



**Vestavia Hills
Design Review Board Agenda
January 4, 2024
6:00 PM**

1. Call to Order
2. Roll Call
3. Approval Of Minutes
4. **D-23-4** **Brian Crawford** is requesting **Architectural Review, Landscape Review, and Final Review of Materials** for the property located at 1437 Montgomery Hwy. The purpose of this request is for a new building. The property is owned by Brian Crawford and is zoned Vestavia Hills B-3.
5. Time Of Adjournment

CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
MINUTES

DECEMBER 7, 2023

The Vestavia Hills Landscape and Architectural Control Board met in a regular session on this date at 6:00 PM. The roll was called with the following:

MEMBERS PRESENT: Robert Thompson, Chairman
Jeff Slaton
Mae Coshatt
Chris Pugh

MEMBERS ABSENT: David Giddens
Joe Ellis
John Wood

OTHER OFFICIALS PRESENT: Conrad Garrison, City Planner

APPROVAL OF MINUTES

The minutes for November were presented for approval.

MOTION Motion to dispense with the reading of the minutes for November was made by Mrs. Coshatt and 2nd was by Mr. Slaton. Motion as carried on a voice vote as follows:

Mr. Pugh – yes	Mrs. Coshatt– yes
Mr. Slaton – yes	Mr. Thompson – yes
Motion carries.	

LANDSCAPE REVIEW

D-23-12 Vestavia MZL, LLC is requesting **Landscape Review** for the property located at **700 Montgomery Hwy.** The purpose of this request is for a new landscaping plan. The property is owned by Vestavia MZL, LLC and is zoned Vestavia Hills B-1.

Mr. Garrison described the background of the request stating it was for tree replacement for City Center.

The Board agreed with the plan.

MOTION Motion to approve Landscape Review 700 Montgomery Hwy. was made by Mrs. Coshatt. Second was made by Mr. Pugh. Voice vote as follows:

Mr. Pugh – yes
Mr. Slaton – yes
Motion carries.

Mrs. Coshatt– yes
Mr. Thompson – yes

ARCHITECTURE REVIEW, LANDSCAPE REVIEW & FINAL REVIEW OF MATERIALS

D-23-14 **Blackwater Real Estate, LLC** is requesting **Architecture Review, Landscape Review, and Final Review of Materials** for the property located at **3010 Healthy Way**. The purpose of this request is for a new building. The property is owned by Blackwater Real Estate, LLC and is zoned Vestavia Hills PB.

Mr. Garrison described the background of the request stating it was for a plant nursery at Patchwork Farms.

Wade Lowery, Paul DiGorio, and Marci Hollingsworth were present and explained the plan.

The Board agreed.

MOTION Motion to approve Architecture Review, Landscape Review, and Final Review of Materials with the amended exterior for 3010 Healthy Way was made by Mrs. Coshatt. Second was made by Mr. Slaton. Voice vote as follows:

Mr. Pugh – yes
Mr. Slaton – yes
Motion carries.

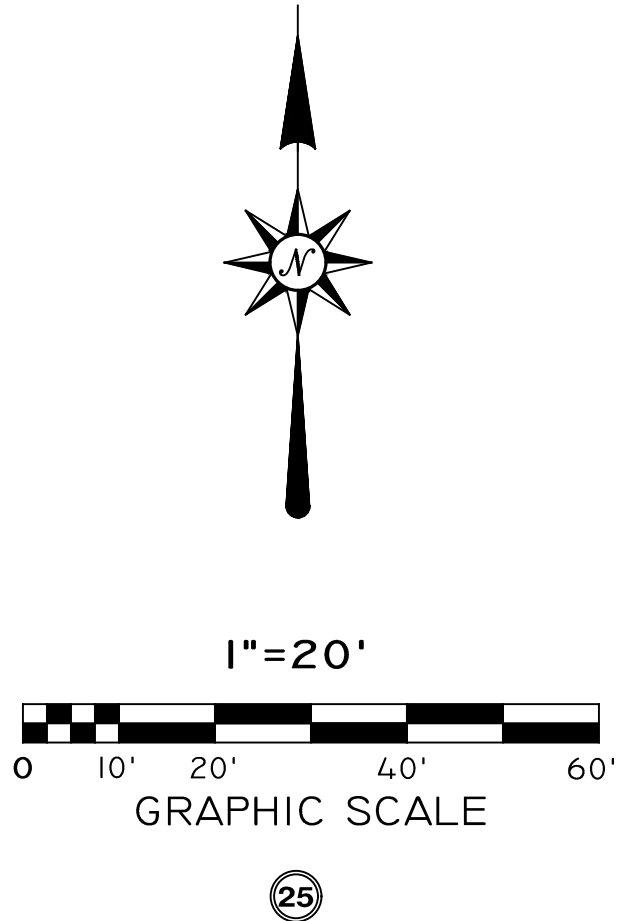
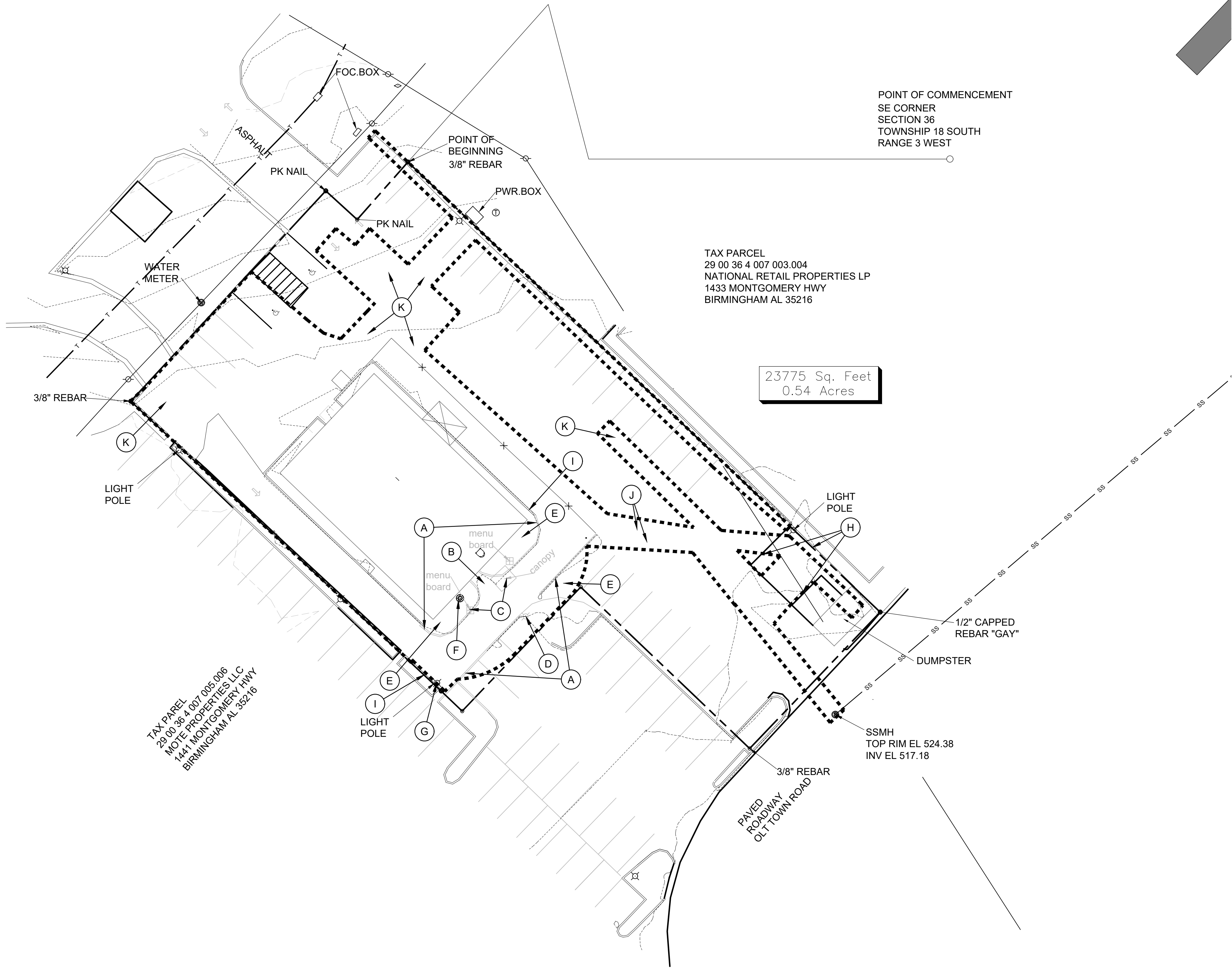
Mrs. Coshatt– yes
Mr. Thompson – yes

Conrad Garrison
City Planner

P:\2023 Projects\23HHA - H+HA\23HHA12 - Vestavia Hills, AL - Guthrie\Engineering\Construction Draw\23HHA12_R1.dwg Dec 07/2023 12:14 am



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DEMOLITION LEGEND

- (A) SAWCUT AND REMOVE EXISTING CURB
- (B) SAWCUT AND REMOVE EXISTING CONCRETE SIDEWALK.
- (C) REMOVE EXISTING MENU BOARD AND CANOPY
- (D) EXISTING SITE LIGHT POLE & POWER CONDUIT TO BE REMOVED. POLE AND FIXTURE ARE TO BE REMOVED AND RE-INSTALLED IN NEW LOCATION - SEE SITE PLAN FOR NEW LOCATION.
- (E) REMOVE EXISTING VEGETATION AT PLANTER ISLANDS
- (F) REMOVE EXISTING GAS METER. CONTRACTOR TO COORDINATE AND ASSIST SPIRE ENERGY FOR GAS METER REMOVAL AND REPLACEMENT.
- (G) EXISTING SITE LIGHT POLE, BASE AND FIXTURE TO REMAIN - PROTECT FROM DAMAGE.
- (H) REMOVE EXISTING FENCING.
- (I) SAWCUT AND REMOVE EXISTING CURB AND GUTTER.
- (J) SAWCUT AND REMOVE EXISTING ASPHALT PAVING AND CONCRETE PAVING AS REQUIRED FOR INSTALLATION OF NEW GREASE TRAPS AND SAMPLING PORT.
- (K) SAWCUT AND REMOVE EXISTING ASPHALT PAVING.

..... LIMITS OF DEMOLITION

DEMOLITION NOTES

- CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS AND BENCHMARKS. IF DESTROYED DURING CONSTRUCTION, CONTRACTOR SHALL REPLACE AT HIS EXPENSE.
- CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED ON AND ADJACENT TO THE SITE PRIOR TO BEGINNING WORK. ALL UTILITIES SHOWN ARE APPROXIMATE.
- ALL EXISTING IMPROVEMENTS (PAVING, CURB, SIDEWALKS, INLETS, ETC.) SHALL BE DEMOLISHED INSIDE THE DEMOLITION LIMITS UNLESS SPECIFIED OTHERWISE. ALL IMPROVEMENTS OUTSIDE DEMOLITION LIMITS SHALL REMAIN UNLESS SPECIFIED OTHERWISE. DEMOLITION INCLUDES REMOVAL OF BUILDING FOOTINGS AND UNDERGROUND UTILITIES THAT ARE NOT IN SERVICE. EXISTING UTILITIES TO REMAIN OPERATIONAL SHALL BE PROTECTED DURING CONSTRUCTION.
- CONTRACTOR SHALL SAFEGUARD ALL EXISTING UTILITIES WITHIN ADJACENT RIGHT-OF-WAY AND DEMOLITION LIMITS.
- ALL DEMOLITION OF EXISTING IMPROVEMENTS SHALL BE HAULED OFF AND DISPOSED OF IN A LEGAL MANNER. DEMOLISHED CONCRETE SHALL NOT BE INCORPORATED INTO FILL MATERIAL.
- CONTRACTOR SHALL ASSURE A SMOOTH, STRAIGHT LINE CUT. CONCRETE WORK (I.E., SIDEWALKS AND CURBS AND GUTTER) SHALL BE REMOVED BEGINNING AT CLOSEST CONSTRUCTION JOINT OR AT PROPERTY LINE, WHICHEVER IS CLOSER.
- ALL EXCAVATIONS ON SITE SHALL BE BACKFILLED AND COMPACTED ACCORDING TO PROJECT SPECIFICATIONS.
- ALL EXISTING UNDERGROUND IMPROVEMENTS (STORM, SANITARY, ETC.) MAY NOT BE SHOWN. CONTRACTOR SHALL REPORT TO OWNER AND ENGINEER IMPROVEMENTS FOUND DURING CONSTRUCTION FOR EVALUATION.
- NO WORK SHALL BE PERFORMED OUTSIDE THE DEMOLITION LIMITS.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY SERVICE PROVIDERS HAVING SERVICE TO THE SITE AND ADJACENT TO THE SITE AND SCHEDULE, COORDINATE AND ASSIST THE TERMINATION, RELOCATION AND RECONNECTION OF ALL UTILITIES NECESSARY TO PERFORM THE WORK.

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CONSULTING ENGINEERS-LAND SURVEYORS
3 RIVERCHASE RIDGE, HOOVER, AL 35244
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DEMOLITION PLAN
GUTHRIES
1437 HIGHWAY 31
VESTAVIA HILLS, AL
H+HA
BIRMINGHAM, AL

PROJECT

ENGINEER

DATE
12.7.23

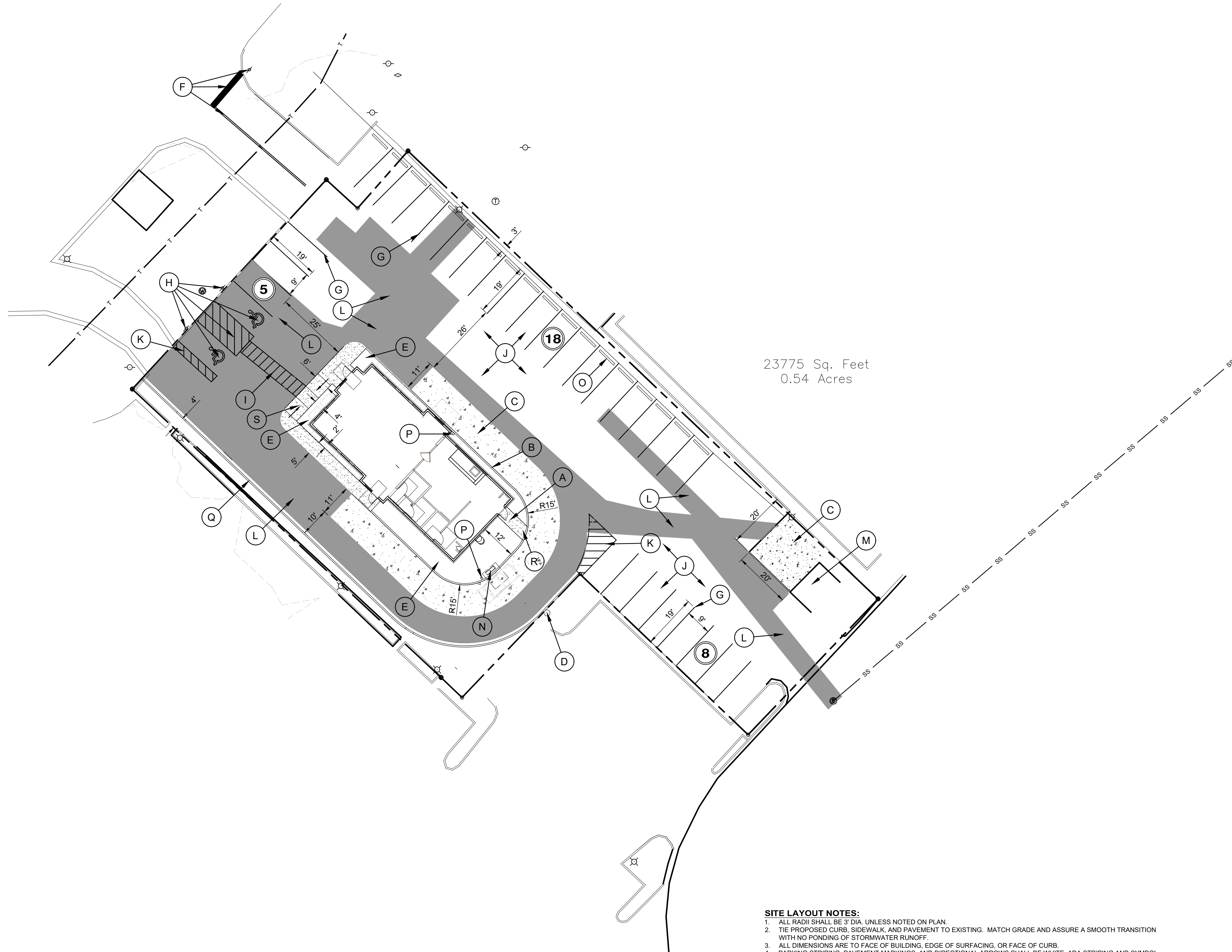
REVISIONS

JOB NO.
23HHA12
FILE NAME:
23HHA12 R1.DWG
DATE:
12.7.23
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CHECKED:
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SCALE:
SEE PLAN
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C1

