADDITIONAL TIME PER 7'
40 SECONDS	5.0 SECONDS
70 SECONDS	6.5 SECONDS
90 SECONDS	8.0 SECONDS

FORCE MAIN SEWER TESTING

THE CONTRACTOR SHALL FINISH APPROVED EQUIPMENT. TESTING SHALL BE DONE IN THE PRESENCE OF THE SMC CONSTRUCTION INSPECTOR. TESTING WILL BE 1 1/2 TIMES THE NORMAL OPERATING PRESSURE, BUT NOT LESS THAN 150 POUNDS PER SQUARE INCH. THE SMC CONSTRUCTION INSPECTOR SHALL DETERMINE THE TEST PRESSURE AND TEST SECTIONS WHOSE SHALL BE LIMITED TO A MAXIMUM OF ONE MILE. TESTS WITH SHORTER SECTIONS WILL BE PERFORMED IN ACCORDANCE WITH AWA C-00. LEAKAGE SHALL NOT EXCEED THE FOLLOWING:

MAXIMUM LEAKAGE PER 100 FEET OF PIPE PER 24 HOURS

PIPE DIAMETER	MAXIMUM LEAKAGE PER 100 FEET OF PIPE PER 24 HOURS
4 INCHES	0.15 GPM
6 INCHES	0.25 GPM
8 INCHES	0.40 GPM
10 INCHES	0.60 GPM
12 INCHES	0.80 GPM
14 INCHES	1.00 GPM
16 INCHES	1.20 GPM
18 INCHES	1.40 GPM
20 INCHES	1.60 GPM
24 INCHES	2.00 GPM
30 INCHES	2.50 GPM

TESTS SHALL BE MADE WITH A PRESSURE RECORDING GAUGE AS PROVIDED BY SMC. THE CONTRACTOR SHALL PROVIDE ALL PERMITS FOR INSTALLING THE GAUGE.

GENERAL

UPON COMPLETION OF ALL OR PART OF A SEWER MAIN AND ITS APPURTENANCES, THE CONTRACTOR WILL BE REQUIRED TO TEST AND CERTIFY FOR ACCEPTABILITY. SEWER MAINS IN AREAS WHERE OTHER UTILITIES SHALL NOT BE LOCATED SHALL BE TESTED IN ACCORDANCE WITH THE SMC CONSTRUCTION INSPECTOR. SEWER MAINS IN AREAS WHERE OTHER UTILITIES SHALL NOT BE LOCATED SHALL BE TESTED IN ACCORDANCE WITH THE SMC CONSTRUCTION INSPECTOR. PRELIMINARY TESTS NOT CONSIDERED FOR ACCEPTABILITY. THE SMC CONSTRUCTION INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE ANY WORK IS TO BE PERFORMED ON THESE LINES. ALL OPERATING UTILITIES AND APPURTENANCES WHOSE NOT PASSING THE SPECIFIED TEST SHALL BE REPAIRED, OR REPLACED, AND RETESTED UNTIL ACCEPTABLE BY THE SMC CONSTRUCTION INSPECTOR. ANY SEWER MAINS THAT FAIL TO PASS THE TEST SHALL BE REPAIRED, OR REPLACED, AND RETESTED UNTIL ACCEPTABLE BY THE SMC CONSTRUCTION INSPECTOR. ALL OTHER TESTING NOT WITHIN THESE REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH SMC. TESTING SHALL BE DONE IN THE PRESENCE OF THE SMC CONSTRUCTION INSPECTOR. TESTING SHALL BE DONE IN THE PRESENCE OF THE SMC CONSTRUCTION INSPECTOR. TESTING SHALL BE DONE IN THE PRESENCE OF THE SMC CONSTRUCTION INSPECTOR.

GRAVITY SEWER TESTING (MAIN LINES)

ALL SEWER CONSTRUCTION SHALL BE TESTED AND ACCEPTED TO PREVENT SETTLEMENT OF FITTINGS AND MAJOR JOINTS WITH UNACCEPTED FULLY COMPRESSED. SEWERS SHALL BE WATERPROOF WITHIN THE ALLOWABLE LIMITS AND SHALL HAVE NO VISIBLE LEAKS. PIPE SHALL BE TESTED WITH WATER UNDER PRESSURE. THE WATER DIRECTION OF THE PIPE SHALL BE INDICATED THROUGHOUT THE SECTION. ANY JOINTS THAT FAIL TO PASS THE TEST SHALL BE REPAIRED, OR REPLACED, AND RETESTED UNTIL ACCEPTABLE BY THE SMC CONSTRUCTION INSPECTOR. TESTING SHALL BE DONE IN THE PRESENCE OF THE SMC CONSTRUCTION INSPECTOR. TESTING SHALL BE DONE IN THE PRESENCE OF THE SMC CONSTRUCTION INSPECTOR. TESTING SHALL BE DONE IN THE PRESENCE OF THE SMC CONSTRUCTION INSPECTOR.

MINIMUM TEST TIME PER PIPE DIA. PIPE (PER UN-PEEL UN-9-0)

PIPE DIA. (INCHES)	MINIMUM LENGTH FOR TEST (FEET)	SPECIFICATION TIME FOR LENGTH (H) SHOWN (minutes)							
		100 ft	150 ft	200 ft	250 ft	300 ft	350 ft	400 ft	450 ft
4	348	3:45	3:45	3:45	3:45	3:45	3:45	3:45	3:45
6	396	3:45	3:45	3:45	3:45	3:45	3:45	3:45	3:45
8	444	3:45	3:45	3:45	3:45	3:45	3:45	3:45	3:45
10	492	3:45	3:45	3:45	3:45	3:45	3:45	3:45	3:45
12	540	3:45	3:45	3:45	3:45	3:45	3:45	3:45	3:45
14	588	3:45	3:45	3:45	3:45	3:45	3:45	3:45	3:45
16	636	3:45	3:45	3:45	3:45	3:45	3:45	3:45	3:45
18	684	3:45	3:45	3:45	3:45	3:45	3:45	3:45	3:45
20	732	3:45	3:45	3:45	3:45	3:45	3:45	3:45	3:45
24	828	3:45	3:45	3:45	3:45	3:45	3:45	3:45	3:45
27	924	3:45	3:45	3:45	3:45	3:45	3:45	3:45	3:45
30	1020	3:45	3:45	3:45	3:45	3:45	3:45	3:45	3:45
33	1116	3:45	3:45	3:45	3:45	3:45	3:45	3:45	3:45
36	1212	3:45	3:45	3:45	3:45	3:45	3:45	3:45	3:45

PIPE DEFLECTION TESTING (MAIN LINES)

ALL INSTALLED PVC SANITARY SEWER IS REQUIRED TO BE TESTED FOR DEFLECTION BY THE CONTRACTOR. THE CONTRACTOR SHALL FINISH ALL FITTINGS, JOINTS, AND APPURTENANCES. TESTING SHALL BE DONE IN THE PRESENCE OF THE SMC CONSTRUCTION INSPECTOR. TESTING SHALL BE DONE IN THE PRESENCE OF THE SMC CONSTRUCTION INSPECTOR. TESTING SHALL BE DONE IN THE PRESENCE OF THE SMC CONSTRUCTION INSPECTOR.



VESTAVIA HILLS

Planning and Zoning Commission Planners Report

MEETING DATE

November 13, 2025

AGENDA ITEM

FP-25-7 Chris Burkhalter Is Requesting **Final Plat Approval** For **Burkhalter's Resurvey**. The Purpose For This Request Is To Combine Lots And Vacate Alley. The Property Is Owned By Chris Burkhalter and Is Zoned Vestavia Hills R-2.

BACKGROUND

Plat will combine Lot 17-A and 13-A to create 13-B. Plat also indicates vacated alley, approved with Res. 5585. Lot meets minimum requirements for R-2 zoning.

PLANNER'S REVIEW/RECOMMENDATION

ATTACHMENTS

1. Final

Conrad Garrison
City Planner



FP-25-7

Final Plat Application

Status: Active

Submitted On: 2/27/2025

Primary Location

929 OAKLAWN DR
VESTAVIA HILLS, AL 35216

Owner

Chris Burkhalter
Oaklawn 929 Vestavia , AL
335223

Applicant

Weygand LLC Jeff Lucas
 205-942-0086
 Info@weygand.com
 173 OXMOOR ROAD
Homewood, Alabama 35209

Project Information

Property Address*

929 Oaklawn Dr

Parcel ID Number

2800301008008000

Legal Description*

LOTS 15 THRU 17 BLK 5 SOUTH BHAM
HEIGHTS LAND CO

Current Zoning Classification*

NA online through Vestavia zoning map

Acreage*

0

Application Submission Date*

02/27/2025

Reason for Request*

Client is performing a resurvey record map and looking to vacate the alley in between the properties they own

Owner Information

Applications must be either submitted by the owner of the property or a representative duly appointed by the owner by way of a notarized letter and/or power of attorney.

By clicking this box, I hereby declare that the above information is true and that am the current owner of this property and I will represent this case.

Owner Name*

Chris Burkhalter

Company Name

Mailing Address*

929 Oaklawn Dr

Owner Email

ChristopherBurkhalter1@gmail.com

Phone Number*

12515102915

By checking this box, I hereby affirm that I am the representative of the owner duly authorized to represent this petition for rezoning. Simultaneously with this application, I am submitting notarized documentation from the owner which authorizes me to represent this case. If no authorization is provided, this application cannot be processed.

Representative for Owner

Brian Krogsgard

Company Name

Weygand LLC

Email*

ChristopherBurkhalter1@gmail.com

Mailing Address of Representative

Phone No. of Representative

Surveyor Information

Name*

Thomas Dreher

Company*

Weygand LLC

Mailing Address*

173 Oxmoor Dr

Phone Number*

12515102915

Registration Number

50407

Email*

ChristopherBurkhalter1@gmail.com



VESTAVIA HILLS

Planning and Zoning Commission Planners Report

MEETING DATE

November 13, 2025

AGENDA ITEM

FP-25-19 Cathy Pryor Is Requesting **Final Plat Approval** For Resurvey Of Shaw's Addition To Dolly Ridge Estates Plat No. 3 & Lot F-2 Of Dolly Ridge Estates. The Purpose For This Request Is To Amend Lot Lines. The Property Is Owned By Cathy Prior and Rowena Shaw and Is Zoned Vestavia Hills R-1.

BACKGROUND

Plat will amend the shared lot line between Lots D-3-1 and F-2 to create Lot D-3-1-A and Lot F-2-A. Lots will meet the minimum of R-1 zoning.

PLANNER'S REVIEW/RECOMMENDATION

ATTACHMENTS

1. Final


Conrad Garrison
City Planner

Final Plat Application


Applicant

Primary Location

FP-25-19

 Steven Clinkscales

4627 DOLLY RIDGE RD

 205-616-9864

VESTAVIA HILLS, AL 35243

Submitted On: Sep 9, 2025

@ steven@clinksurveying.com

User Advisory

Project Information

Property Address

4627 Dolly Ridge Road

Parcel ID Number

28 00 28 1 000 030.000

Legal Description

F-2 DOLLY RIDGE ESTATES MB 34 PG 19

Current Zoning Classification

R-1

Acreage

0.93

Application Submission Date

09/08/2025

Reason for Request

RESURVEY OF LOT F-2 DOLLY RIDGE ESTATES PB 34 PG 19 AND LOT D-3-1 OF FINAL PLAT SHAWS ADDITION TO DOLLY RIDGE ESTATES PLAT NO 3 PB 257 PG 15. READJUSTMENT OF COMMON LOT LINE.

Owner Information

Applications must be either submitted by the owner of the property or a representative duly appointed by the owner by way of a notarized letter and/or power of attorney.

By clicking this box, I hereby declare that the above information is true and that am the current owner of this property and I will represent this case.

--

Owner Name

Cathy Pryor

Company Name

--

Mailing Address

4627 Dolly Ridge Road Vestavia Hills, AL 35243

Owner Email

gcpryor@me.com

Phone Number

205-915-7227

By checking this box, I hereby affirm that I am the representative of the owner duly authorized to represent this petition for rezoning. Simultaneously with this application, I am submitting notarized documentation from the owner which authorizes me to represent this case. If no authorization is provided, this application cannot be processed.

--

Representative for Owner

Steven J. Clinkscales

Company Name

Clinkscales Land Surveying, LLC

Email

steven@clinksurveying.com

Mailing Address of Representative

12254 Hwy 280 Sterrett, AL 35147

Phone No. of Representative

205-671-1033

Surveyor Information

Name

Steven J. Clinkscales

Company

Clinkscales Land Surveying, LLC

Mailing Address

12254 Hwy 280 Sterrett, AL 35147

Phone Number

205-671-1033

Registration Number

AL REG. NO. 37248, CA-1084-LS

Email

steven@clinksurveying.com



VESTAVIA HILLS

Planning and Zoning Commission Planners Report

MEETING DATE

November 13, 2025

AGENDA ITEM

FP-25-20 LPJV, LLP Is Requesting **Final Plat Approval** For Bray Town Center Phase I Resurvey No. 1. The Purpose For This Request Is To Subdivide One Lot Into Two. The Property Is Owned By LPJV, LLP and Is Zoned Vestavia Hills PB.

BACKGROUND

Plat is creating Lot 4-A and 4-B. All easements will remain. Lots meet the minimum of Liberty Park PB.

PLANNER'S REVIEW/RECOMMENDATION

ATTACHMENTS

1. Final




Conrad Garrison
City Planner

Final Plat Application

FP-25-20

Submitted On: Oct 24, 2025

Applicant

 Shelia Stephenson
 205-313-1152
 @ sstephenson@schoel.com

Primary Location

10501-U2 LIBERTY PKWY
VESTAVIA HILLS, AL 35242

User Advisory

Project Information

Property Address

1145 Collier Dr

Parcel ID Number

28 00 13 2 000 001.009

Legal Description

Lot 4, Bray Town Center Phase I (MB 261 Pg 14)

Current Zoning Classification

PUD

Acreage

1.592

Application Submission Date

10/24/25

Reason for Request

Request to resurvey one existing lot into two new lots

Owner Information

Applications must be either submitted by the owner of the property or a representative duly appointed by the owner by way of a notarized letter and/or power of attorney.

By clicking this box, I hereby declare that the above information is true and that am the current owner of this property and I will represent this case.

--

Owner Name

Liberty Park Joint Venture

Company Name

--

Mailing Address

1000 Urban Center Dr, STE 235 Vestavia, AL 35242

Owner Email

--

Phone Number

205-945-6401

By checking this box, I hereby affirm that I am the representative of the owner duly authorized to represent this petition for rezoning. Simultaneously with this application, I am submitting notarized documentation from the owner which authorizes me to represent this case. If no authorization is provided, this application cannot be processed.

true

Representative for Owner

--

Company Name

Schoel Engineering Company

Email

sstephenson@schoel.com

Mailing Address of Representative

1001 22nd St S Birmingham, AL 35205

Phone No. of Representative

205-313-1152

Surveyor Information

Name

Mark W. Clark

Company

Schoel Engineering Company

Mailing Address

1001 22ns St S Birmingham, AL 35205

Phone Number

205-313-1140

Registration Number

19251

Email

mclark@schoel.com



VESTAVIA HILLS

Planning and Zoning Commission Planners Report

MEETING DATE

November 13, 2025

AGENDA ITEM

RZ-25-10 Paradox Properties, LLC Is Requesting Rezoning For 4308, 4312, 4316, and 4320 Dolly Ridge Rd. from Vestavia Hills R-4 to Vestavia Hills B-1.2 For The Purpose Of Professional Office Development.

BACKGROUND

Applicants are requesting rezoning on four lots on Dolly Ridge Rd. from R-4 to B-1.2 for dental offices. Development of the offices would follow the same pattern as the "In the Making" building and share an access and parking lot drive. The three buildings would share parking and trash and parking provided exceeds the required amount. Setbacks requested are 0' in the front and sides and 30' in the rear. The request appears consistent with the Cahaba Heights Village Plan and adjacent properties on Dolly Ridge Rd.

PLANNER'S REVIEW/RECOMMENDATION

Request be conditioned on professional office only, buildings to be developed in a residential style.

ATTACHMENTS

1. Final2




Conrad Garrison
City Planner

Rezoning Application

Applicant

Primary Location

RZ-25-10

 Joshua Watkins
 2055295723
 @josh.m.watkins@gmail.com

4308 DOLLY RIDGE RD
VESTAVIA HILLS, AL 35243

Submitted On: Sep 5, 2025

Additional Locations

4312 DOLLY RIDGE RD, VESTAVIA HILLS AL 35243
4316 DOLLY RIDGE RD, VESTAVIA HILLS AL 35243
4320 DOLLY RIDGE LN, VESTAVIA HILLS AL 35243

User Advisory

Property Information

Subject Property Address

4308 Dolly Ridge Road

Tax Parcel ID Number

28002220110360

Legal Description

Parcel I:

Lots 2 and 3, Block 1, according to the Survey of New Merkle Heights, as recorded in Map Book 19, Page 92, in the Office of the Judge of Probate of Jefferson County, Alabama.

Parcel II:

A portion of Lot 4, Block 1, according to the Survey of New Merkle Heights, as the same is recorded in the Office of the Judge of Probate of Jefferson County, Alabama, in Map Book 19, Page 92, more particularly described as follows:

Commence at the Southwest corner of said Lot 4 in Block 1 of New Merkle Heights Survey as recorded in Map Book 19 at Page 92 in the Probate Office of Jefferson County, Alabama and run thence East along the South line of said Lot 4 for a distance of 342.37 feet to the point of beginning of the portion of Lot 4 here considered; from the Point of Beginning thus established continue thence East along the said South line of said Lot 4 for a distance of 167.63 feet to a point on the West right of way line of a public road known as Dolly Ridge Road; thence turn an angle to the left of 60°22'30" and run along said West right of way line of said Dolly Ridge Road for a distance of 114.97 feet; thence turn an angle to the left of 119°37'30" and run West along the North line of said Lot 4 for a distance of 210 feet, more or less, to a point on said North line which is 360 feet East of the Northwest corner of said Lot 4; thence turn an angle to the left of 81°46' and run for a distance of 100.96 feet to the Point of Beginning.

Parcel III:

Part of Lot 5, Block 1, in the Survey of New Merkie Heights, as recorded in Map Book 16, Page 20 and Map Book 19, Page 92, in the Probate Office of Jefferson County, Alabama and situated in the SE 1/4 of NW 1/4 of Section 22, Township 18, Range 2 West, Jefferson County, Alabama, more particularly described as follows:

Commence at the Southwest corner of the SE 1/4 of NW 1/4 of Section 22, Township 18, Range 2 West; thence North along the West line of said 1/4-1/4 section for a distance of 426.5 feet to the Southwest corner of Lot 5, Block 1; thence at an angle of 91°49' to the right and along the South boundary line of said lot a distance of 363.5 feet for the point of beginning of the property herein described: thence continue along the South boundary of said lot in an Easterly direction for a distance of 200 feet to the West right of way line of the country road known as Caldwell Mill Road; thence in a Northerly direction along the West right of way line of said road for a distance of 115.4 feet; thence in a Westerly direction along the North line of Lot 5, Block 1, and parallel with the South line of said lot for a distance of 260.81 feet; thence at an angle of 91°49' to the left and parallel to the West line of said lot for a distance of 100 feet to the point of beginning.