P:\2023 Projects\23HHA - H+HA\23HHA12 - Vestavia Hills, AL - Guthrie\Engineering\Construction Draw\23HHA12_R1.dwg Dec 07/2023 1:16:14 am



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SITE LAYOUT NOTES:

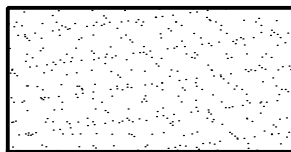
1. ALL RADII SHALL BE 3' DIA. UNLESS NOTED ON PLAN.
2. TIE PROPOSED CURB, SIDEWALK, AND PAVEMENT TO EXISTING. MATCH GRADE AND ASSURE A SMOOTH TRANSITION WITH NO PONDING OF STORMWATER RUNOFF.
3. ALL DIMENSIONS ARE TO FACE OF BUILDING, EDGE OF SURFACING, OR FACE OF CURB.
4. PARKING STRIPING, PAVEMENT MARKINGS, AND DIRECTIONAL ARROWS SHALL BE WHITE. ADA STRIPING AND SYMBOL SHALL BE BLUE UNLESS LOCAL CODES REQUIRE OTHERWISE.
5. FOR EXACT LOCATION OF UTILITY CONNECTIONS, BOLLARD LOCATION, AND OTHER BUILDING RELATED ITEMS AND INFORMATION REFER TO ARCHITECTURAL PLANS.
6. ALL CONCRETE SIDEWALKS AND CURB & GUTTER SHALL BE 3,500 PSI UNLESS NOTED OTHERWISE.



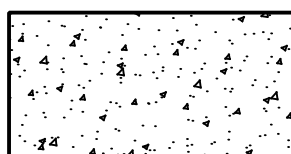
1.5" ASPHALT OVERLAY



FULL DEPTH PAVEMENT REQUIRED



SIDEWALK



CONCRETE PAVING

GENERAL NOTES:

1. THE EXISTING CONDITIONS, BOUNDARY, AND TOPOGRAPHICAL INFORMATION SHOWN ON THIS PLANS ARE PER A SURVEY COMPLETE AND PROVIDED BY RAY AND GILLILAND, P.C. DATED MARCH 21, 2023.
2. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL DEVICES TO CONTROL THE MOVEMENT OF TRAFFIC AS REQUIRED BY THE LATEST EDITION OF THE MUTCD.
3. IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
4. THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR THE METHODS AND/OR PROCEDURES OF CONSTRUCTION PERFORMED.
5. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
6. ALL PROPERTY CORNERS AND BENCHMARKS SHALL BE PROTECTED BY THE CONTRACTOR DURING CONSTRUCTION. IF DESTROYED THE CONTRACTOR SHALL REPLACE AT THEIR EXPENSE.
7. CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED WITHIN THE WORK AREA, THE AREA IMMEDIATELY ADJACENT TO THE WORK AREA, AND THE ADJOINING RIGHT-OF-WAY PRIOR TO STARTING CONSTRUCTION. ANY CONFLICTS OBSERVED SHALL BE REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
8. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
9. ADA SYMBOLS, SIGNS, AND RAMPS SHALL BE INSTALLED PER ADA, LOCAL, STATE, AND FEDERAL REQUIREMENTS. THE MAXIMUM SLOPE IN ADA AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION.
10. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS AND APPROVALS FROM AUTHORITIES AND REGULATORY AGENCIES HAVING JURISDICTION OVER THE SITE AND THE ADJACENT RIGHT-OF-WAYS, AS REQUIRED, PRIOR TO BEGINNING WORK.
11. THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR OBSERVING AND COMPLYING WITH ALL LAWS, REGULATIONS, ORDINANCES, COVENANTS, AND/OR CODES THAT IS APPLICABLE FOR THE CONTRACTOR TO PERFORM AND FINISH THEIR WORK.
12. THE SITE SHALL BE CLEANED OF ALL DEBRIS, TRASH, DIRT, VEGETATION, ETC AS REQUIRED PRIOR TO INSTALLATION OF THE ASPHALT SEALCOAT AND PAINT STRIPING.

REFER TO TENANT IMPROVEMENT PLANS FOR DETAILS AND LOCATIONS OF OVERHEAD CLEARANCE BAR, MENU BOARD, ORDER STATION, DIRECTION SIGNS, AND TENANT GRAPHICS.



1" = 20'



GRAPHIC SCALE

LAYOUT LEGEND

- (A) SIDEWALK / DELIVERY RAMP REQ'D. SEE DETAIL.
- (B) 6" STAND-UP CURB REQUIRED. SEE DETAIL.
- (C) CONCRETE PAVING "DYED BLACK" REQUIRED. SEE DETAIL.
- (D) PROPOSED LOCATION FOR RE-LOCATED SITE LIGHT POLE. REFER TO ELECTRICAL PLANS FOR POWER WIRING AND CONDUIT ROUTING.
- (E) LANDSCAPE ISLAND
- (F) 2' WIDE STOP BAR, DOUBLE YELLOW CENTER STRIPE AND R1-1 STOP SIGN REQUIRED. SEE DETAILS
- (G) 4" WIDE PAINTED WHITE PARKING LOT STRIPING REQUIRED - TYPICAL.
- (H) HANDICAPPED SIGN, SYMBOL AND ACCESS AISLE REQUIRED. SEE DETAIL. ADA PARKING AND ACCESSIBLE AISLE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- (I) CROSSWALK REQUIRED. SEE DETAIL.
- (J) 1.5" ASPHALT OVERLAY ON EXISTING PARKING LOT. THE CONTRACTOR SHALL INSTALL ALL NECESSARY CRACK FILLING AND SEALING PER ALDOT SPECIFICATIONS PRIOR TO INSTALLATION OF THE OVERLAY.
- (K) 6" WIDE PAINTED YELLOW "CHEVRON" STRIPING REQUIRED. CROSS HATCH STRIPING TO BE 2' CTC.
- (L) REPLACE ASPHALT PAVEMENT "IN LIKE KIND". FULL DEPTH STONE BACKFILL REQUIRED. LEVEL AS NECESSARY TO ASSURE POSITIVE DRAINAGE.
- (M) COVERED AND CURBED DUMPSTER ENCLOSURE REQUIRED REFER TO ARCHITECTURAL PLANS FOR DETAILS
- (N) MENU BOARD SEE TENANT PLAN FOR DETAILS
- (O) WHEEL STOP REQUIRED. SEE DETAIL.
- (P) PIPE BOLLARD REQUIRED. SEE DETAIL.
- (Q) 18" CURB AND GUTTER REQUIRED. SEE DETAIL.
- (R) DELIVERY RAMP REQUIRED. SEE DETAIL.
- (S) ADA/HANDICAPPED RAMP REQUIRED. SEE DETAIL.

PROJECT



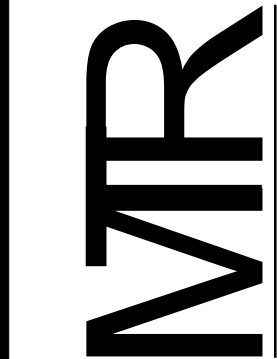
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DATE REVISIONS

JOB NO:	23HHA12
FILE NAME:	23HHA12 R1.DWG
DATE:	12.7.23
DRAWN:	T.T.
CHECKED:	DAR
SCALE:	SEE PLAN
SHEET	C2

SITE LAYOUT PLAN

GUTHRIES
1437 HIGHWAY 31
VESTAVIA HILLS, AL
H+HA
BIRMINGHAM, AL

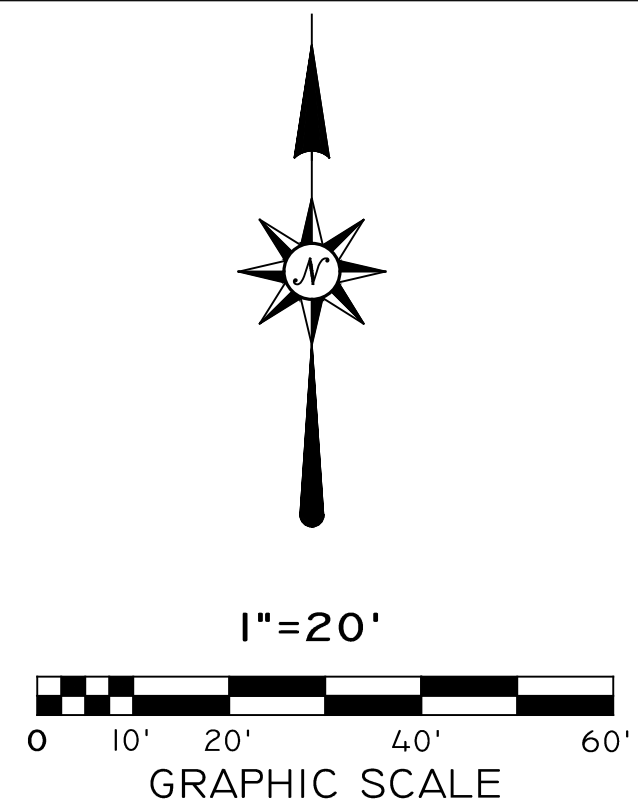


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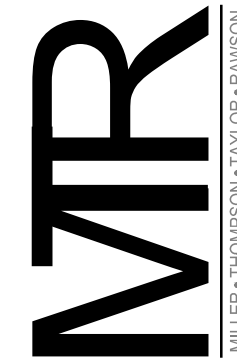
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- (A) 3 FOOT WIDE CURB OPENING REQUIRED. SEE DETAIL
- (B) SILT DYKE ON PAVEMENT REQUIRED. SEE DETAIL
- (C) 8" WATTLE REQUIRED. SEE DETAIL

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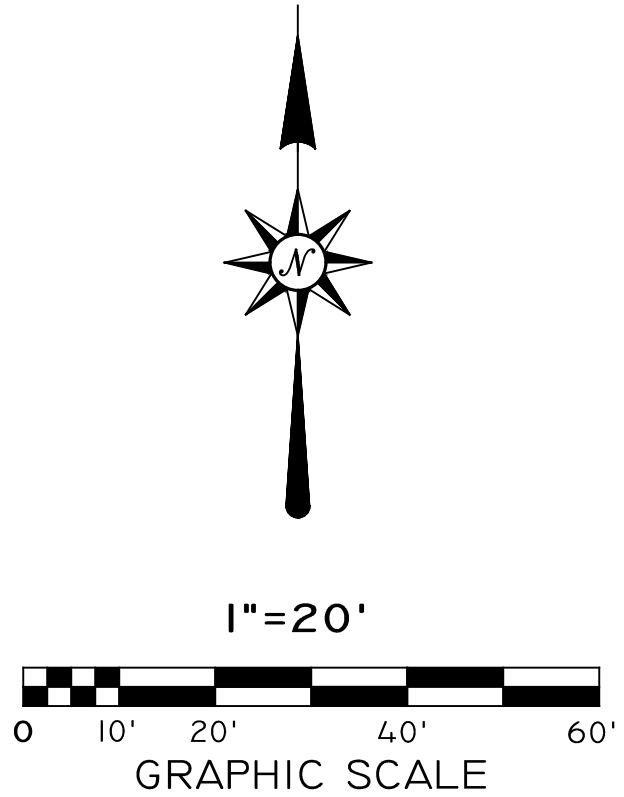
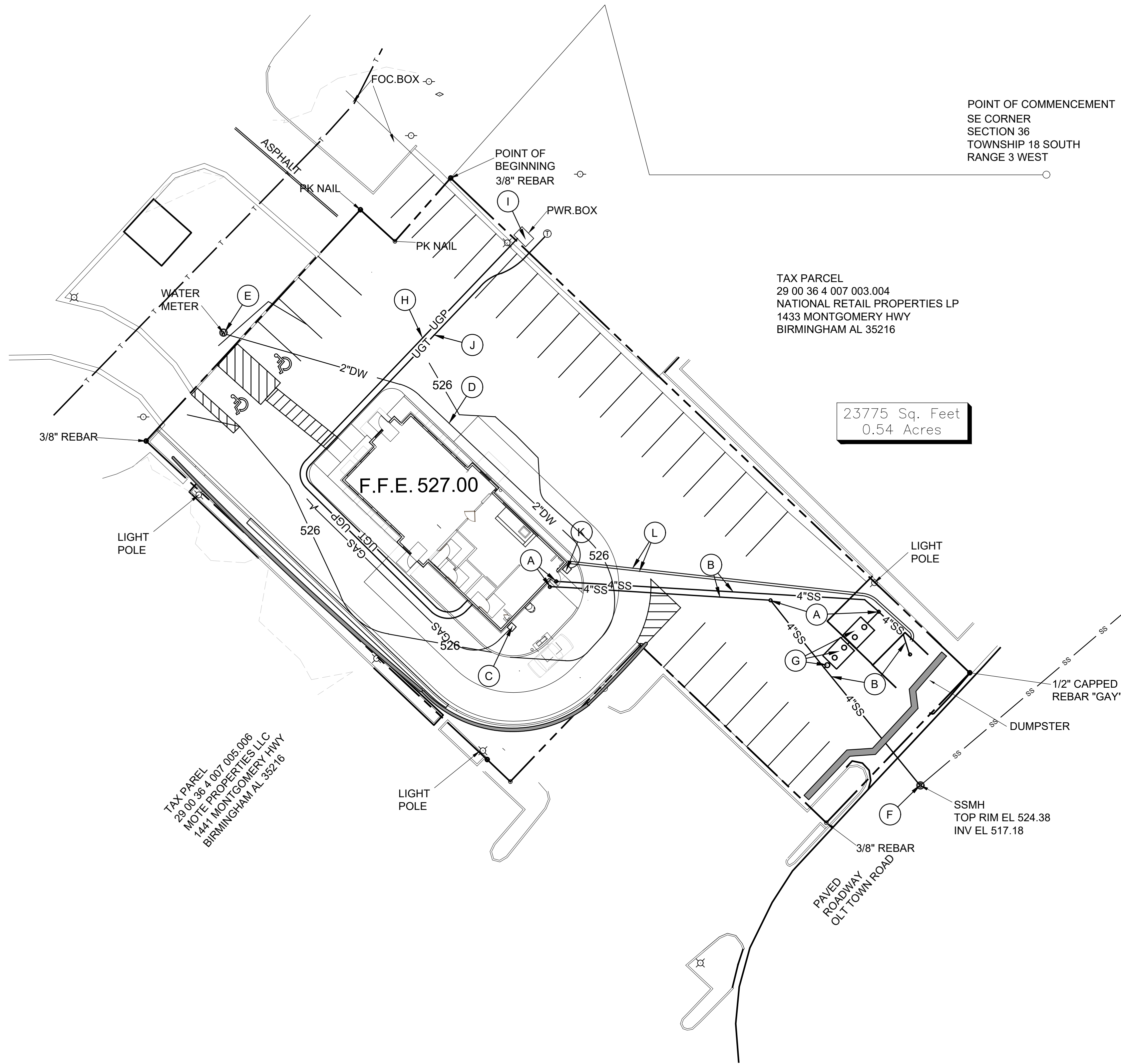
C3