Existing Parking Spaces

11

Proposed Parking Spaces

110

Submission Date

Type of Project

Action Requested:

From Existing Zoning Classification

R-4

To Requested Zoning Classification

B-1.2

For the Intended Purpose of:

Dental/Medical Offices

Acreage of Subject Property

~2

Acreage of Property to be Disturbed

~2

Setbacks

Front

0

Back

30

Side

0

Open Space

--

Lot Coverage Percentage

--

Tree Save Plan - I acknowledge that a if this is a new non-residential development or is a residential development in excess of 3 units, that I am required to submit a tree save plan concurrent with this application (excludes PUDs).

true

Owner Information

Applications must be either submitted by the owner of the property or a representative duly appointed by the owner by way of a notarized letter and/or power of attorney.

Property Owner Name

John Weaver, Member

Company Name

Paradox Properties LLC

Owner Address City State Zip

3015 Weatherton Drive
Mountain Brook, Alabama 35223

Owner's Phone Number

(859) 433-9305

Email Address of Owner

jweave12@gmail.com

By checking this box, I hereby affirm that I am the representative of the owner duly authorized to represent this petition for rezoning. Simultaneously with this application, I am submitting notarized documentation from the owner which authorizes me to represent this case. If no authorization is provided, this application cannot be processed.

true

Owner Representative/Responsible Party

Joshua Watkins

Company Name

J Watkins Law Firm LLC

Contact Email of Responsible Party

jwatkins@watkinsfiemonline.com

Mailing Address of Responsible Party

4000 Eagle Point Corp. Dr.
Birmingham, AL 35242

Phone No. of Responsible Party

205-529-5723

Email Address of Responsible Party

jwatkins@watkinsfiemonline.com

Project Engineer Information (if applicable)

Name

Bryan Pressnell

Company

Forty Dot 4 Engineering

Mailing Address

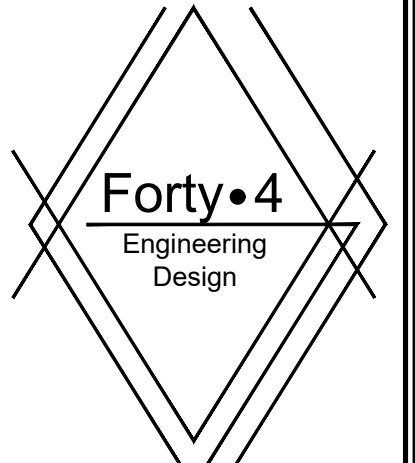
1703 McConnell Lane
Mount Olive, Alabama 35117

Phone Number

205-876-4335

Email

bryan@fortydot4.com



1703 McConnell Lane
Mount Olive, AL 35117
P: 205.876.4335
fortydot4.com

Engineer

Preliminary
Not For
Construction

**Dolly Ridge
Office Development**
Dolly Ridge Rd
Vestavia Hills, Alabama

Sheet Title:

**Preliminary
Layout**

Revisions:

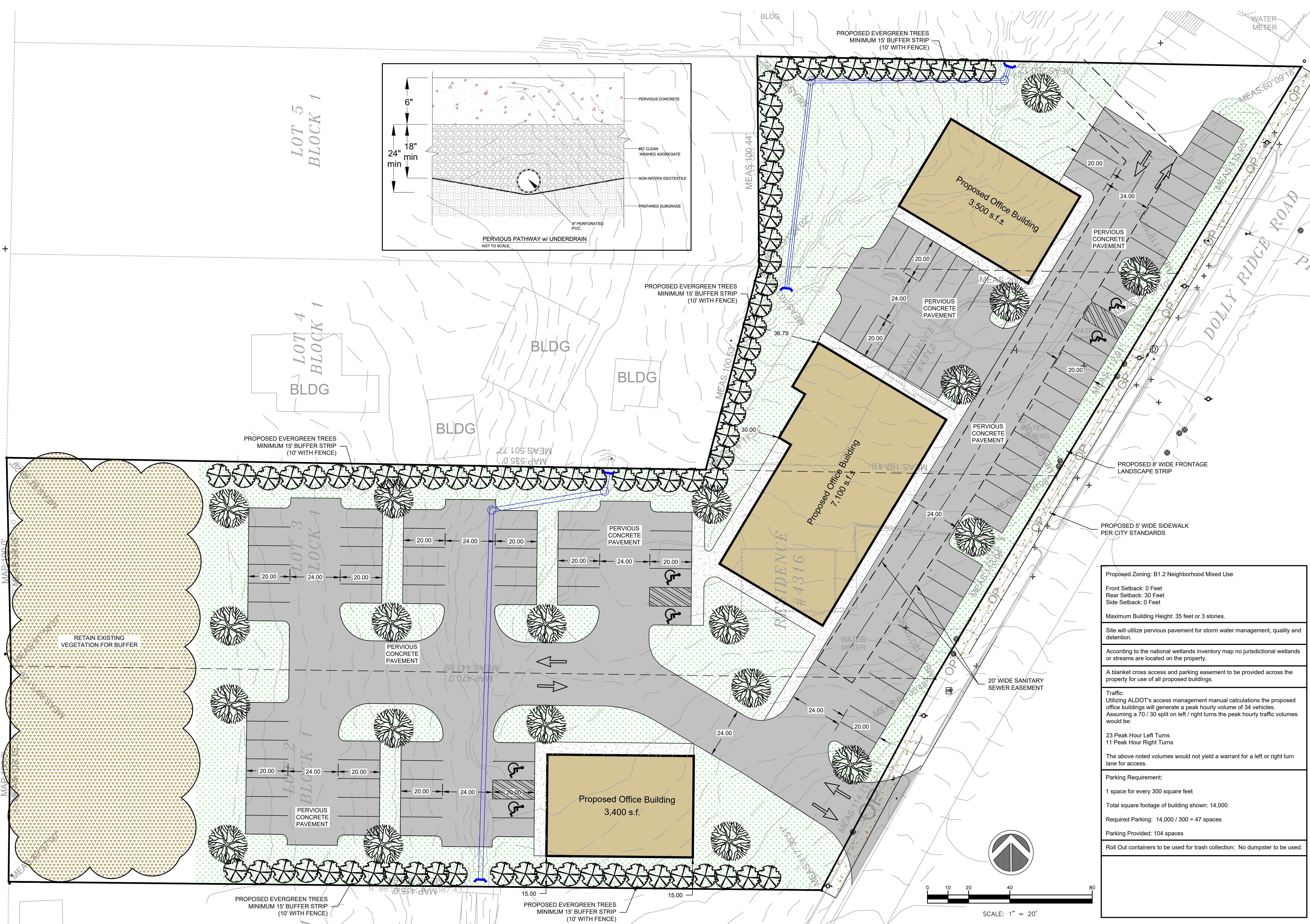
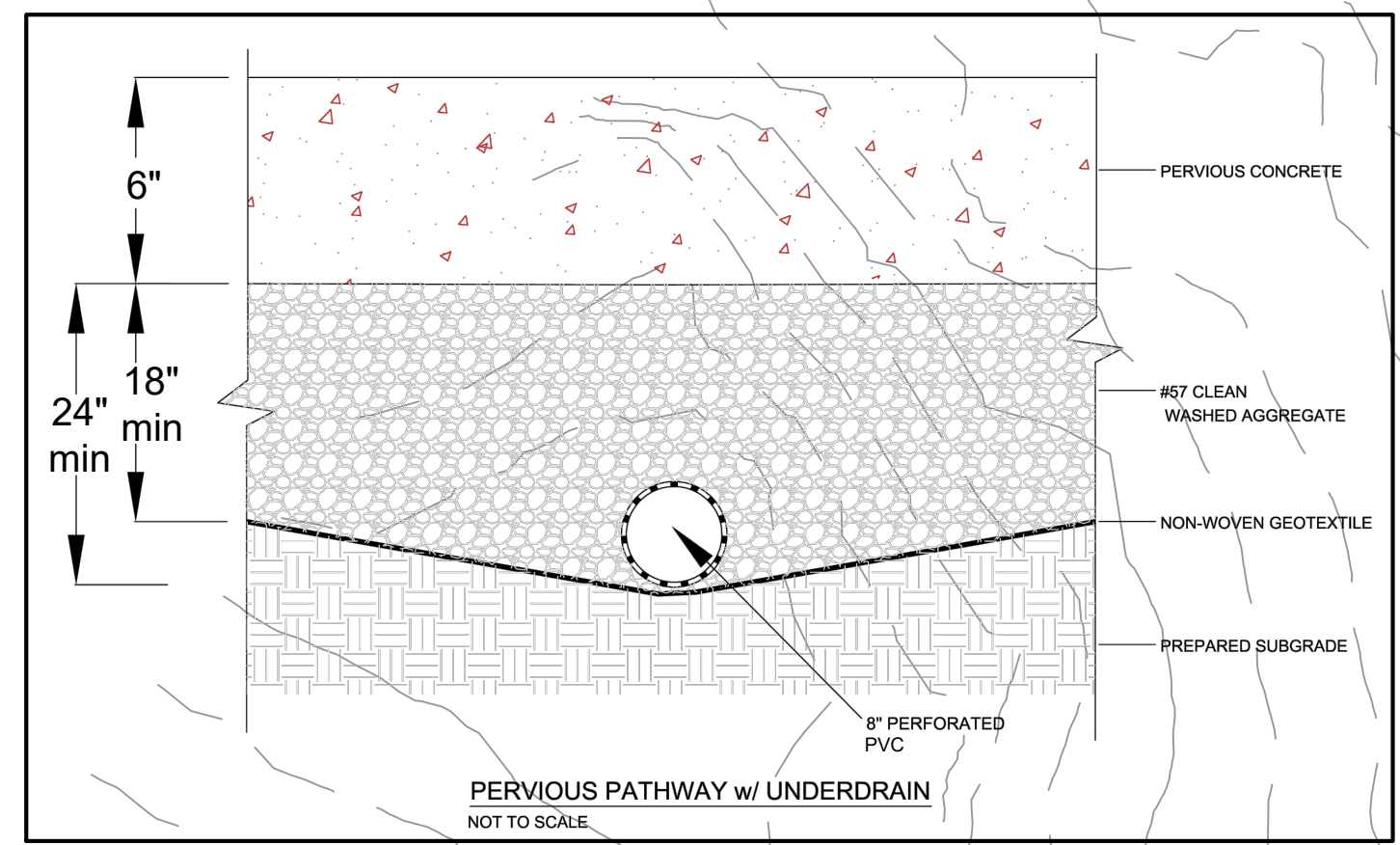
File:
Preliminary_07b