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UTILITY LEGEND

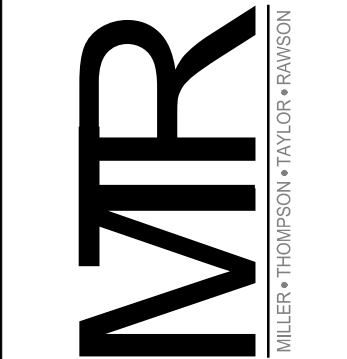
- (A) SANITARY SEWER CLEANOUT REQ'D-TYPICAL. SEE DETAIL.
INVERT ELEVATION OF CLEANOUT(S) AT BUILDING TO BE 30" BELOW F.F.E.
- (B) 4" C-900 SANITARY SEWER SERVICE LATERAL REQUIRED @ 2.0% MIN. GRADE.
- (C) PROPOSED LOCATION FOR GAS METER. GAS LINE AND METER TO BE SET BY GAS COMPANY.
- (D) 2" DOMESTIC WATER LINE REQ'D.
- (E) 2" WATER METER AND BACKFLOW PREVENTER PER WATER COMPANY SPECS.
- (F) CONNECT TO EXISTING SANITARY SEWER MAIN.
INVERT EL = 517.43
- (G) (2) 1000 GALLON PRE-CAST GREASE INTERCEPTOR WITH SAMPLING PORT
REQUIRED. SEE DETAIL.
- (H) (2) 5" PVC CONDUITS FOR UNDERGROUND POWER SERVICE.
CONTACT LOCAL UTILITY PROVIDER FOR COORDINATION.
- (I) EXISTING POWER TRANSFORMER
- (J) (2) 2" PVC CONDUITS FOR UNDERGROUND TELEPHONE, AND DATA SERVICE.
CONTACT LOCAL UTILITY PROVIDER FOR COORDINATION.
- (K) 2" WATER SHUT OFF VALVE IN BELOW GRADE CAST IRON BOX REQUIRED.
- (L) 1/2 INCH PVC SCHED. 40 PVC WATER LINES FOR HOT AND COLD WATER TO
DUMPSTER PAD REQUIRED.

NOTE:
CONTRACTOR IS RESPONSIBLE FOR
PROVIDING BURIED ELECTRICAL CONDUITS
FROM ALL SIGNS, LIGHT STANDARDS, OR
OTHER EXTERIOR ELECTRICAL DEVICES
ON-SITE TO ELECTRICAL PANEL IN
BUILDING. REF. ELECTRICAL PLANS.

UTILITY NOTES

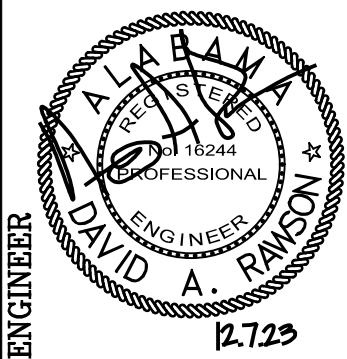
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO ANY EXISTING UTILITY DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER LINE AND SANITARY SEWER LINE IS 10 FEET, OR MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS (18) INCHES. (WATER LINE ABOVE SEWER LINE)
- DIMENSIONS SHOWN ARE TO CENTER LINE OF PIPE OR FITTING OR TO CENTER LINE OF MANHOLE.
- THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN PAVED AREAS SHALL MATCH FINISH GRADE. THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN GRASSED AREAS SHALL BE 6 INCHES ABOVE FINISHED GRADE (UNLESS OTHERWISE NOTED).
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL & MEP PLANS FOR ACTUAL NUMBER AND LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE, BUT NOT LIMITED TO, SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, SITE ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY AND UTILITY COMPANY REQUIREMENTS AS TO LOCATION AND SCHEDULING OF TIE-INS AND CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- CONTRACTOR SHALL COORDINATE UTILITY INSPECTION WITH APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES AT INSTALLATION.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND REQUIREMENTS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS AND AS-BUILT SURVEYS TO THE SATISFACTION OF THE UTILITY COMPANIES AND OWNER'S INSPECTING AUTHORITIES.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE BUT IS NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- THE UTILITY ROUTING SHOWN ON THIS PLAN IS A RESULT OF COORDINATION EFFORTS WITH LOCAL UTILITY AUTHORITIES. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FINAL UTILITY LOCATIONS WITH THE LOCAL GOVERNING UTILITY AUTHORITIES.
- CONTRACTOR SHALL ENSURE THAT UTILITIES TO ADJOINING PROPERTIES ARE NOT DISRUPTED AND SHALL ADJUST SERVICES AS NECESSARY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE APPROXIMATE. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL ALABAMA ONE CALL 1-800-292-6859 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR IS RESPONSIBLE TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ASSURE PROPER DEPTH AND PREVENT ANY CONFLICT OF UTILITIES.
- FIRE WATER LINE SHALL BE DUCTILE IRON PIPE AND SHALL COMPLY WITH CITY UTILITIES SPECIFICATIONS.
- CONTRACTOR TO COORDINATE WATER LINE INSTALLATION WITH CITY UTILITIES. ALL METERS, VAULTS, BACKFLOW DEVICES, PIPES, FITTINGS, VALVES AND APPURTENANCES SHALL MEET CITY UTILITIES SPECIFICATIONS.
- CONTRACTOR SHALL INSTALL SANITARY SEWER CLEAN-OUT WITHIN 30' FROM BUILDING FACE, AT EACH BEND AND EVERY 80' O.C. (MAX) FOR ALL LATERALS EXITING BUILDING.
- ALL UTILITY COVERS (PULL BOXES/LIDS/MANHOLE COVERS/ACCESS HATCHES/ETC.) THAT ARE INSTALLED IN PAVED AREAS SHALL BE TRAFFIC-BEARING H-20 LOAD RATED AND BE ADJUSTED TO FINISH GRADE.

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UTILITY PLAN
GUTHRIES
1437 HIGHWAY 31
VESTAVIA HILLS, AL
H+HA
BIRMINGHAM, AL

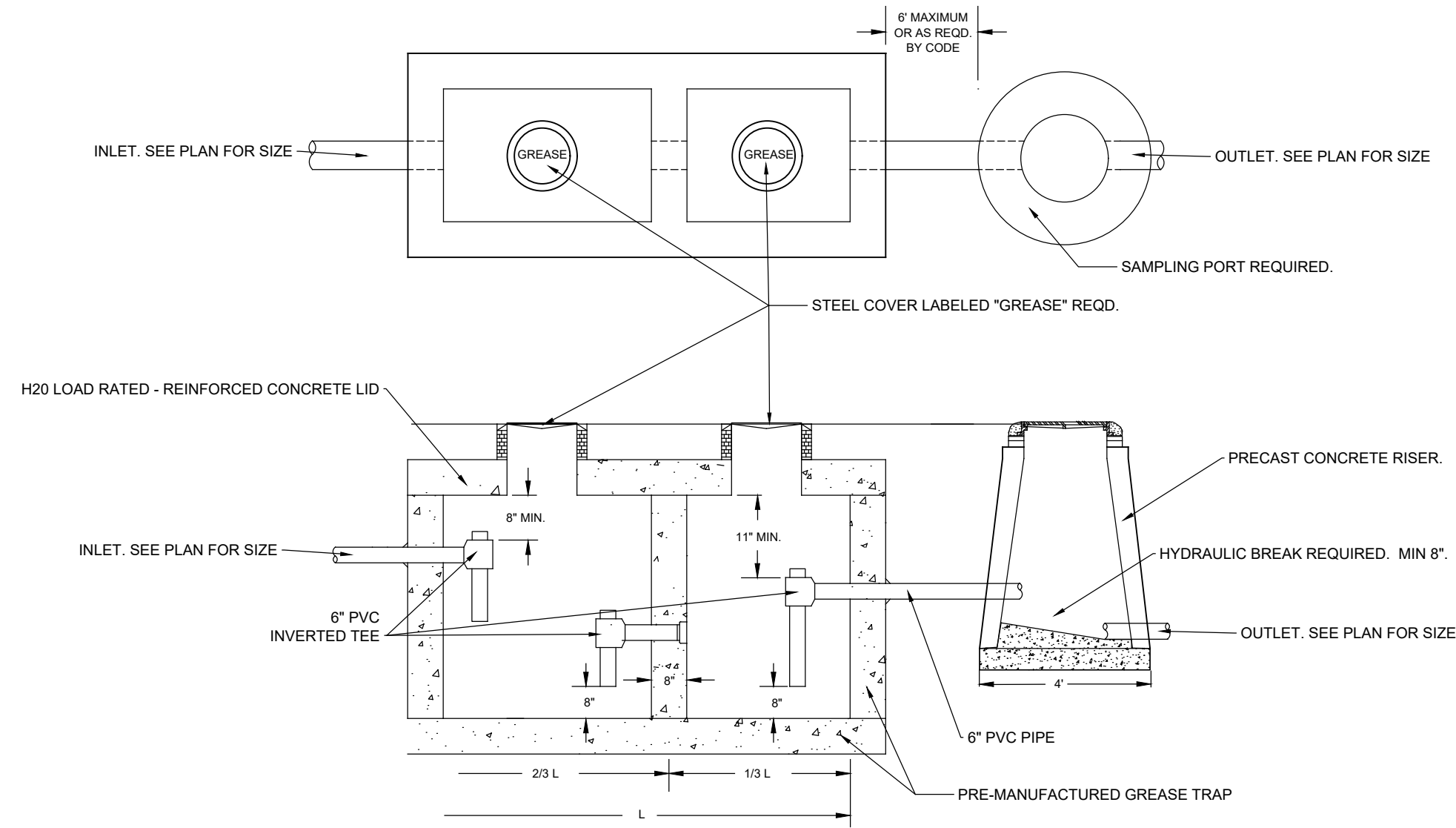
PROJECT



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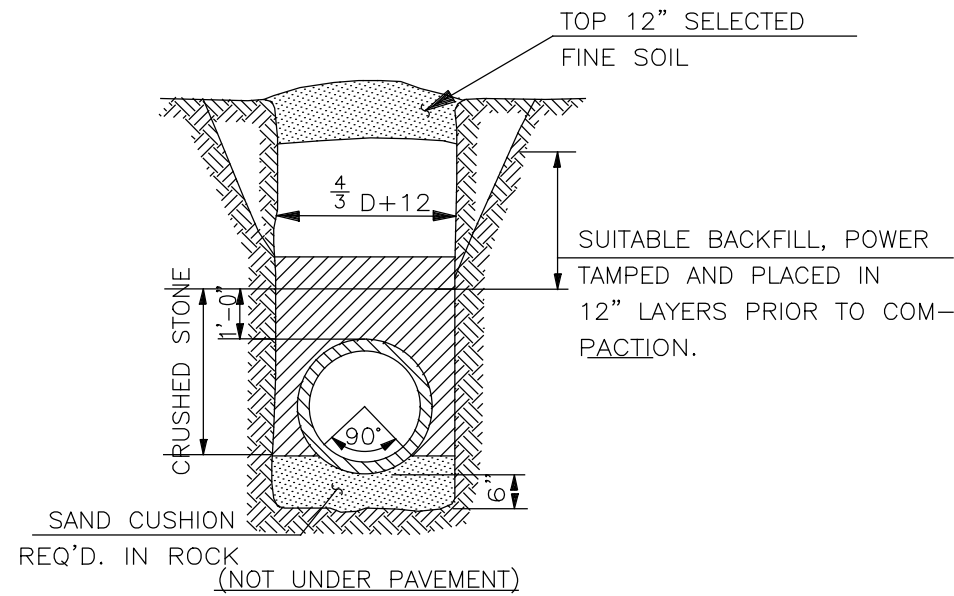
DATE REVISIONS

JOB NO:	23HHA12
FILE NAME:	23HHA12 R1.DWG
DATE:	12.7.23
DRAWN:	T.T.
CHECKED:	DAR
SCALE:	SEE PLAN
SHEET	C4

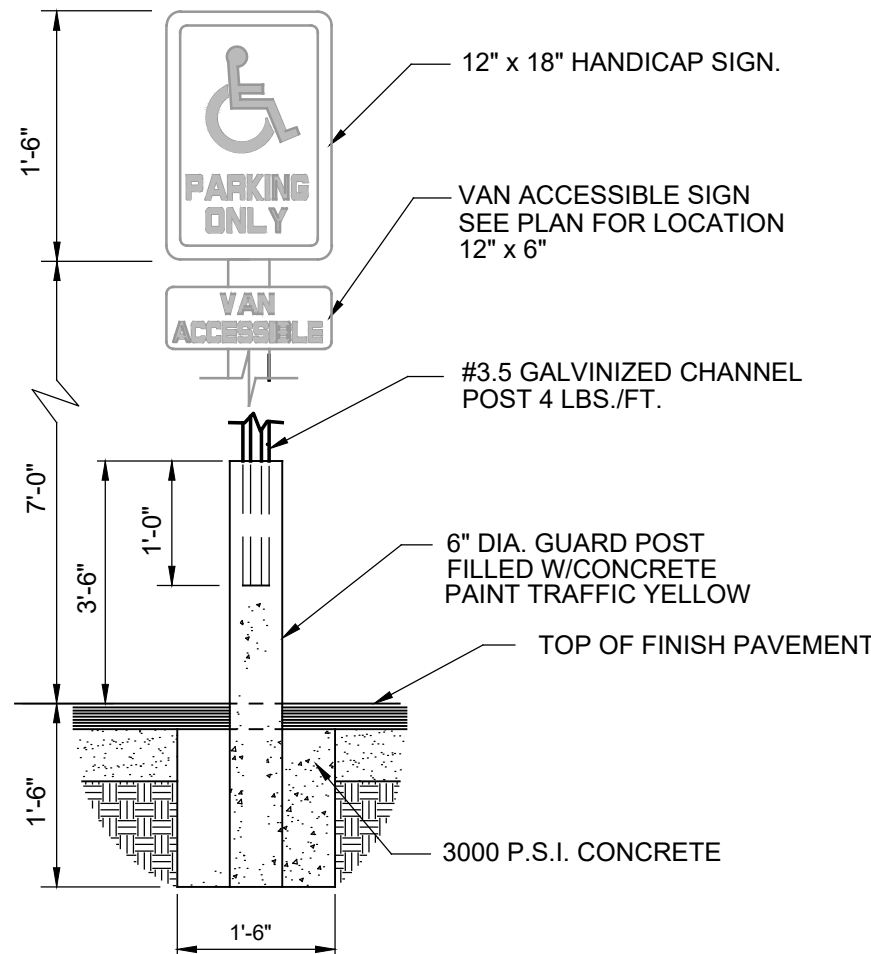
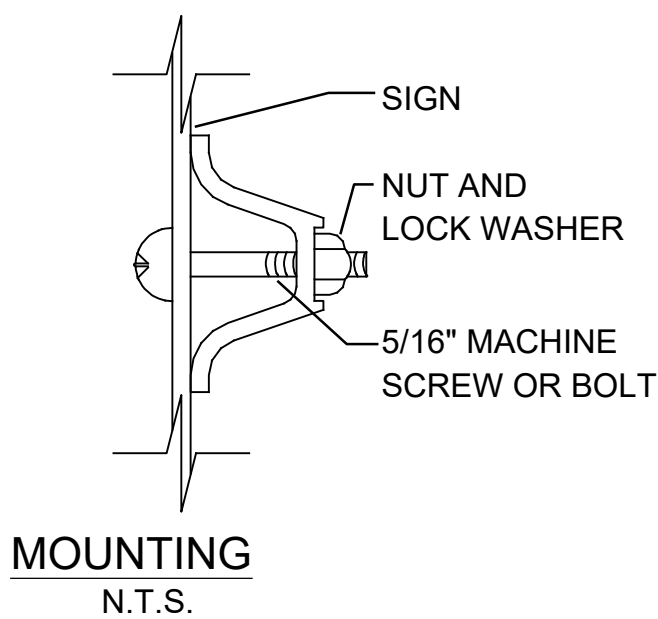


NOTES:
1. STRUCTURE SHALL HAVE A MINIMUM H-20 LOADING.
2. LIDS SHALL BE LABELED "GREASE" OR AS REQUIRED BY CODE.
3. SIZE AS REQUIRED BY HEALTH DEPARTMENT OR LOCAL AUTHORITY HAVING JURISDICTION. MINIMUM OF 1000 GALLONS.

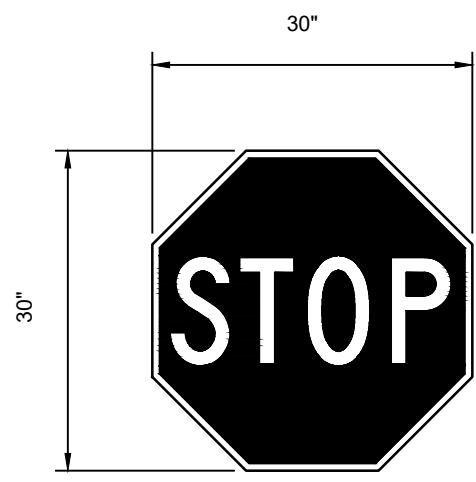
GREASE TRAP DETAIL
N.T.S.



TRENCH BACKFILL DETAILS
N.T.S.

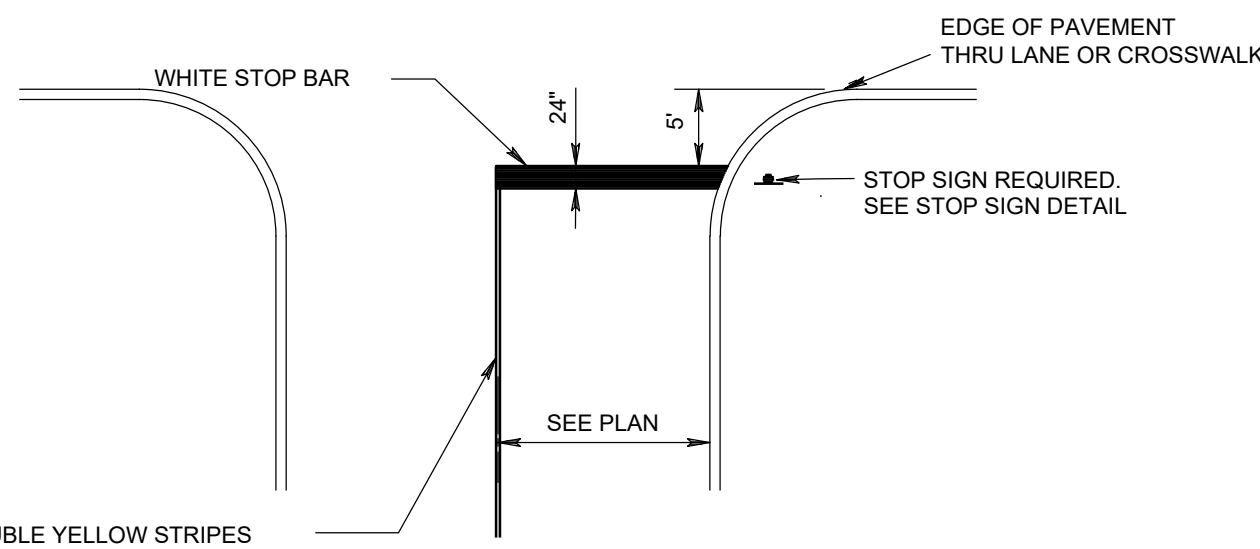


HANDICAPPED SIGN DETAIL
N.T.S.

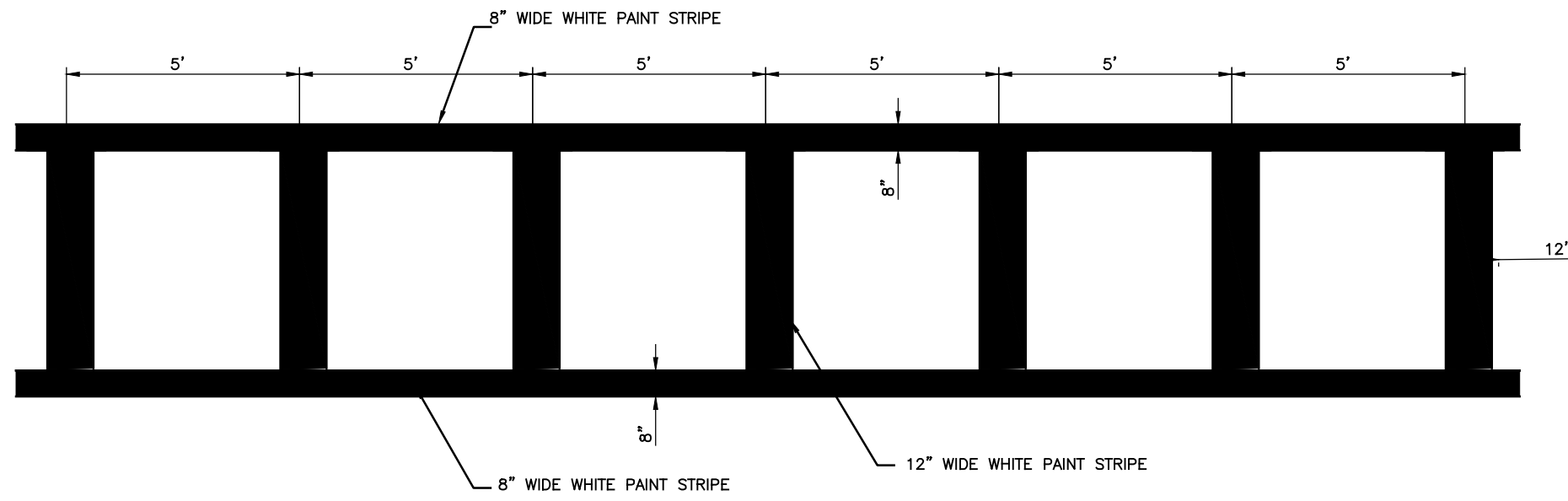


WHITE LEGEND RED BACKGROUND
R1-1

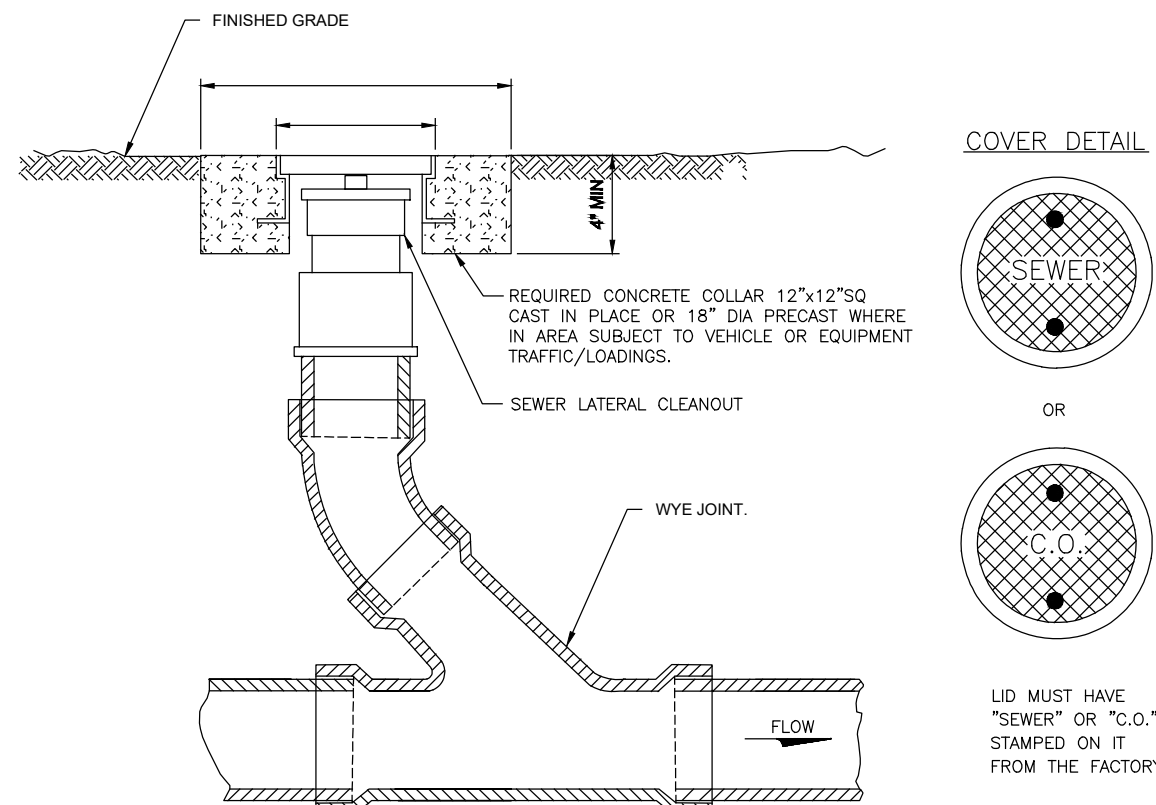
NOTE: SIGN SHALL CONFORM TO MUTCD SPECIFICATIONS, LATEST EDITION.



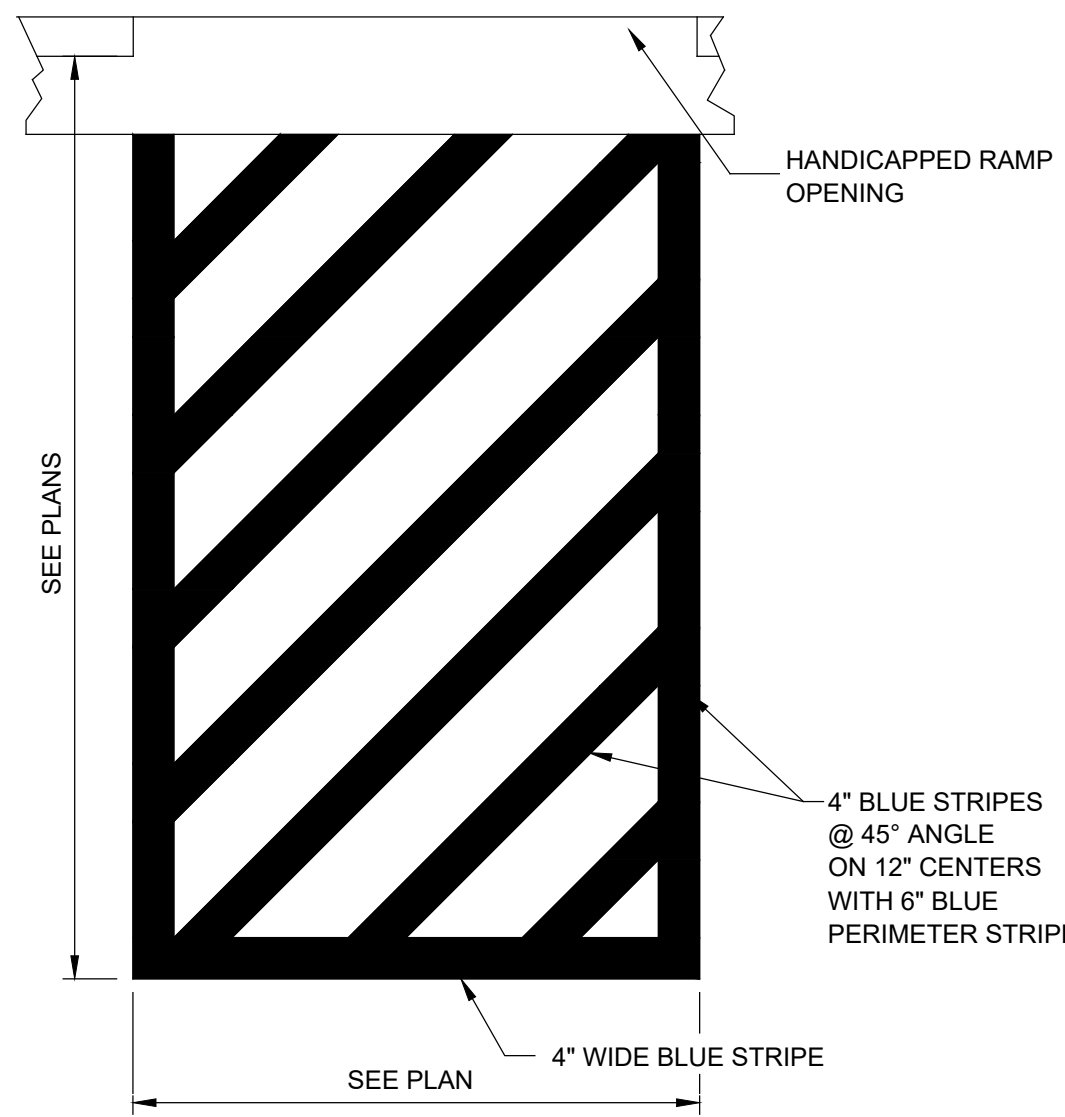
STOP BAR AND STOP SIGN DETAIL
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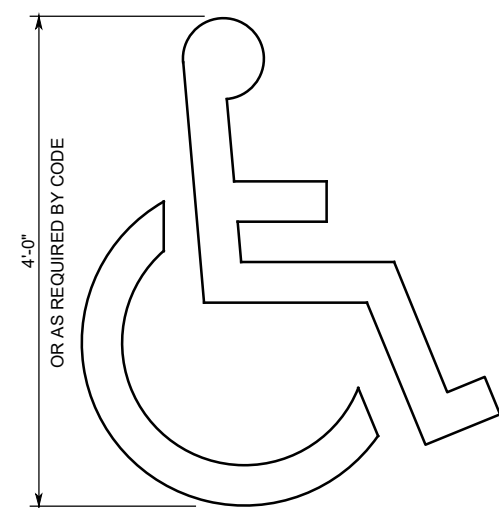
CROSSWALK DETAIL
N.T.S.