Date:
November 6, 2025

Scale:

Drawing:

C1.0



Proposed Zoning: B1.2 Neighborhood Mixed Use
Front Setback: 0 Feet Rear Setback: 30 Feet Side Setback: 0 Feet
Maximum Building Height: 35 feet or 3 stories.
Site will utilize pervious pavement for storm water management, quality and detention.
According to the national wetlands inventory map no jurisdictional wetlands or streams are located on the property.
A blanket cross access and parking easement to be provided across the property for use of all proposed buildings.
Traffic: Utilizing ALDOT's access management manual calculations the proposed office buildings will generate a peak hourly volume of 34 vehicles. Assuming a 70 / 30 split on left / right turns the peak hourly traffic volumes would be: 23 Peak Hour Left Turns 11 Peak Hour Right Turns The above noted volumes would not yield a warrant for a left or right turn lane for access.
Parking Requirement: 1 space for every 300 square feet Total square footage of building shown: 14,000 Required Parking: 14,000 / 300 = 47 spaces Parking Provided: 104 spaces
Roll Out containers to be used for trash collection; No dumpster to be used.



RYAN FREEMAN INC



**Preliminary Layout for
Dolly Rental
Road
4300 Dolly Ridge Road**

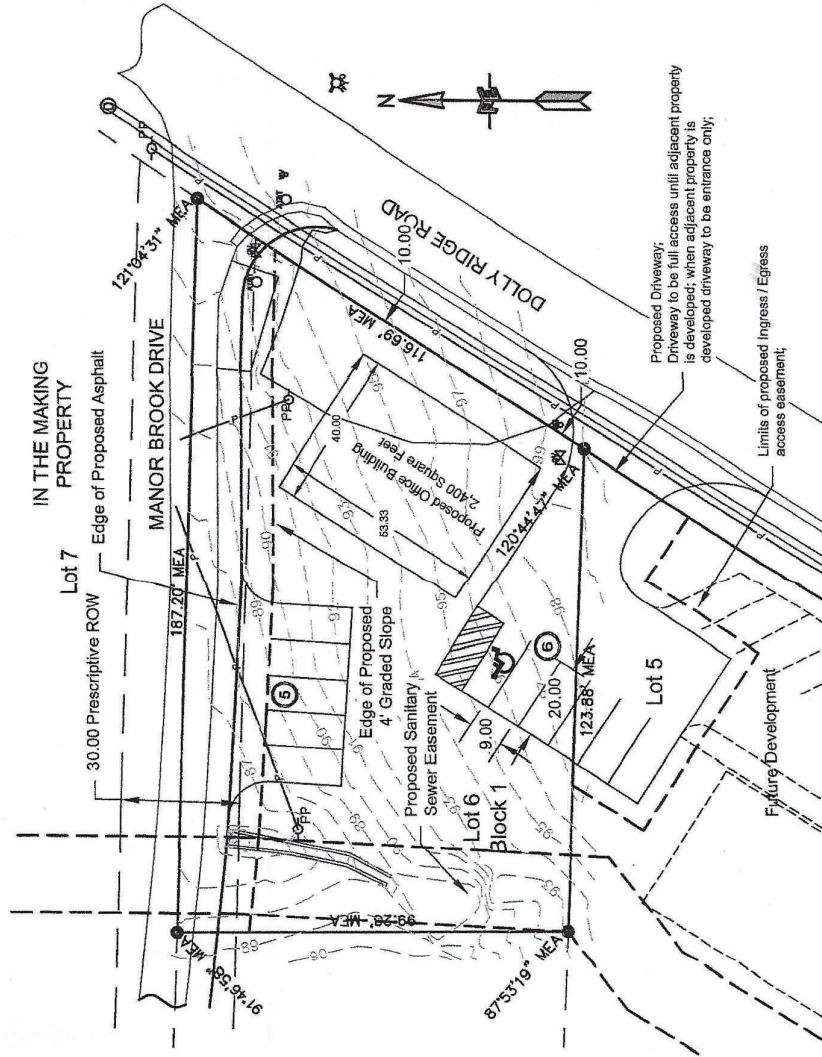
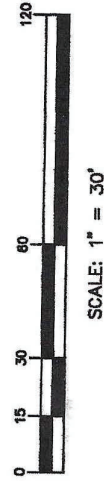
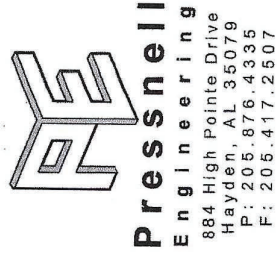
Site Information:

Current Zoning: R-4
Proposed Zoning: B-1.2

Legal Description: Lot 6 Block 1, less and except the west 501 feet of New Merkle Heights as recorded in Map Book 19, Page 92 in the office of the Judge of Probate, Jefferson County, Alabama.

Parking Requirement:

1 Space for each doctor plus 1 per employee.
Building will have 1 doctor and 3 employees, therefore 7 parking spaces required.
Site contains 11 parking spaces.



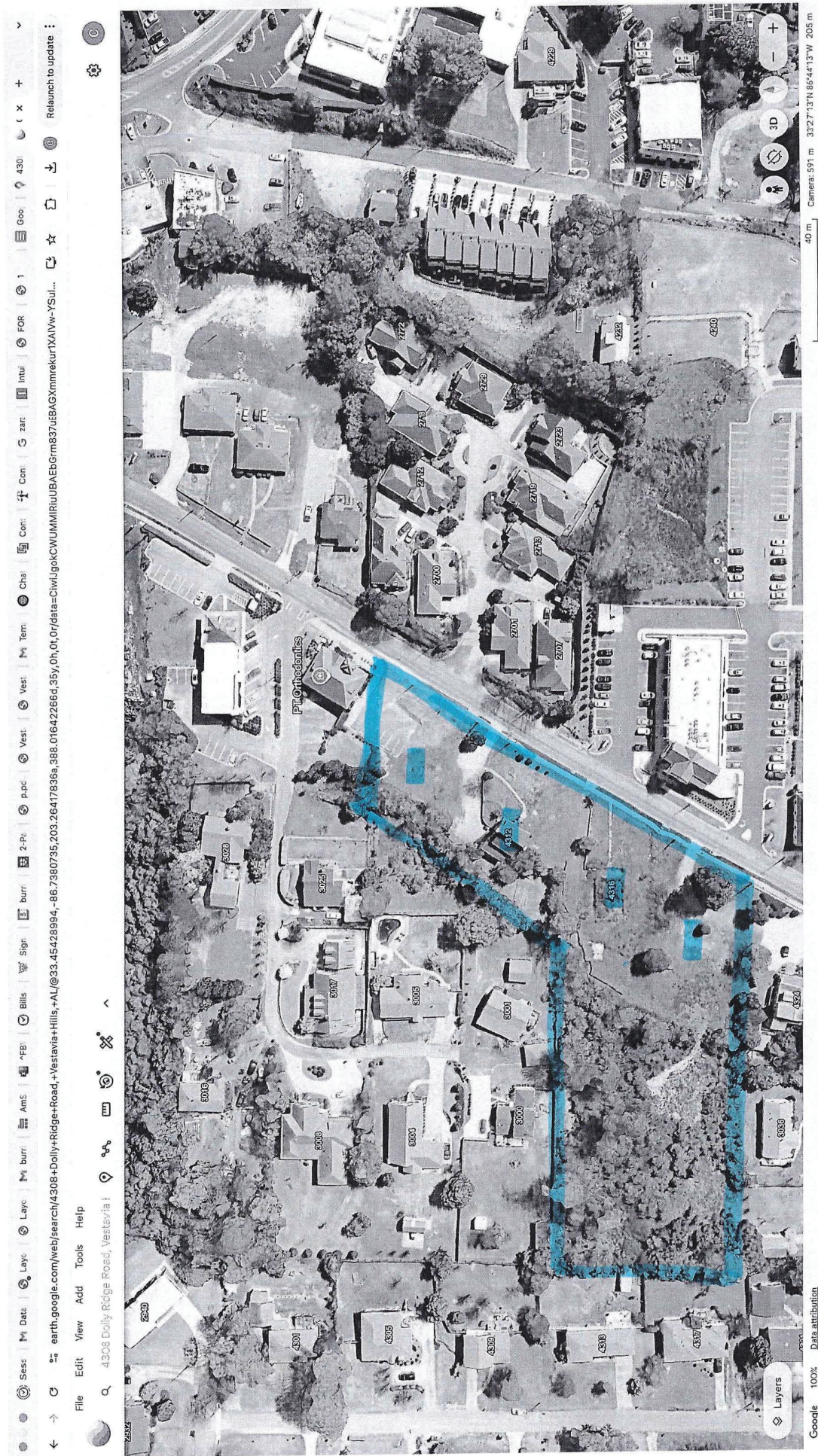


4308 Dolly Ridge Rd

4311 Dolly Ridge Rd
Vestavia Hills, Alabama
Google Street View
Jan 2022 See more dates

Google

Image capture: Jun 2022 © 2025 Google - United States - Terms - Privacy - Report a problem



Vestavia Hills Planning and Zoning Department
1032 Montgomery Highway
Vestavia Hills, AL 35216

Re: Rezoning Justification Letter for Parcel Comprising 4 Lots from R-4 to B-1.2 Light Mixed Use (4308, 4312, 4316, and 4320 Dolly Ridge Road)

To Whom It May Concern,

I am writing on behalf of the property owner, John Weaver, to respectfully request the rezoning of a parcel consisting of four (4) adjacent lots currently zoned R-4 (Residential) to B-1.2 Light Mixed Use. This request is made to facilitate the construction of four professional medical office buildings consistent with the established character and zoning of the surrounding area.