SANITARY SEWER CLEANOUT DETAIL
N.T.S.

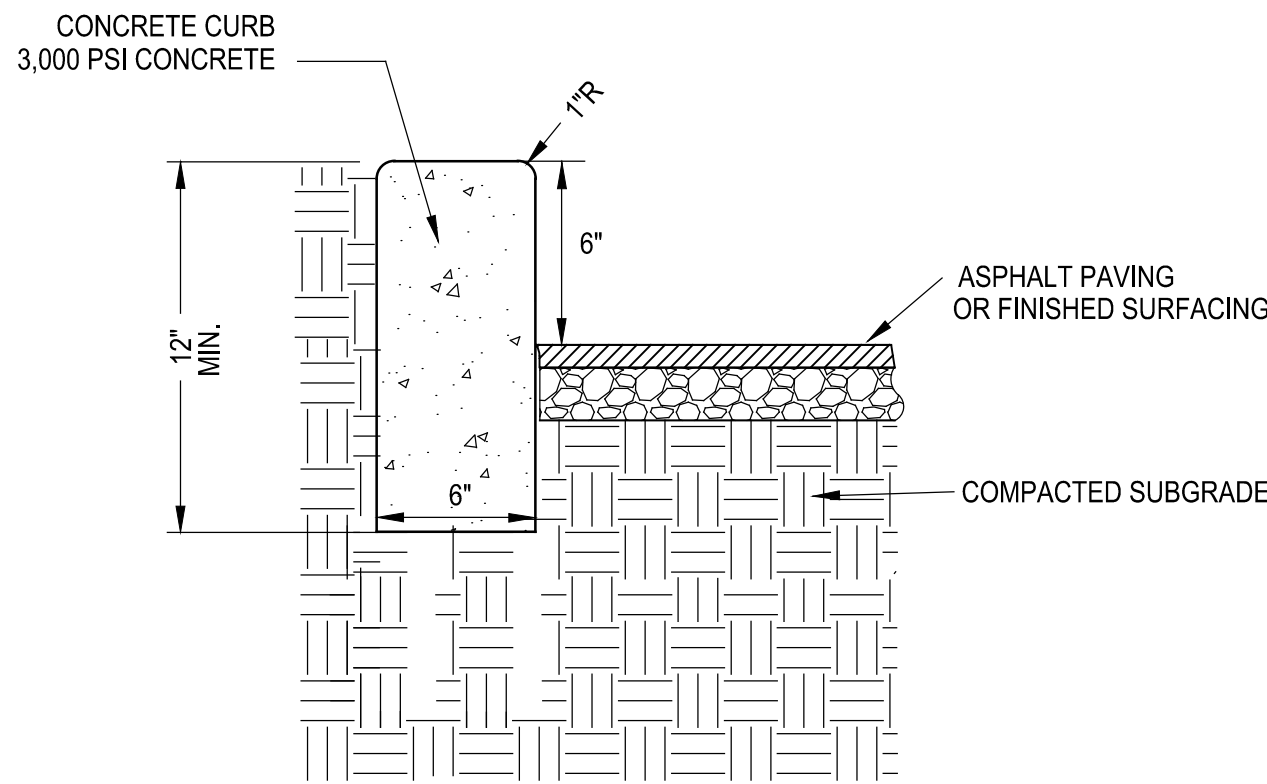


HANDICAPPED ACCESS AISLE DETAIL
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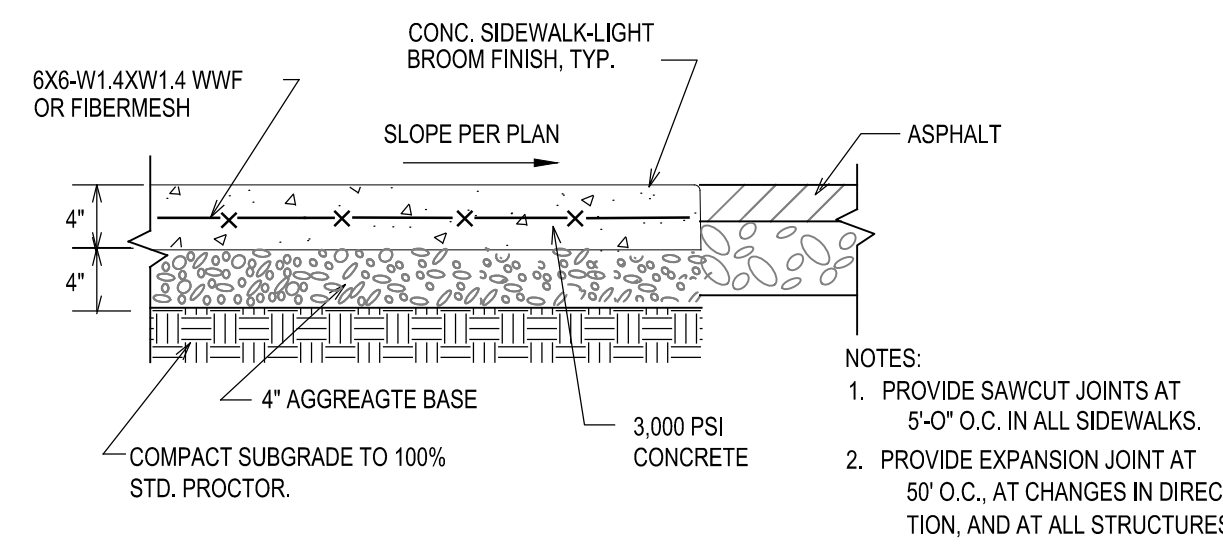


SYMBOL TO BE PAINTED (ADA) BLUE ON ALL HANDICAP PARKING SPACES

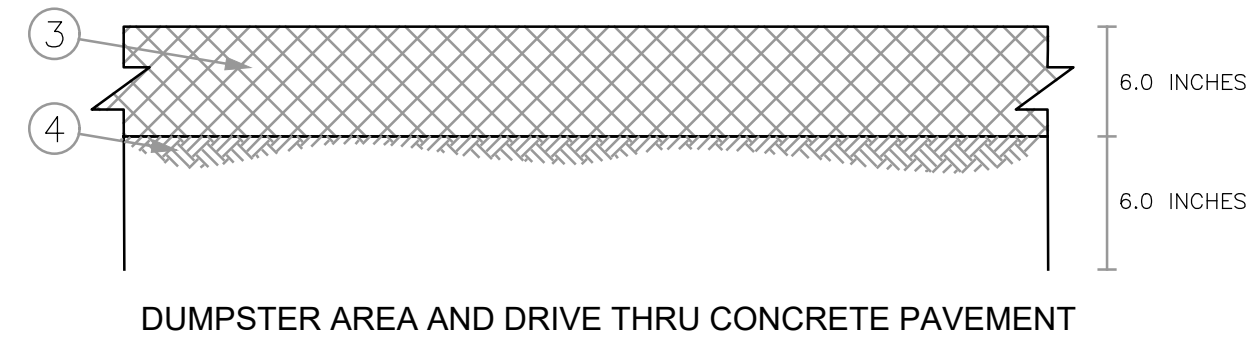
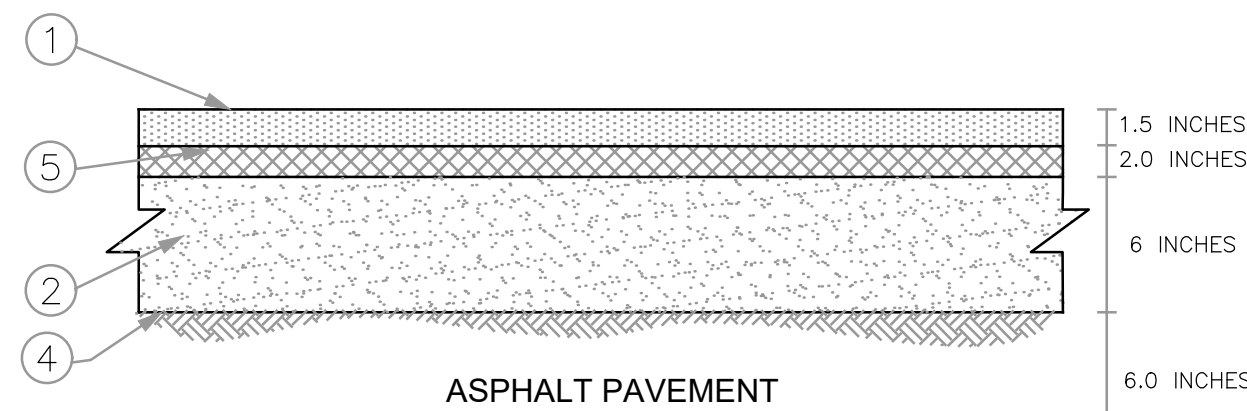
HANDICAPPED SYMBOL DETAIL
N.T.S.



6" STAND UP CURB DETAIL
N.T.S.



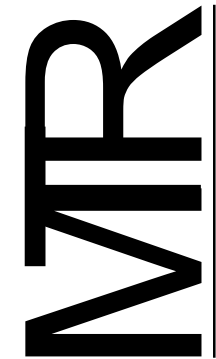
SIDEWALK DETAIL
N.T.S.



- 1 IMPROVED BITUMINOUS CONCRETE WEARING SURFACE, ALDOT 424 A, 1/2" MAX AGG. SIZE, ESAL RANGE A INSTALL AT 220 LBS / SQUARE YARD
- 2 CRUSHED AGGREGATE BASE; SEC 825, TYPE B; PER ALDOT STD. SPEC. COMPACTED TO 100% STANDARD DENSITY WITHIN ±2% OF OPTIMAL MOISTURE CONTENT AS DETERMINED BY ASTM D-1557 METHOD D.
- 3 PORTLAND CEMENT CONCRETE PAVEMENT (4,000 PSI); SEC 450; PER ALDOT STD. SPEC. MIN 28 DAY COMPRESSIVE STRENGTH 4,000 PSI WITH A MODULUS RUPTURE OF 630 PSI
- 4 6" COMPACTED SUBGRADE TO 100% STANDARD DENSITY
- 5 IMPROVED BITUMINOUS CONCRETE UPPER BINDER LAYER, ALDOT 424-B, 3/4" MAX. AGGREGATE SIZE MIX, ESAL RANGE B

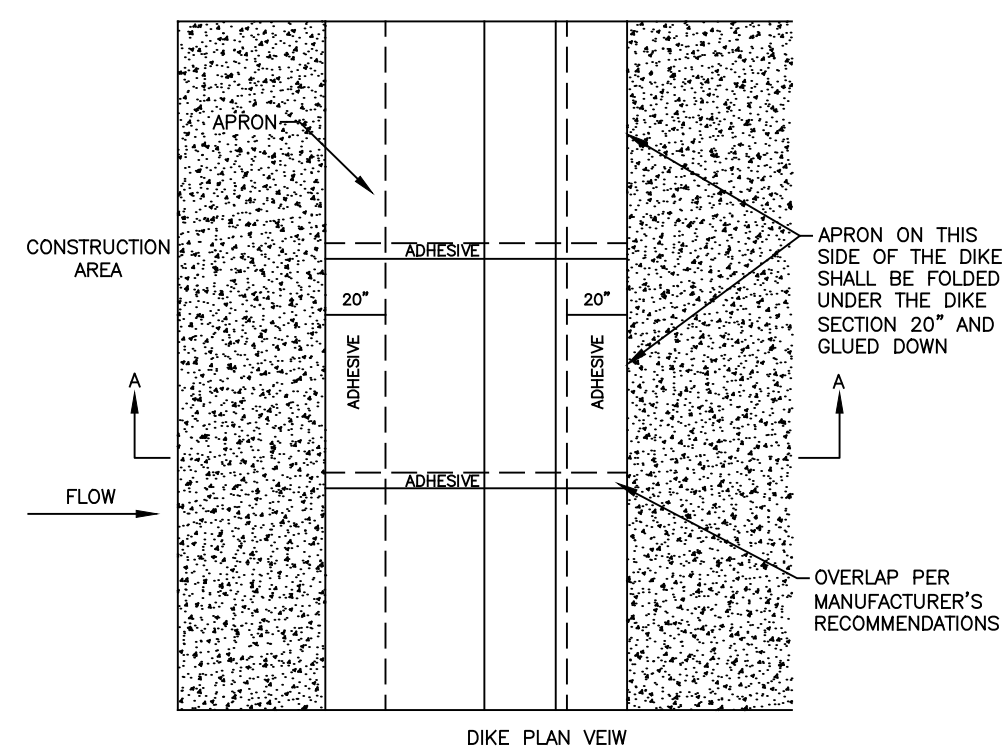
NOTE:
ALL PAVEMENT ITEMS SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH LATEST EDITION OF THE ALABAMA STATE HIGHWAY SPECIFICATIONS.

PAVING SECTIONS
N.T.S.



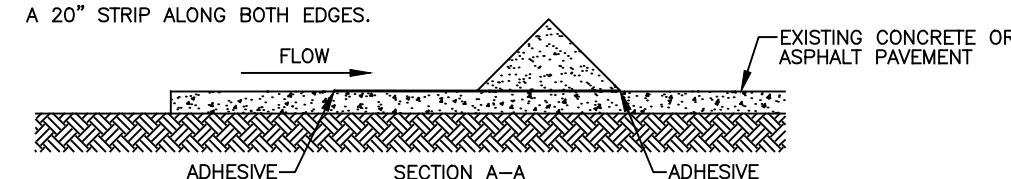
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FILE NAME:	23HHA12 R1.DWG
DATE:	12.7.23
DRAWN:	T.T.
CHECKED:	DAR
SCALE:	NONE
SHEET	

Know what's below
Call before you dig.
Dial 811
Or Call 800-282-7411

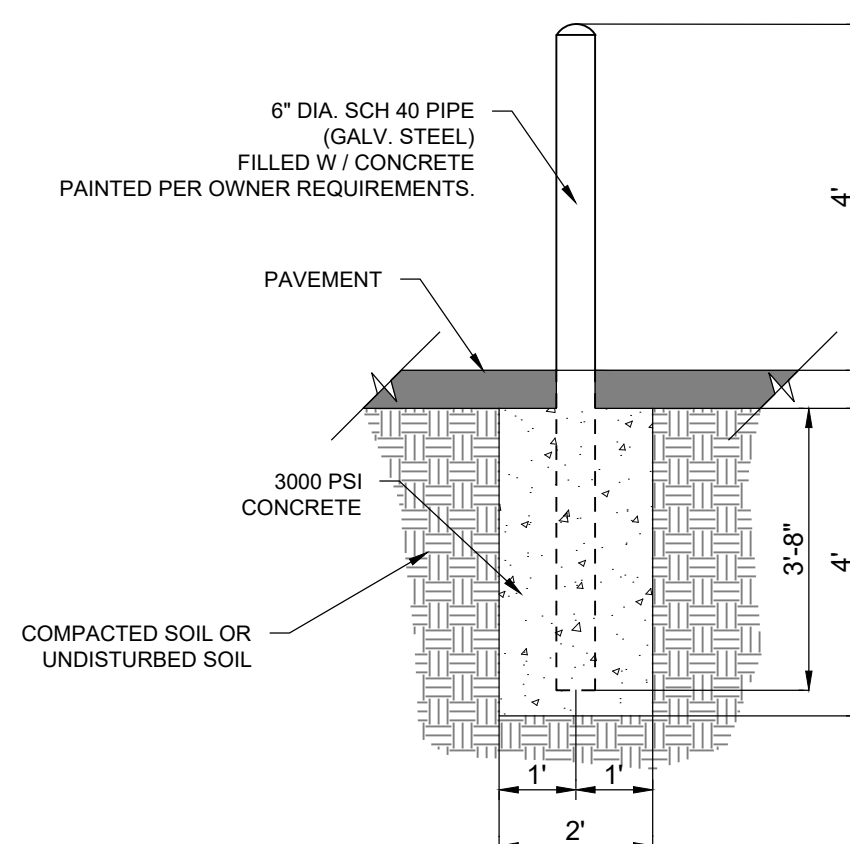


NOTES:

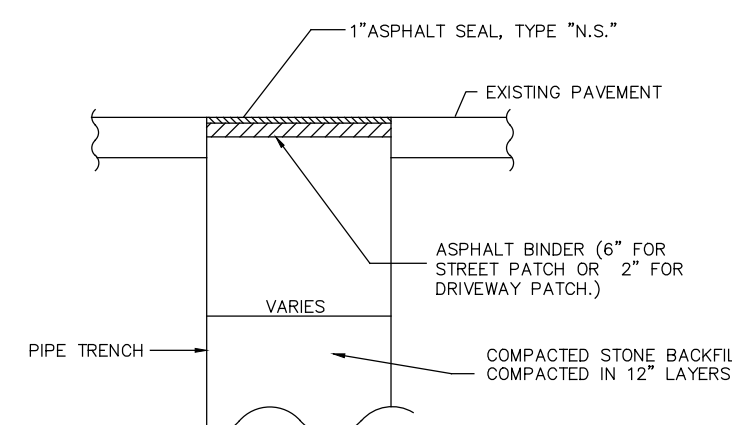
1. INSTALLED SILT DIKE UNIT SHALL HAVE CONTINUOUS AND FIRM CONTACT WITH PAVEMENT.
2. ADHESIVES SHALL BE LIQUID NAIL OR APPROVED EQUAL FOR CONCRETE PAVEMENT APPLICATIONS AND EMULSIFIED ASPHALT FOR ASPHALT APPLICATIONS. ADHESIVE SHALL BE PLACED WHERE THE UNITS OVERLAP AND A 20" STRIP ALONG BOTH EDGES.