In 2015, the adjacent property to the west was successfully rezoned to B-1.2 and developed as a professional medical office. At that time, a small corner of one of the subject lots was also rezoned to B-1.2 to allow for a shared parking lot easement serving the medical office. The remaining portions of the subject lots have remained R-4 but are functionally and contextually integrated with the adjacent commercial use.

The subject lots are located on a significant traffic corridor, making them less suitable for single-family residential use and well-positioned for low-impact commercial development. Across the roadway to the east are parcels zoned R-6 (High Density Residential), further supporting the appropriateness of transitioning this site to a neighborhood-compatible commercial zoning designation.

The proposed B-1.2 zoning would permit development of four professional medical office buildings that mirror the design, scale, and use of the 2015 development. This zoning change aligns with both the existing land use patterns and the long-term vision for mixed-use corridors that support medical and professional services accessible to nearby residential communities.

We respectfully request favorable consideration of this rezoning application, as it represents a logical, compatible, and community-serving expansion of the existing B-1.2 zone.

Thank you for your attention and consideration.

Sincerely,

Joshua Watkins
Burrill Watkins LLC
Representing the Property Owner



ALTA COMMITMENT FOR TITLE INSURANCE

**Issued By
CHICAGO TITLE INSURANCE COMPANY**

NOTICE

IMPORTANT - READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACTIONAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I - Requirements; Schedule B, Part II - Exceptions; and the Commitment Conditions, Chicago Title Insurance Company, a Florida corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Amount of Insurance and the name of the Proposed Insured.

If all of the Schedule B, Part I - Requirements have not been met within 180 days after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

CHICAGO TITLE INSURANCE COMPANY

By: 
Michael J. Nolan
President

ATTEST: 
Marjorie Nemura
Secretary

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Chicago Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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COMMITMENT CONDITIONS

1. DEFINITIONS

- a. "Discriminatory Covenant": Any covenant, condition, restriction, or limitation that is unenforceable under applicable law because it illegally discriminates against a class of individuals based on personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or other legally protected class.
 - b. "Knowledge" or "Known": Actual knowledge or actual notice, but not constructive notice imparted by the Public Records.
 - c. "Land": The land described in Item 5 of Schedule A and improvements located on that land that by State law constitute real property. The term "Land" does not include any property beyond that described in Schedule A, nor any right, title, interest, estate, or easement in any abutting street, road, avenue, alley, lane, right-of-way, body of water, or waterway, but does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
 - d. "Mortgage": A mortgage, deed of trust, trust deed, security deed, or other real property security instrument, including one evidenced by electronic means authorized by law.
 - e. "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
 - f. "Proposed Amount of Insurance": Each dollar amount specified in Schedule A as the Proposed Amount of Insurance of each Policy to be issued pursuant to this Commitment.
 - g. "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
 - h. "Public Records": The recording or filing system established under State statutes in effect at the Commitment Date under which a document must be recorded or filed to impart constructive notice of matters relating to the Title to a purchaser for value without Knowledge. The term "Public Records" does not include any other recording or filing system, including any pertaining to environmental remediation or protection, planning, permitting, zoning, licensing, building, health, public safety, or national security matters.
 - i. "State": The state or commonwealth of the United States within whose exterior boundaries the Land is located. The term "State" also includes the District of Columbia, the Commonwealth of Puerto Rico, the U.S. Virgin Islands, and Guam.
 - j. "Title": The estate or interest in the Land identified in Item 3 of Schedule A.
2. If all of the Schedule B, Part I-Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.
 3. The Company's liability and obligation is limited by and this Commitment is not valid without:
 - a. the Notice;
 - b. the Commitment to Issue Policy;
 - c. the Commitment Conditions;
 - d. Schedule A;
 - e. Schedule B, Part I-Requirements; and
 - f. Schedule B, Part II-Exceptions; and
 - g. a counter-signature by the Company or its issuing agent that may be in electronic form.
 4. COMPANY'S RIGHT TO AMEND
The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company is not liable for any other amendment to this Commitment.

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Chicago Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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5. LIMITATIONS OF LIABILITY

- a. The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - i. comply with the Schedule B, Part I-Requirements;
 - ii. eliminate, with the Company's written consent, any Schedule B, Part II-Exceptions; or
 - iii. acquire the Title or create the Mortgage covered by this Commitment.
- b. The Company is not liable under Commitment Condition 5.a. if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- c. The Company is only liable under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- d. The Company's liability does not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Condition 5.a. or the Proposed Amount of Insurance.
- e. The Company is not liable for the content of the Transaction Identification Data, if any.
- f. The Company is not obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I-Requirements have been met to the satisfaction of the Company.
- g. The Company's liability is further limited by the terms and provisions of the Policy to be issued to the Proposed Insured.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT; CHOICE OF LAW AND CHOICE OF FORUM

- a. Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- b. Any claim must be based in contract under the State law of the State where the Land is located and is restricted to the terms and provisions of this Commitment. Any litigation or other proceeding brought by the Proposed Insured against the Company must be filed only in a State or federal court having jurisdiction.
- c. This Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- d. The deletion or modification of any Schedule B, Part II-Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- e. Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- f. When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT IS ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for closing, settlement, escrow, or any other purpose.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. CLAIMS PROCEDURES

This Commitment incorporates by reference all Conditions for making a claim in the Policy to be issued to the Proposed Insured. Commitment Condition 9 does not modify the limitations of liability in Commitment Conditions 5 and 6.

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Chicago Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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10. CLASS ACTION

ALL CLAIMS AND DISPUTES ARISING OUT OF OR RELATING TO THIS COMMITMENT, INCLUDING ANY SERVICE OR OTHER MATTER IN CONNECTION WITH ISSUING THIS COMMITMENT, ANY BREACH OF A COMMITMENT PROVISION, OR ANY OTHER CLAIM OR DISPUTE ARISING OUT OF OR RELATING TO THE TRANSACTION GIVING RISE TO THIS COMMITMENT, MUST BE BROUGHT IN AN INDIVIDUAL CAPACITY. NO PARTY MAY SERVE AS PLAINTIFF, CLASS MEMBER, OR PARTICIPANT IN ANY CLASS OR REPRESENTATIVE PROCEEDING. ANY POLICY ISSUED PURSUANT TO THIS COMMITMENT WILL CONTAIN A CLASS ACTION CONDITION.

11. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Amount of Insurance is \$2,000,000 or less may be arbitrated at the election of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

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COMMITMENT FOR TITLE INSURANCE

Issued By
CHICAGO TITLE INSURANCE COMPANY

ans
REVISION NO. 1
Print Date: 03/06/2025 at 14:28:58

Transaction Identification Data, for which the Company assumes no liability as set forth in Commitment Condition 5.e.:

Issuing Agent: Land Title Company of Alabama
Issuing Office: 600 North 20th Street, Suite 100, Birmingham, AL 35203
Issuing Office's ALTA® Registry ID: 0000016
Loan ID No.:
Issuing Office File No.: 9109T-24
Property Address: 4308 Dolly Ridge Road, Birmingham, AL 35243; 4312 Dolly Ridge Road, Birmingham, AL 35243; 4316 Dolly Ridge Road, Birmingham, AL 35243 and 4320 Dolly Ridge Road, Birmingham, AL 35243

SCHEDULE A

- 1. Commitment Date: March 5, 2025 at 08:00 AM
2. Policy to be issued:
a. ALTA Owners Policy (07/1/21)
Proposed Insured: Paradox Properties, LLC, an Alabama limited liability company
Proposed Policy Amount: \$1,075,000.00
The estate or interest to be insured: Fee Simple Interest
b. ALTA Short Form Residential Loan Policy One-to-Four Family Residence (07/1/21)
Proposed Insured: ANY MORTGAGEE, ISAOA, ATIMA.
Proposed Policy Amount: To be determined
The estate or interest to be insured: Fee Simple Interest
3. The estate or interest in the Land described or referred to in this Commitment is Fee Simple
4. The Title is, at the Commitment Date, vested in
G. Fred Acton, James B. Reardon and Anne Acton Reardon (Lot 2)
G. Fred Acton, James B. Acton, Ann Acton-Reardon (Lot 3)
James Blair Acton, George Frederick Acton, and Ann Acton Reardon (Part of Lot 4)
G. Fred Acton, Anne Acton-Reardon and James Blair Acton (Part of Lot 5)
5. The Land is described as follows: SEE EXHIBIT A ATTACHED HERETO

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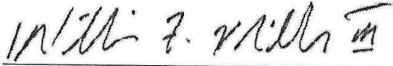
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SCHEDULE A
(Continued)

CHICAGO TITLE INSURANCE COMPANY

By: Land Title Company of Alabama
License No.: 0187964



William F. Miller, III, Authorized Signatory
License No: 655935

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CHICAGO TITLE INSURANCE COMPANY

EXHIBIT A

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE FOLLOWING COUNTY/COUNTIES JEFFERSON COUNTY, JEFFERSON COUNTY, JEFFERSON COUNTY, JEFFERSON COUNTY, IN THE STATE OF ALABAMA, AND IS DESCRIBED AS FOLLOWS:

Parcel I:

Lots 2 and 3, Block 1, according to the Survey of New Merkle Heights, as recorded in Map Book 19, Page 92, in the Office of the Judge of Probate of Jefferson County, Alabama.

Parcel II:

A portion of Lot 4, Block 1, according to the Survey of New Merkle Heights, as the same is recorded in the Office of the Judge of Probate of Jefferson County, Alabama, in Map Book 19, Page 92, more particularly described as follows:

Commence at the Southwest corner of said Lot 4 in Block 1 of New Merkle Heights Survey as recorded in Map Book 19 at Page 92 in the Probate Office of Jefferson County, Alabama and run thence East along the South line of said Lot 4 for a distance of 342.37 feet to the point of beginning of the portion of Lot 4 here considered; from the point of beginning thus established continue thence East along the said South line of said Lot 4 for a distance of 167.63 feet to a point on the West right of way line of a public road known as Dolly Ridge Road; thence turn an angle to the left of 60°22'30" and run along said West right of way line of said Dolly Ridge Road for a distance of 114.97 feet; thence turn an angle to the left of 119°37'30" and run West along the North line of said Lot 4 for a distance of 210 feet, more or less, to a point on said North line which is 360 feet East of the Northwest corner of said Lot 4; thence turn an angle to the left of 81°46' and run for a distance of 100.96 feet to the point of beginning.

Parcel III:

Part of Lot 5, Block 1, in the Survey of New Merkie Heights, as recorded in Map Book 16, Page 20 and Map Book 19, Page 92, in the Probate Office of Jefferson County, Alabama and situated in the SE 1/4 of NW 1/4 of Section 22, Township 18, Range 2 West, Jefferson County, Alabama, more particularly described as follows:

Commence at the Southwest corner of the SE 1/4 of NW 1/4 of Section 22, Township 18, Range 2 West; thence North along the West line of said 1/4-1/4 section for a distance of 426.5 feet to the Southwest corner of Lot 5, Block 1; thence at an angle of 91°49' to the right and along the South boundary line of said lot a distance of 363.5 feet for the point of beginning of the property herein described: thence continue along the South boundary of said lot in an Easterly direction for a distance of 200 feet to the West right of way line of the country road known as Caldwell Mill Road; thence in a Northerly direction along the West right of way line of said road for a distance of 115.4 feet; thence in a Westerly direction along the North line of Lot 5, Block 1, and parallel with the South line of said lot for a distance of 260.81 feet; thence at an angle of 91°49' to the left and parallel to the West line of said lot for a distance of 100 feet to the point of beginning.

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CHICAGO TITLE INSURANCE COMPANY

SCHEDULE B, PART I - REQUIREMENTS

The deed/mortgages creating the interest to be insured must contain the marital status of the grantor/mortgagor, if natural persons, as required by Alabama Code 35-4-73. The spouse of the grantor/mortgagor must join in the conveyance if the property is the homestead of either. If the property is not the homestead the document must recite "The property herein is not the homestead of the grantor or their spouse" as required by Alabama Code 6-10-3. All deeds must contain the Real Estate Validation form, or the information contained therein as required by Alabama Code 40-22-1. If grantor/mortgagor is not a natural person, the documents must be approved by proper entity resolution. If the interest is created by a purchase money mortgage, the mortgage 1. must recite "This is a purchase money mortgage. The entire proceeds of the loan are being applied to the purchase price of the property being conveyed simultaneously herewith"; 2. contain no future advance provisions and 3. be less than or equal to the purchase price.

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records in the county/counties set out in Exhibit A herein.
 - a. **Warranty Deed from G. Fred Acton, James B. Reardon and Anne Acton Reardon (Lot 2), G. Fred Acton, James B. Acton, Ann Acton-Reardon (Lot 3), James Blair Acton, George Frederick Acton, and Ann Acton Reardon (Part of Lot 4), G. Fred Acton, Anne Acton-Reardon and James Blair Acton (Part of Lot 5), and spouse when required by statute, to Paradox Properties, LLC, an Alabama limited liability company. Said deed to contain the marital status of the grantor. NOTE: Said deed to recite that G. Fred Acton is one and the same as George Frederick Acton, grantee in Warranty Deed recorded in Real 2611, Page 8. Also said deed to recite that Anne A. Reardon is one and the same as Anne Acton-Reardon, Anne Acton Reardon, and Ann Acton-Reardon, grantee in Warranty Deeds recorded in Book LR201364, Page 25571, Real 4019, Page 251, Real 2611, Page 8, and Instrument 9316/3387.**
 - b. **Mortgage from Paradox Properties, LLC, an Alabama limited liability company to ANY MORTGAGEE, securing the principal amount of \$0.00.**
 - c. **The sale, lease or other transfer of commercial real estate may give rise to a lien for broker compensation as provided by Section 35-11-450 et seq., Code of Alabama, 1975. We require a sworn written statement in recordable form from the Seller(s)/Buyer(s) or Lessor(s)/Lessee(s) that all compensation due or to become due under the listing, agency or any other brokerage agreement has been paid in full or has been waived in writing by the potential lien claimant, and that no written notice has been received regarding any unpaid or disputed amounts due for brokerage compensation.**

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SCHEDULE B – PART I
(Continued)

- d. The Company will require the following documents for review prior to the issuance of any title assurance predicated upon a conveyance or encumbrance from Paradox Properties, LLC, an Alabama limited liability company:
1. Articles of Organization and all amendments
 2. Operating Agreement and all amendments
 3. Resolution/Certificate of Authority (executed by ALL members):
 - a. detailing and approving the transaction and;
 - b. stating who has been authorized to sign on behalf of the LLC
 - c. A full and complete list of all current members
 4. Certificate of Compliance (Good Standing) from Alabama Department of Revenue
- The Company reserves the right to add additional items or make further requirements after review of the requested documentation.
- e. We require execution of a Owners/Sellers Affidavit with Indemnity certifying that subject property is not subject to any liens, encumbrances, contracts, leases, restrictions, easements, encroachments, unpaid taxes, municipal assessments, fire dues, association dues not shown herein. (Form available upon request).
- f. We require execution of a Litigation & Lien Affidavit certifying that the owner is not subject to any court orders or a party to any litigation (including insolvency proceedings) which would affect this transaction. (Form available upon request).
- g. We require execution of a Litigation & Lien Affidavit certifying that the purchaser is not subject to any court orders or a party to any litigation (including insolvency proceedings) which would affect this transaction. (Form available upon request).
- h. All papers to be filed in the Probate Office of Jefferson County, Alabama.
5. Prior to closing the transaction, an updated search of the Public Records must be performed. The Company reserves the rights to raise such further exceptions and requirements as an examination of the information revealed by such search requires.
6. We require satisfactory evidence that improvements and/or repairs or alterations thereto are completed; that contractor, subcontractor, labor and materialmen are all paid. **NOTE: Upon receipt of evidence satisfactory to this company as required herein and receipt of a properly executed Owner/Seller Affidavit, this item shall be omitted from the Loan Policy, as applicable. (Form available upon request)**

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72C170B

ALTA Commitment for Title Insurance (7-1-21)

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9109T-24

SCHEDULE B – PART I
(Continued)

7. Payment of all taxes, charges, assessments, levied and assessed against subject premises, which are due and payable.

2024 taxes:

PAID in the amount of \$3,067.10 under Parcel ID Number 28-00-22-2-011-036.000 (Taxes paid by Grace Ridge),

PAID in the amount of \$3,472.68 under Parcel ID Number 28-00-22-2-011-037.000 (Taxes paid by Grace Ridge),

PAID in the amount of \$5,456.18 under Parcel ID Number 28-00-22-2-011-038.000 (Taxes paid by Grace Ridge),

PAID in the amount of \$3,067.10 under Parcel ID Number 28-00-22-2-011-043.000 (Taxes paid by Grace Ridge)

The above tax information is provided for informational purposes only. Tax information has been based on the present assessment rolls, but is subject to any changes or future adjustments that may be made by the Tax Assessor or by the County Board of Equalization. No liability is assumed for the accuracy of the amount of taxes paid or for any changes imposed by county authorities.

8. We require statement from Jefferson County Sewer Service Department that all sanitary sewer service charges are paid. (Jefferson County Sewer Service Office - 205-325-5390).
9. Mortgage dated 04/15/15 from G. Fred Acton, Anne Acton-Reardon and James B. Acton to ServisFirst Bank, in the amount of \$175,000.00, filed for record 04/16/15 recorded in Book LR201561, page 20863, in the Probate Office of Jefferson County, Alabama. We require said mortgage to be satisfied of record or properly subordinated.
10. Assignment of Rents and Leases dated 04/15/15 by and between G. Fred Acton, Anne Acton-Reardon and James B. Acton and ServisFirst Bank, filed for record 04/16/15, recorded in Book LR201561, page 20877, in the Probate Office of Jefferson County, Alabama.
11. We require a letter from the City of Vestavia Hills as to the municipal assessments, if any due.
12. Terms and conditions of any unrecorded leases.

THIS IS THE END OF SCHEDULE B, PART I

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72C170B

ALTA Commitment for Title Insurance (7-1-21)

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9109T-24



CHICAGO TITLE INSURANCE COMPANY

SCHEDULE B, PART II - EXCEPTIONS

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This Commitment and the Policy treat any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document will be excepted from coverage.