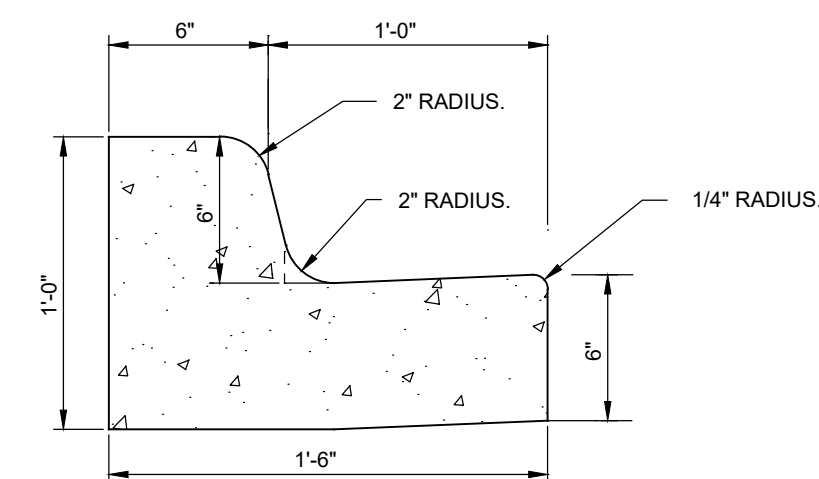
SILT DYKE ON PAVEMENT
N.T.S.



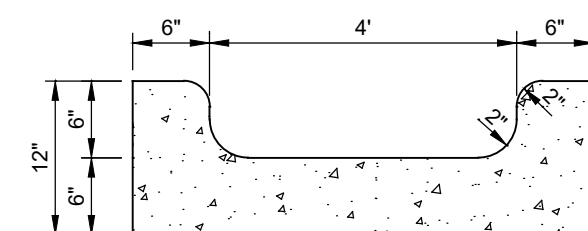
PIPE BOLLARD DETAIL
N.T.S.



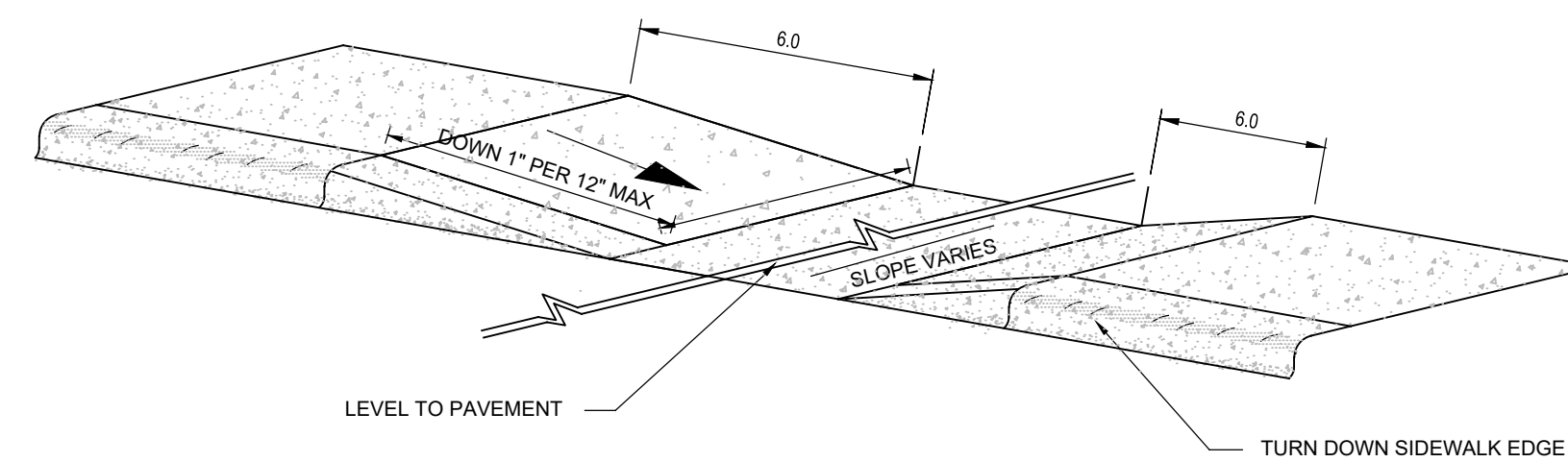
PATCH PAVING DETAIL
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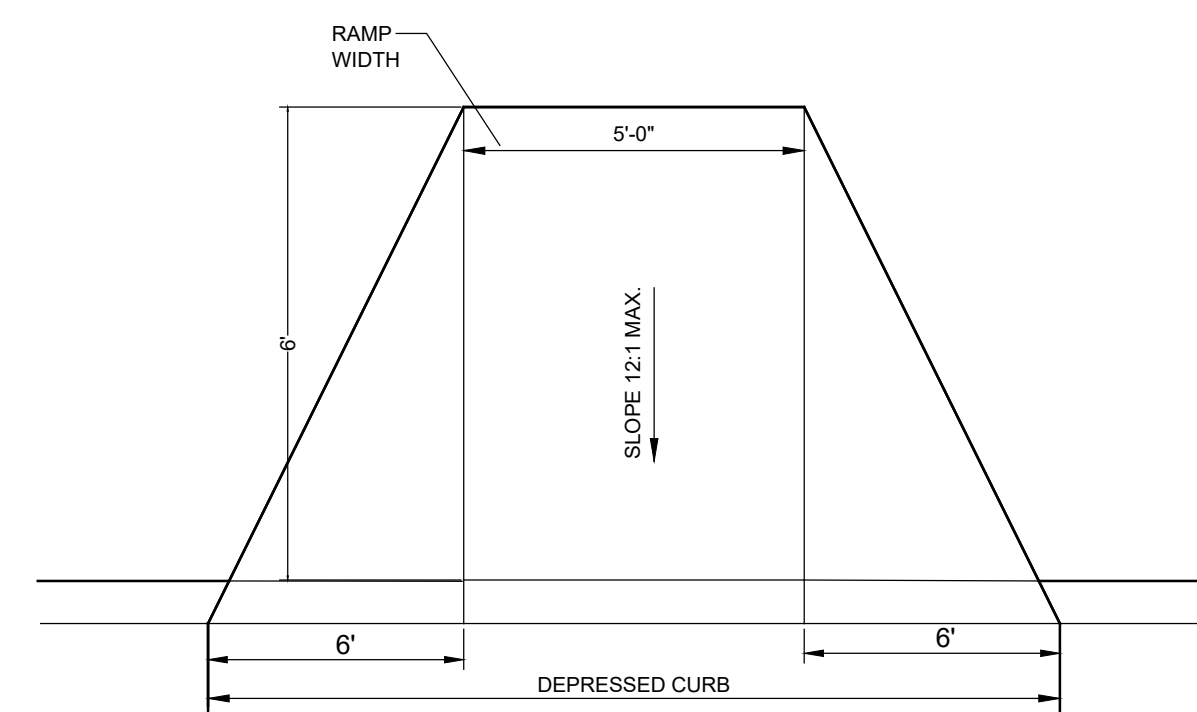
18" CONCRETE CURB AND GUTTER DETAIL



CURB OPENING DETAIL
N.T.S.



ADA / HANDICAPPED RAMP DETAIL
N.T.S.



DELIVERY RAMP DETAIL
N.T.S.

DATE	REVISIONS

JOB NO: 23HHA12
FILE NAME: 23HHA12 R1.DWG
DATE: 12.7.23
DRAWN: T.T.
CHECKED: DAR
SCALE: NONE
SHEET

C6

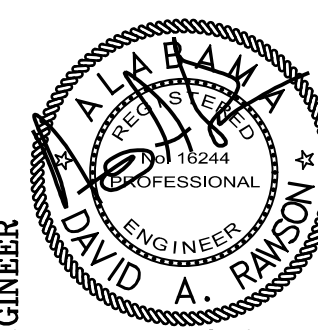
MTTR
ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
3 RIVERCHASE RIDGE, HOOVER, AL 35244
TELEPHONE (205) 320-0114

MTR

SECTIONS AND DETAILS

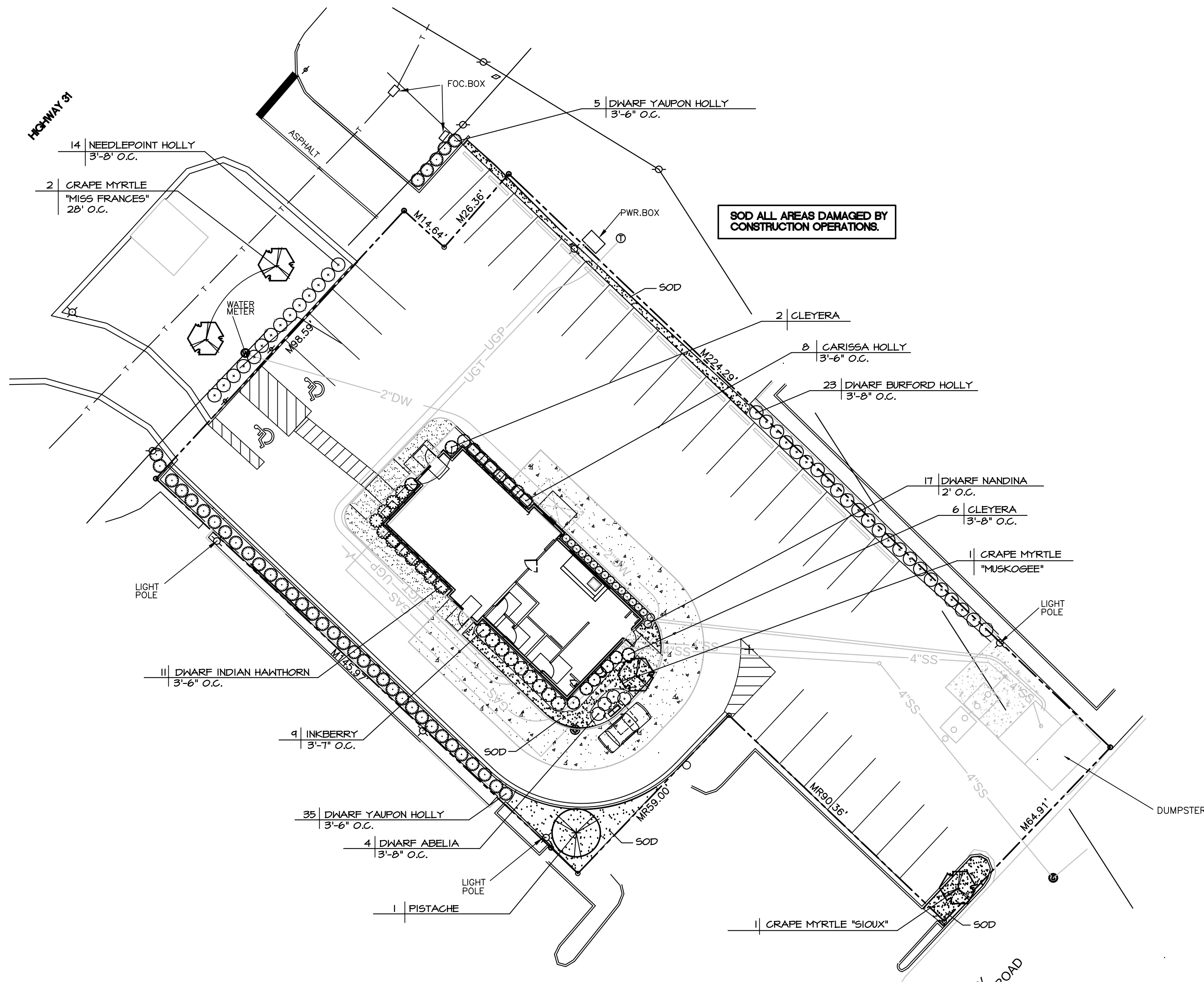
GUTHRIES
1437 HIGHWAY 31
VESTAVIA HILLS, AL
H+HA
BIRMINGHAM, AL

PROJECT



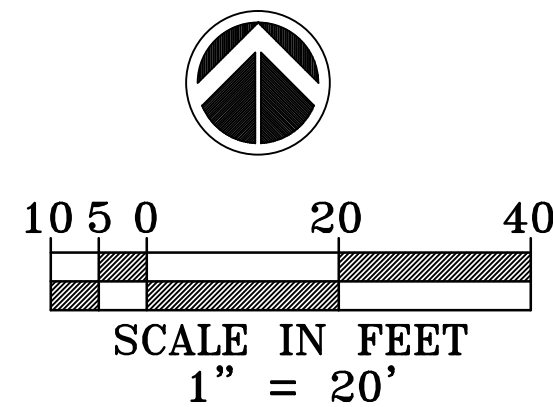
4. **Examination Of Site:** Installer shall visit the site to acquaint himself with the conditions affecting his work. By submission of bid, installer acknowledges he has examined the site and that he is not bound by any conditions or obligations of Contract will be considered because of lack of knowledge of the site conditions.
5. **Notes On Drawings:** Installer is responsible for all notes on drawings which call attention to particular requirements or conditions which may or may not be included in the written Specifications.
6. **Utilities:** Prior to construction operations, installer shall verify locations of all utilities and structures which may or may not be indicated on the drawings. He shall conduct work so as to prevent interruption of services. Any damage shall be repaired to it's original condition or satisfaction of utility company at no expense to Owner.
7. **Right-Of-Ways:** Any work performed within a state, city or utility company's R.O.W., shall be properly permitted, approved and conform to that governing authority's specifications.
8. **Plant Materials:** All plant materials shall conform to the applicable standards of the American Association of Nurserymen, Inc. American Standard For Nursery Stock, ANSI Z60.1-1966. Plant Materials, Part 1, 1966. All trees, shrubs, and plants shall be similar to those in the locality of the project. Quantities on drawings take precedence over quantities shown in the Plant Materials List. Botanical Names take precedence over Common Names. All plants shall be well established and growing. All trees shall be sprayed with anti-desiccant at grower prior to digging. All trees shall have a straight central leader.
9. **Installation:** Install as per Specifications on Drawings and Planting Details. After placement of material, construct an earthen saucer around the root ball and fill with water. While watering, insert a rod into soil and rotate to release any air and continue until no more water will percolate into the soil. Fill holes left by rod and settlement. Remove earthen saucer and place a plastic mulch over the root ball. Cut plastic mulch. Remove excess soil from top of root ball to expose root flares. Place root ball so that top most root flare is above settled finished grade.
10. **Tree Pits:** Installer shall dig a test tree pit for percolation. Fill hole half with water. If tree pit will not percolate at a rate sufficient enough to insure proper root growth and water to the root ball to the minimum height above surrounding grade to insure proper root growth and survival. Pillow berm where indicated on plans.
11. **Preparation Of Island Planters:** Where no islands, portion of existing islands, or planting areas are added to parking lot or paved areas, cut and remove all asphalt, gravel base, and excavate to depths shown in the Planting Details and backfill with approved topsoil.
12. **Topsoil:** Unless otherwise specified, install a minimum of 4 inches of approved topsoil over all areas to be seeded, sodded, and landscaped.
13. **Guarantee & Maintenance:** All plant materials and workmanship shall be guaranteed for a period of twelve months beginning at time of written acceptance. All sodded and seeded areas shall be guaranteed until a full healthy stand of grass is achieved and acceptable to Owner. Trees, shrubs, and grass shall be maintained (as apart of the original bid) until they have grown to the minimum height specified and approved by Owner. Maintenance includes mowing, watering on a regular basis, applications of fertilizer, insecticides and fungicides when required. Straighten leaning plants and raise plants that have settled. Remove dead or damaged plants. Remove all plant material and stakes at end of guarantee period. Carry same guarantee. Remove all guy material, and stakes at end of guarantee period.

1. Soil Test Report: Installer shall provide and pay for a Soil Test Report to determine type and quantities of fertilizers and other amendments necessary to establish proper pH factor and nutrient levels for the topsoil to a satisfactory level for plant growth. Testing shall include existing soil and topsoil. Furnish copies of Soil Test Report to Landscape Architect and or Engineer. Contact local County Agent for testing.
2. Preparation: Install 4 inches of approved topsoil over all areas to be sodded. Rake smooth to finished grades shown. Add fertilizers and other soil amendments in quantities as recommended in the Soil Test Report, unless otherwise specified in the Specifications.
3. Sod: Provide fresh well-rooted sod free of weeds, nutgrass, disease, insects, and other grasses. Sod shall be machine cut with clean sharp edges to a uniform thickness with 1 1/2 inches of topsoil and a turf height of 1 to 1 1/2 inches. Mow prior to cutting.
4. Installation: Install with tight fitted joints. Lay perpendicular to direction of slope. Stagger strips to offset joints of adjacent courses. Set sod by rolling with a water ballast roller and water thoroughly to saturate sod and subsoil. Secure sod with staples on slopes 2.5:1 and steeper.
5. Guarantee & Maintenance: All sodded areas shall be guaranteed and maintained in strict accordance with the Specification. Maintain also by mowing, watering, fertilizing, weeding, applications of herbicides, fungicides, insecticides, until a fully healthy stand of grass, free from weeds, disease, and insects is achieved and acceptable to Owner. Replace any dead sod.



PLANT MATERIAL LIST			
QTY.	COMMON NAME	BOTANICAL NAME	SIZE
1	GRAPE MYRTLE "MUSKOGEE"	LASERSTROEMIA INDICA 'MUSKOGEE'	6'-8' 2-3 TRUNKS
2	GRAPE MYRTLE "MISS FRANCES"	LASERSTROEMIA INDICA 'MISS FRANCES'	6'-8' 2-3 TRUNKS
1	GRAPE MYRTLE "SIOUX"	LASERSTROEMIA INDICA 'SIOUX'	6'-8' 2-3 TRUNKS
1	PISTACHE	PISTACIA CHINENSIS	2 1/2" CAL. 12'-14'
			B&B
8	CARISSA HOLLY	ILEX CORNUTA CARISSA	#3 CONTAINER
8	CLEYERA	TERNSTROEMIA GYMNANTHERA	CONTAINER
4	DWARF ABELIA	ABELIA X 'ROSE CREEK'	#3 CONTAINER
23	DWARF BURFORD HOLLY	ILEX CORNUTA BURFORDI NANA	#3 CONTAINER
11	DWARF INDIAN HAWTHORN	RAPHIOLEPIS INDICA 'SNOW'	#3 CONTAINER
17	DWARF NANDINA	NANDINA DOMESTICA ATROPURPUREA NANA	#3 CONTAINER
40	DWARF YAUPOIN HOLLY	ILEX VOMITORIA NANA	#3 CONTAINER
9	INKBERRY	ILEX GLABRA 'SHAMROCK'	#3 CONTAINER
14	NEEDLEPOINT HOLLY	ILEX CORNUTA NEEDLEPOINT	#3 CONTAINER
			30" HEIGHT
100.	APPROX. SQ. YDS. "TIFTON" 419 BERMUDAGRASS SOD		

100. APPROX. SQ. YDS. "TIFTON" 419 BERMUDAGRASS SOD



LANDSCAPE PLAN

[illegible]

GUTHRIE'S

1437 HIGHWAY 31
VESTAVIA HILLS, ALABAMA

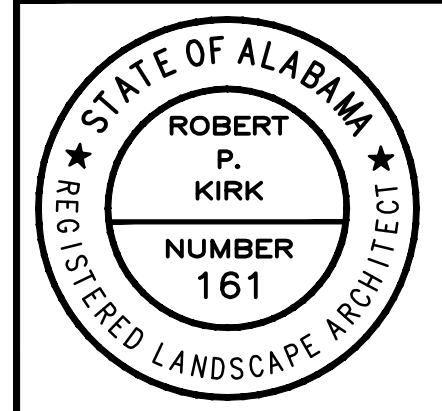
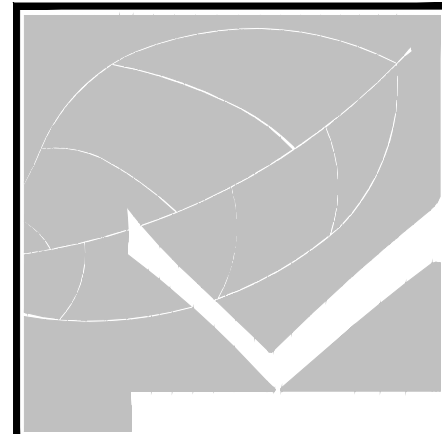
FOR
H + HA
BIRMINGHAM, ALABAMA

Robert P. Kirk & Associates, P.C.

Landscape Architecture - Site Planning

& Golf Course Design
2155 Old Rocky Ridge Road
Birmingham, Alabama 35216

205/988/4720



SHEET
L1-R0

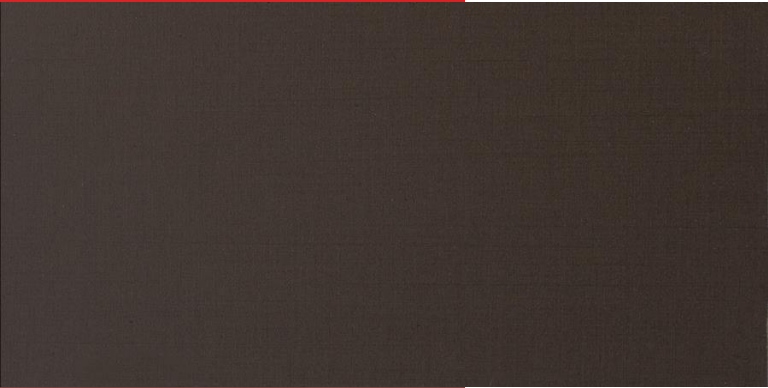
1 SEQUENCE OF 1

PROJECT: 23-116

EXTERIOR FINISH SCHEDULE

CODE	DESCRIPTION
STO-1	SHERWIN WILLIAM 458 MOCHA CREAM
STO-2	SHERWIN WILLIAMS 6868 Real Red
STO-3	SHERWIN WILLIAMS 7021 SIMPLE WHITE
STO-4	SHERWIN WILLIAMS 6079 DIVERSE BEIGE
STO-5	SHERWIN WILLIAMS 9084 COCOA WHIP
BRK-1	ACME BRICK HERITAGE NORWOOD
MTL-1	YKK AP STANDARD ANODIZED FINISHES YB5N – DARK BRONZE
MTL-2	TENNESSEE VALLEY METALS ANODIZED ALUMINUM
FBK-1	SUNBRELLA SHADE LOGO RED

FBK - 1
Sunbrella Shade
Logo Red- Awning



MTL - 1
YKK AP Standard Anodized Finishes
YB5N – Dark Bronze –
Coping/Canopy Frame/Downspouts



MTL - 2
Tennessee Valley Metals
Anodized Aluminum - Awning

STO - 2
Sherwin Williams SW 6868
Real Red – Main Color

STO - 5
Sherwin Williams SW 9084
Cocoa Whip – Accent Band

STO - 4
Sherwin Williams SW 6079
Diverse Beige – Accent Band

STO - 3
Sherwin Williams SW 7021
Simple White – Accent Band



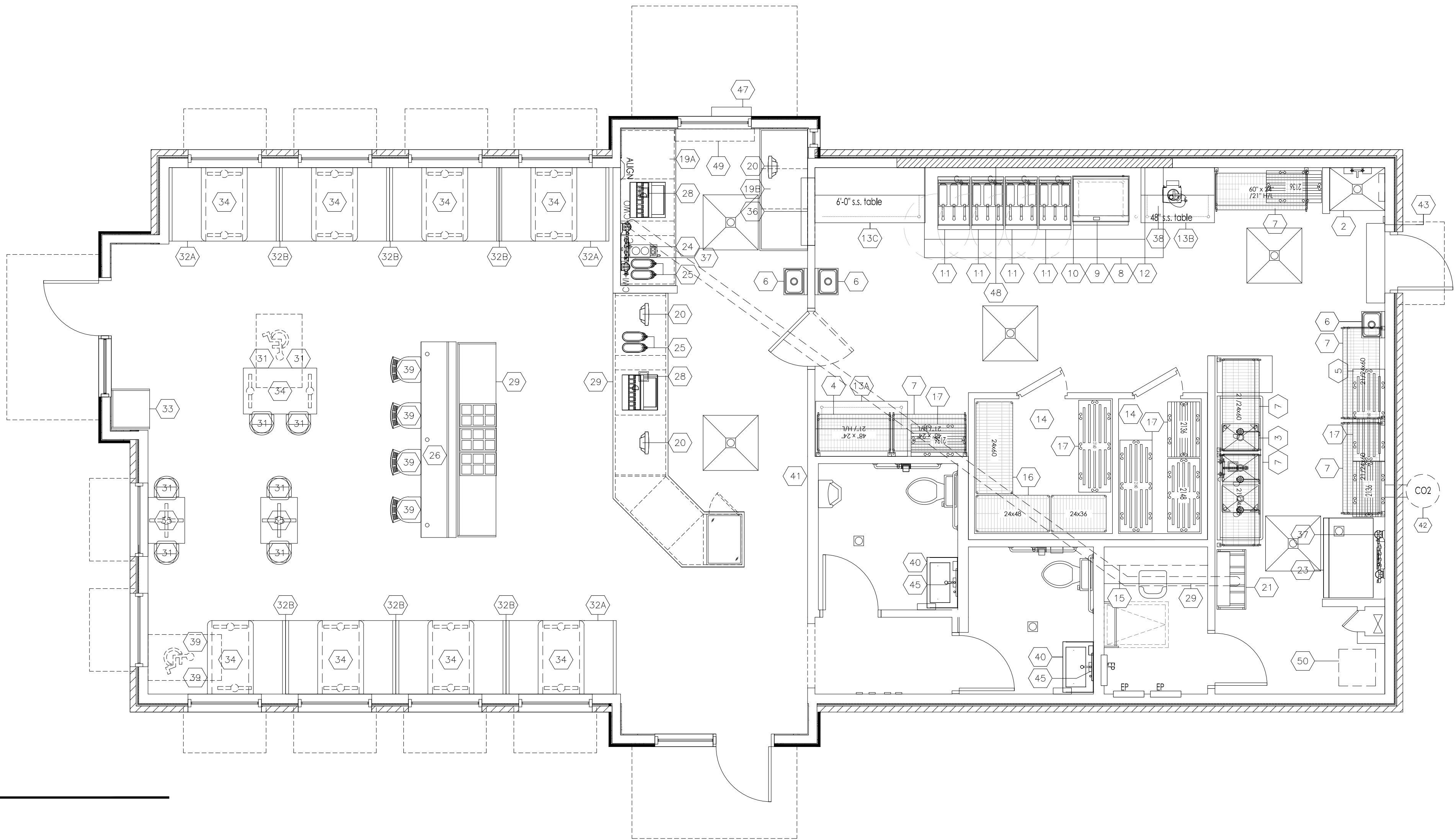
BRK - 1
Acme Brick-Norwood
Heritage Collection
Wall Base Stone

Finish Sample Board



Guthrie's





EQUIPMENT PLAN
SCALE: 1/4" = 1'-0"