The Policy will not insure against loss or damage resulting from the terms and conditions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Defects, liens, encumbrances, adverse claims, or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed Insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.
2. All taxes for the year 2025 and subsequent years, not yet due and payable.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstances affecting the title that would be disclosed by an accurate and complete survey of the Land.
4. Rights or claims of parties in possession not shown by the public records.
5. Easements, or claims of easements not shown by the public records.
6. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
7. Taxes or special assessments which are not shown as existing liens by the public records.
8. Any prior reservation or conveyance, together with release of damages of minerals of every kind and character, including, but not limited to, oil, gas, sand and gravel in, on and under the Land.
9. Such state of facts as shown on record subdivision plat recorded in Map Book 19, page 92, Jefferson County Records.
10. **Right of way to Jefferson County, Alabama, recorded in Volume 6606, page 142, in the Probate Office of Jefferson County, Alabama.**
11. **Sanitary Sewer Easement Agreement as recorded in Book LR201515, page 16561, in the Probate Office of Jefferson County, Alabama.**
12. **Easement Agreement recorded in Book LR201515, page 16586 in the Probate Office of Jefferson County, Alabama.**
13. **Easement for public utilities recorded in Volume 6746, page 680 and Real 1061, page 321 in the Probate Office of Jefferson County, Alabama.**

THIS IS THE END OF SCHEDULE B, PART II

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Response to Staff Review Comments (Weaver – Dolly Ridge Project)

Rezoning Application: Dolly Ridge Professional Offices
Address: 4308, 4312, 4316, and 4320 Dolly Ridge Road
Current Zoning: R-4 (Residential)
Proposed Zoning: B-1.2 (Neighborhood Mixed Use)
Prepared by: J Watkins Law Firm LLC (Applicant Counsel)
Date: October 6th 2025

1. Building Elevations / Architecture (Exhibit A – Building Concept Elevation (“The Grove”))

Staff Comment: Confirm number of buildings, height, and total square footage.

Response:

- The revised plan includes three total buildings (previously four – one per parcel). The two central ~3,500 SF buildings have been combined into a single 7,100 SF structure for improved access and parking efficiency.
- Building height: ≤ 35 ft (two stories; primary use on first floor, secondary office/storage on second).
- Total square footage: Approx. 14,000–15,000 SF combined across all buildings.

2. Elevation & Material Consistency (Exhibit A – Building Concept Elevation (“The Grove”))

Staff Comment: Provide building elevations and clarify that design is compatible with surrounding structures.

Response:

Conceptual elevation demonstrates a complementary architectural style, similar scale, and matching materials to the adjacent PT Ortho building, both designed by Bill Whitaker Architecture. The final intended designs should ensure cohesive visual identity and contextual integration along the corridor.

3. Land Use / Zoning Limitation (Exhibit B – Proposed Use Limitation: Accorded with Zoning Code B-1.2 List)

Staff Comment: Clarify intended uses; indicate whether retail or restaurant uses are proposed.

- Response:
The rezoning is requested to allow office uses (professional and medical).
- Such conditional use limitation is acceptable, restricting principal uses to offices (professional and medical), with compatible ancillary uses.

4. Buffering and Setbacks (Exhibit C – Revised Preliminary Site Plan (07b-Layout, Rev. 9/22/25))

Staff Comment: Southern building is located 15' from the property line; a 15' landscape buffer is also required. Adjust layout to comply.

- Response:
The revised 07b-Layout shifts the southernmost building northward to provide the required 15' buffer along the southern property boundary.
- A 10' buffer with fence option remains available if minor adjustment is later necessary. The updated plan complies with B-1.2 buffering standards.

5. Utilities / Sewer Easement (Exhibit C – Revised Preliminary Site Plan (07b-Layout, Rev. 9/22/25))

Staff Comment: Confirm location of sanitary sewer easement (front vs. rear).

Response:

- A ~20' wide sanitary sewer easement is shown on the updated site plan.
- Exact alignment to be confirmed with BWWB during final engineering; current configuration reflects front-of-lot alignment.

6. Refuse Facilities (Exhibit C – Revised Preliminary Site Plan (07b-Layout, Rev. 9/22/25))

Staff Comment: Confirm dumpster pad or alternative refuse plan.

Response:

- Dumpster pad removed from site plan.
- Individual roll-out cans will be used by each building, consistent with City preference and adjacent B-1.2 development.

7. Parking / Access (Exhibit C – Revised Preliminary Site Plan (07b-Layout, Rev. 9/22/25))

Staff Comment: Confirm compliance with B-1.2 parking standards and driveway alignment.

Response:

- Proposed parking count materially exceeds the Article 8 base 1/250 SF requirement (including provision for additional 4 spaces per doctor plus 1 space per employee).
Proposed spaces +/- _____.
- Shared parking and cross-access easement further ensure adequate on-site capacity for all buildings and uses.
- Driveway alignment: Upper entrance revised to align with the driveway directly across Dolly Ridge per Vestavia Hills Staff direction.

- Final striping, ADA compliance, signage and such to be confirmed during construction permitting as appropriate.

8. Stormwater Management

Staff Comment: Provide additional information on water mitigation; calculations needed even with pervious concrete.

Response:

- The revised plan includes pervious pavement for primary parking areas to address both detention and quality.
- Pervious concrete installation to be adjusted as appropriate to meet water mitigation parameters by increasing the open-graded stone reservoir (base/subbase) thickness.
- Hydrology calculations to be provided during Construction Drawing submittal following rezoning approval, consistent with engineering department requirements.

9. Landscaping

Staff Comment: Provide landscape plan consistent with B-1.2 standards (frontage, perimeter buffers, etc).

Response:

- Landscape architect is being engaged to prepare a formal landscape plan per B-1.2 and Article 9 requirements and consistent with the surrounding area.
- Plan will include zoning appropriate design provisions, including:
 - Sidewalk in width consistent with the surrounding area
 - Appropriate frontage landscaping along Dolly Ridge
 - 5' perimeter buffer with decorative fence and/or evergreen screening as appropriate
 - 6' building foundation plantings and other such landscaping as prescribed
- Such appropriate landscaping plan will be submitted prior to final rezoning hearing.

10. Lighting

Staff Comment: Provide assurance of compliance with height and spillover limitations.

Response:

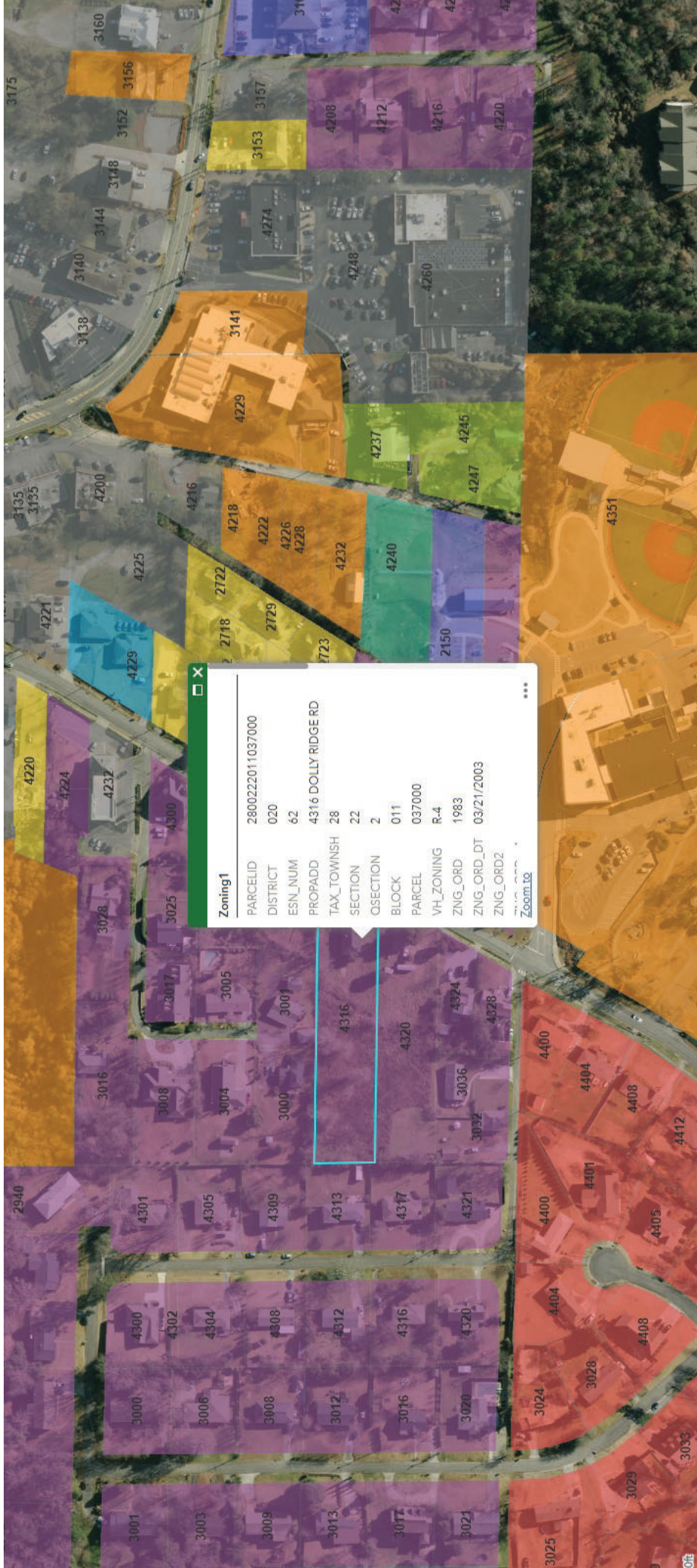
- Proposed site lighting to be full cutoff fixtures intended to showcase both building and landscape features while facilitating appropriate safety, between 8-12' in height per Article 6 requirements, and positioned to minimize glare or spillover to adjacent residential areas.
- Final plan will be submitted during Construction Drawing phase.

Attachments:

- Exhibit A – Building Concept Elevation (“The Grove”)
- Exhibit B – Proposed Use Limitation: Accorded with Zoning Code B-1.2 List (Principally Professional / Medical Office Use Intended)
- Exhibit C – Revised Preliminary Site Plan (07b-Layout, Rev. 9/22/25)
- Exhibit D – Water Management Calculation (with pervious concrete)
- Exhibit E – Draft Landscape Plan (*forthcoming)

Additional Notes

- Applicant confirms Bill Whitaker Architecture is engaged for all building design.
- Applicant to confirm Landscape Architect selection prior to final rezoning hearing.
- Applicant will submit final response package (site plan, elevations, landscape concept, and narrative) by October 15th, 2025 to meet November Planning Commission agenda deadline.



Zoning1	
PARCELID	2800222011037000
DISTRICT	020
ESN_NUM	62
PROPADD	4316 DOLLY RIDGE RD
TAX_TOWNSH	28
SECTION	22
QSECTION	2
BLOCK	011
PARCEL	037000
VH_ZONING	R-4
ZNG_ORD	1983
ZNG_ORD_DT	03/21/2003
ZNG_ORD2	
Zoom to	



VESTAVIA HILLS

Planning and Zoning Commission Planners Report

MEETING DATE

November 13, 2025

AGENDA ITEM

RZ-25-11 Canwyn LLC, LLC Is Requesting Rezoning For 4521 Pine Tree Cir. from Vestavia Hills O-1 to Vestavia Hills B-2 With A Conditional Use For Storage For The Purpose Of Construction Storage.

BACKGROUND

Currently, a construction company uses the building for office use only (meetings, billing, payroll, etc.). Company seeks rezoning and CU to allow for a 80' x 40' storage building that would hold construction equipment and materials with additional parking for employees and company vehicles.

PLANNER'S REVIEW/RECOMMENDATION

Recommendation is made that any construction equipment and/or materials be stored inside building with no outside storage allowed on premise to be recorded in covenants on the property and the zoning not be effective until recorded covenants are submitted to the Office of the City Clerk and attached to the proposed ordinance prior to the effective date of the ordinance/zoning. Rezoning and CU are limited to O-1 uses except for "Storage".

ATTACHMENTS

1. Final

Conrad Garrison
City Planner



RZ-25-11

Rezoning Application
Status: Active
Submitted On: 9/22/2025

Primary Location

4521 PINE TREE CIR
VESTAVIA HILLS, AL
35243

Owner

Canwyn, LLC
4521 Pine Tree Circle 4521
Vestavia, Alabama 35243

Applicant

Lauren Barrett
 205-531-0118
 lauren@barrettarchstudio.com
 4701 Jackson Loop
Vestavia, AL 35242-8102

Property Information

Subject Property Address*

4521 Pine Tree Circle, Vestavia Hills, AL
35243

Tax Parcel ID Number

Legal Description

Lot 23, Topfield Subdivision, Jefferson County Map Book 42, page 72

Existing Parking Spaces

7

Proposed Parking Spaces

11

Submission Date*

09/16/2025

Type of Project*

New Non-Residential Development/use

Action Requested:

From Existing Zoning Classification*

O-1

To Requested Zoning Classification*

B-2 w/Conditional Use for storage

For the Intended Purpose of:* 

Construction of a free-standing addition to be located in the rear yard of the property

Acreage of Subject Property*

1.05ac

Acreage of Property to be Disturbed*

0.294ac

Setbacks

Front

30

Back

30

Side

10

Open Space

0.16

Lot Coverage Percentage

25

Tree Save Plan - I acknowledge that a if this is a new non-residential development or is a residential development in excess of 3 units, that I am required to submit a tree save plan concurrent with this application (excludes PUDs). *



Owner Information

Applications must be either submitted by the owner of the property or a representative duly appointed by the owner by way of a notarized letter and/or power of attorney.

Property Owner Name*

Canwyn LLC

Company Name

Canopy Building Company

Owner Address City State Zip*

4521 Pine Tree Circle, Vestavia Hills, AL 35243

Owner's Phone Number*

2058763674

Email Address of Owner*

david@canopybuilding.com

By checking this box, I hereby affirm that I am the representative of the owner duly authorized to represent this petition for rezoning. Simultaneously with this application, I am submitting notarized documentation from the owner which authorizes me to represent this case. If no authorization is provided, this application cannot be processed.*



Owner Representative/Responsible Party ?

Lauren Barrett

Company Name

Lauren Barrett, Architect

Contact Email of Responsible Party

lauren@barrettarchstudio.com

Mailing Address of Responsible Party

4521 Pine Tree Circle, Vestavia Hills, AL 35243

Phone No. of Responsible Party

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Email Address of Responsible Party

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Project Engineer Information (if applicable)

Name

David Q. Haynes

Company

St. John and Assoc, Inc.

Mailing Address

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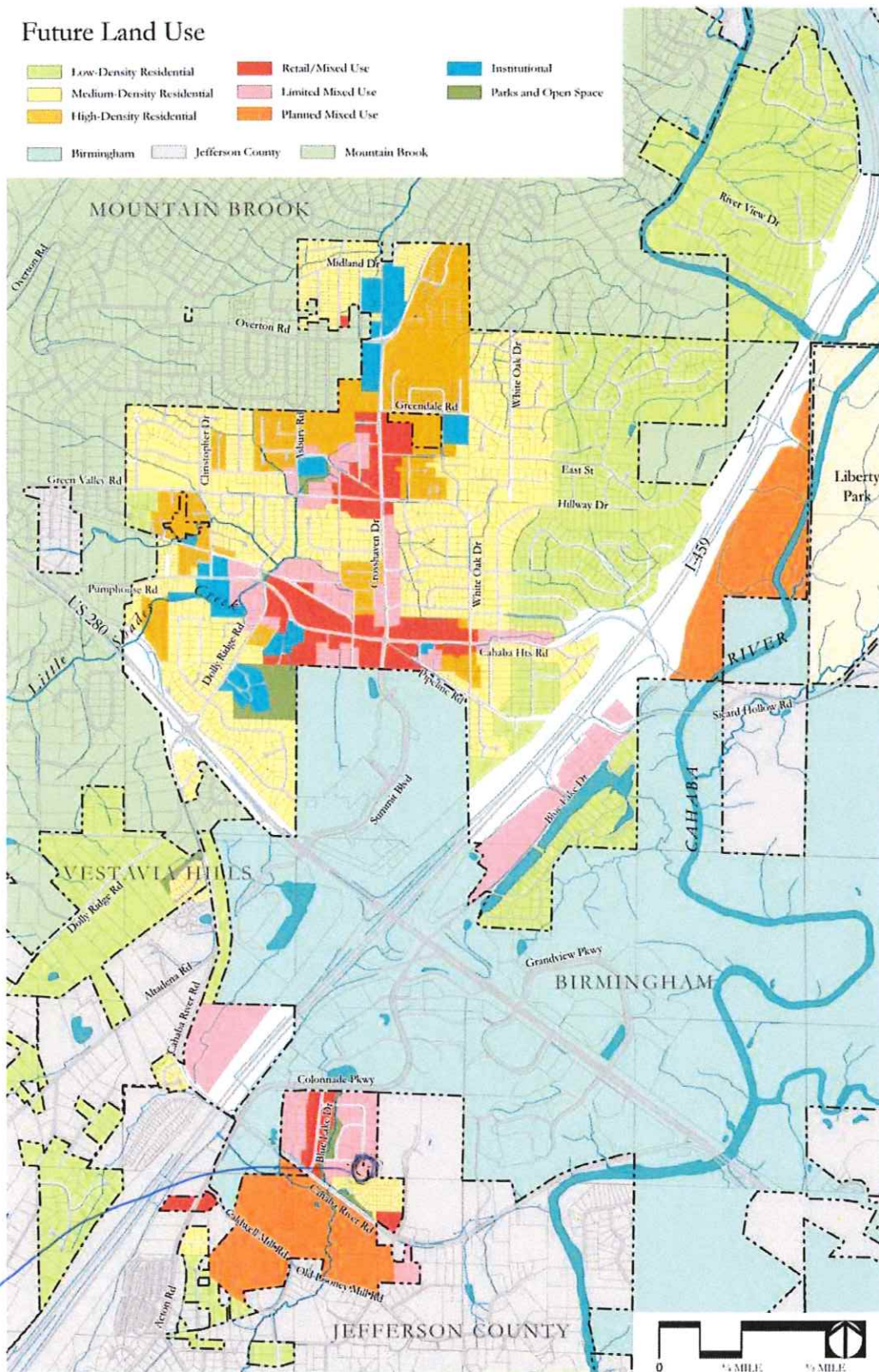
Zoning1

PARCELID	2800274001030000
DISTRICT	020
ESN_NUM	62
PROPADD	4521 PINE TREE CIR
TAX_TOWNSH	28
SECTION	27
QSECTION	4
BLOCK	001
PARCEL	030000
VH_ZONING	O-1
ZNG_ORD	2736
ZNG_ORD_DT	12/18/2017
ZNG_ORD2	1981

Zoom to

Future Land Use

- | | | |
|--|---|--|
|  Low-Density Residential |  Retail/Mixed Use |  Institutional |
|  Medium-Density Residential |  Limited Mixed Use |  Parks and Open Space |
|  High-Density Residential |  Planned Mixed Use | |
|  Birmingham |  Jefferson County |  Mountain Brook |



Subject Parcel

Figure 4: Future Land Use Map