EQUIPMENT SCHEDULE						
ITEM NO.	QTY	EQUIPMENT CATEGORY	MANUFACTURER	MODEL NUMBER	EQUIPMENT REMARKS	ITEM NO.
1	2	BREAD RACKS	-	-	PROVIDED & INSTALL BY OWNER	1
2	1	MOP SINK	CUSTOM BUILT-IN	-	PROVIDED AND INSTALLED BY G.C.	2
3	1	3 COMPARTMENT SINK	CENTAUR	14-3C18X24-218	PROVIDED BY OWNER, G.C. INSTALLED	3
4	2	WALL SHELVING (21'724"D X 48"W) HIGH/LOW	METRO	-	IN WALL BACKING REQUIRED	4
5	1 LOT	DRY STORAGE	METRO	-	PROVIDED & INSTALL BY OWNER	5
6	3	HAND SINK	JOHN BOOS	PBHSW-14101SSLR	PROVIDED BY OWNER, G.C. INSTALLED	6
7	5	WALL SHELVING (21'724"D X 60"W) HIGH/LOW	METRO	-	IN WALL BACKING REQUIRED	7
8	1	12" EXHAUST HOOD	CAPTIVE-AIRE	-	NON-COMBUSTIBLE CONSTRUCTION	8
	1	EXHAUST FAN	CAPTIVE-AIRE	-	PROVIDED BY OWNER, G.C. INSTALLED	
	1	SUPPLY FAN	CAPTIVE-AIRE	-	PROVIDED BY OWNER, G.C. INSTALLED	
	2	CONDENSER	CAPTIVE-AIRE	-	PROVIDED BY OWNER, G.C. INSTALLED	
9	1	3' EQUIPMENT STAND	BK RESOURCES	VEIS-3630	PROVIDED & INSTALL BY OWNER	9
10	1	3' GRIDDLE	VULCAN	MSA36	PROVIDED BY OWNER, G.C. INSTALLED	10
11	4	FRYER - 85 LBS	VULCAN	1GR8SM	PROVIDED BY OWNER, G.C. INSTALLED	11
12	1	ANSUL FIRE SUPPRESSION SYSTEM	CAPTIVE-AIRE	-	PROVIDED & INSTALL BY G.C.	12
13A	2	5' WORKTABLE W/OVERSHelf	MUSTANG	CUSTOM	PROVIDED & INSTALL BY OWNER	13A
13B	1	4' WORKTABLE W/OVERSHelf	MUSTANG	CUSTOM	PROVIDED & INSTALL BY OWNER	13B
13C	1	6' WORKTABLE W/OVERSHelf	MUSTANG	CUSTOM	PROVIDED & INSTALL BY OWNER	13C
14	1	WALK-IN COOLER/FREEZER	-	CUSTOM	G.C. TO ERECT COOLER/FREEZER	14
15	1	MANAGER DESK	-	-	BY OWNER	15
16	1 LOT	WALK-IN COOLER/FREEZER SHELVING	METRO	-	PROVIDED & INSTALL BY OWNER	16
17	1 LOT	DUNNAGE RACK	CAMBRO	-	PROVIDED & INSTALL BY OWNER	17
18	1	CUSTOM MILLWORK	-	-	PROVIDED & INSTALLED BY G.C.	18
19A	1	CUSTOM MILLWORK	-	-	PROVIDED & INSTALLED BY G.C.	19A
19B	1	CUSTOM MILLWORK	-	-	PROVIDED & INSTALLED BY G.C.	19B
20	3	POS SYSTEM	-	-	BY OTHERS	20
21	1	BAG-N-BOX	-	-	BY VENDOR	21
22	1	WALL SHELVING (21'724"D X 30"W)	METRO	-	BACKER BOARD REQUIRED	22
23	1	ICE MAKER	HOSHIZAKI	F-801MAJ	PROVIDED BY OWNER, G.C. INSTALLED	23
	1	ICE BIN	HOSHIZAKI	B-300PF	PROVIDED BY OWNER, G.C. INSTALLED	
24	1	TEA BREWER	-	-	BY OWNER	24
25	4	TEA URNS	-	-	PROVIDED & INSTALL BY OWNER	25
26	1	BAR HEIGHT MILLWORK	-	-	PROVIDED BY G.C., G.C. INSTALLED	26
28	2	ICE/BEVERAGE TOWER	-	-	BY OWNER	28

EQUIPMENT SCHEDULE						
ITEM NO.	QTY	EQUIPMENT CATEGORY	MANUFACTURER	MODEL NUMBER	EQUIPMENT REMARKS	ITEM NO.
29	1	CUSTOM MILLWORK	-	-	PROVIDED & INSTALLED BY G.C.	29
30	2	CONDIMENT BIN	-	-	PROVIDED & INSTALL BY OWNER	30
31	12	CHAIR	ALL ABOUT FURNITURE	-	PROVIDED & INSTALL BY OWNER	31
32A	3	SINGLE BOOTH SEAT	ALL ABOUT FURNITURE	-	PROVIDED & INSTALL BY OWNER	32A
32B	6	DOUBLE BOOTH SEAT	ALL ABOUT FURNITURE	-	PROVIDED & INSTALL BY OWNER	32B
33	1	TRASH CAN	ALL ABOUT FURNITURE	CUSTOM	PROVIDED & INSTALL BY OWNER	33
34	10	TABLE TOP (48"W X 30"D)	ALL ABOUT FURNITURE	-	PROVIDED & INSTALL BY OWNER	34
35	2	TABLE TOP (24"W X 30"D)	ALL ABOUT FURNITURE	-	PROVIDED & INSTALL BY OWNER	35
36	1	3/8" PASS THRU WINDOW	-	-	BY OTHERS	36
37	2	WATER FILTRATION SYSTEM	HOSHIZAKE	-	MOUNT STUB-OUT AT 8'-0"	37
38	1	FOOD PROCESSOR	HOBART	FP350-1	PROVIDED BY OWNER, G.C. INSTALLED	38
39	6	BAR HEIGHT CHAIR	-	-	PROVIDED BY OWNER, G.C. INSTALLED	39
40	2	RESTROOM LAVATORY	-	-	PROVIDED BY OWNER, G.C. INSTALLED	40
41	1	MENU BOARD (MULTIPLE SECTIONS)	-	-	RE: 02/A1.1	41
42	1	CO2 CANISTER (SEE NOTE BELOW)	-	-	THROUGH-WALL TRANSFER BY G.C.	42
43	1	EXTERIOR FLY FAN	Mars	STD260-2 SERIES	COORDINATE POWER W/ ELECTRICAL	43
44	1	PREP SINK	-	-	NOT USED	44
45	2	LAVATORY FAUCET	RE: PLUMB	-	PROVIDED & INSTALL BY G.C.	45
46	1	MOP SINK FAUCET	RE: PLUMB	-	PROVIDED & INSTALL BY G.C.	46
47	1	SST. SHelf	QUIKSERV	QS-36	PROVIDED & INSTALL BY G.C.	47
48	1	SST. BACKSPASH	-	-	OWNER PROVIDED & INSTALL BY G.C.	48
49	1	DT FLY FAN	BERNER MODEL GSR	DTU03	PROVIDED & INSTALL BY G.C.	49
50	1	COOKING OIL STORAGE TANK	DAR PRO SOLUTION	C/OORD. W/ OWNER	OWNER PROVIDED & G.C. INSTALLED	50

A New Building for:
GUTHRIE'S

RELEASES / DESCRIPTION / DATES

— — —

NOT FOR CONSTRUCTION
RELEASED FOR CONSTRUCTION

DATE — — —

DRAWN MJ

CHECKED JMH

APPROVED H+HA

PROJECT NUMBER
22029.00

SHEET TITLE

EQUIPMENT PLAN

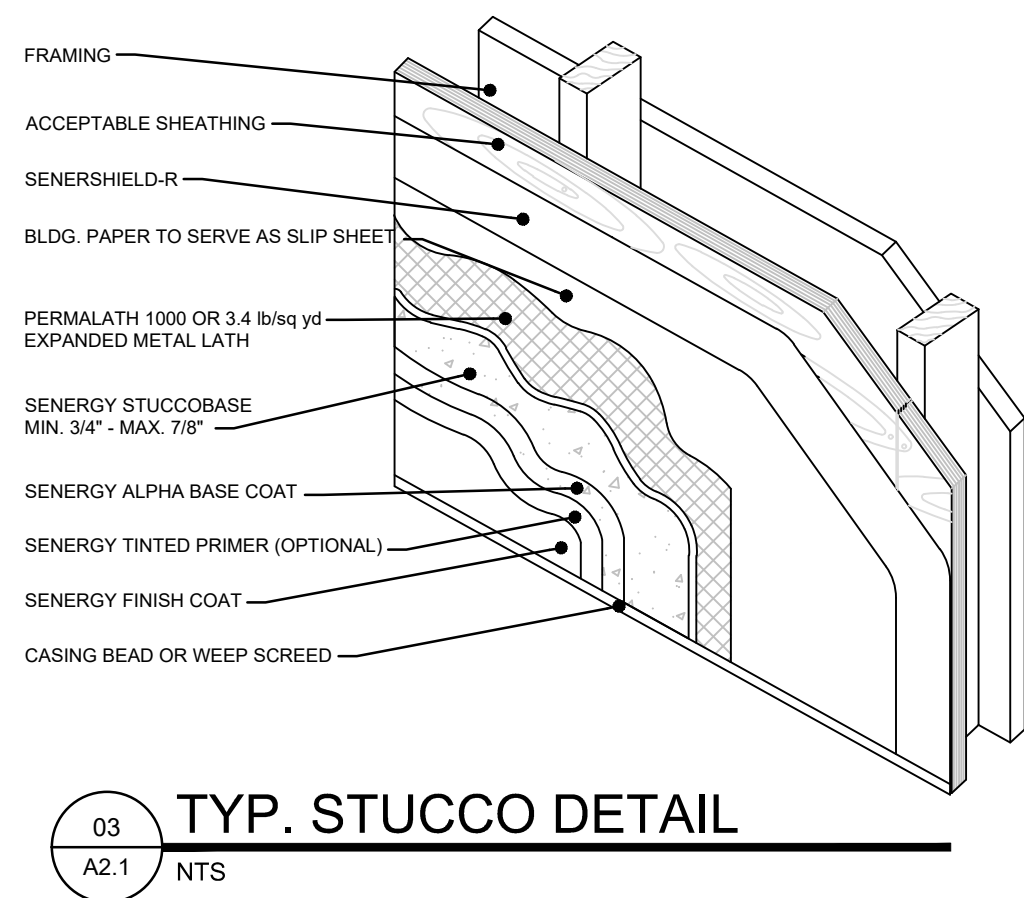
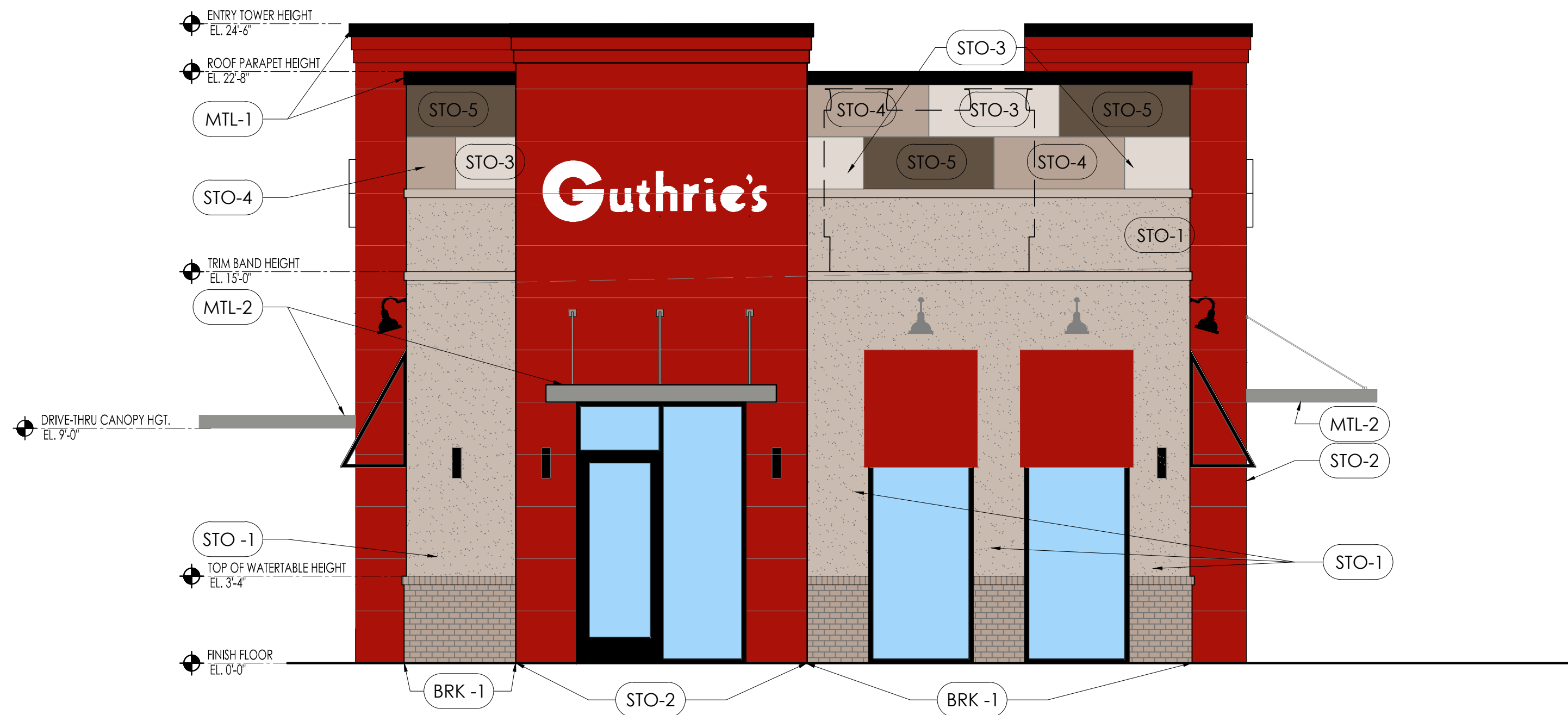
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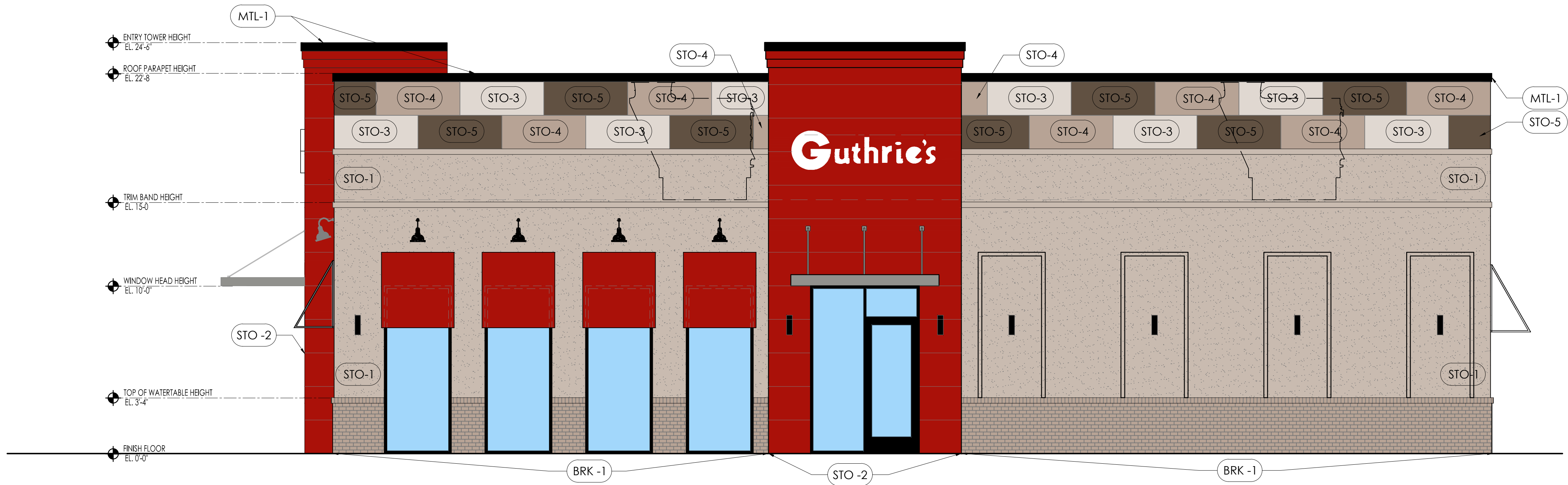
AHJ SEAL



EXTERIOR FINISH SCHEDULE	
CODE	DESCRIPTION
STO-1	BENJAMIN MOORE MOCHA CREAM CC458
STO-2	SHERWIN WILLIAMS 6868 REAL RED -101-C6
STO-3	SHERWIN WILLIAMS 7021 SIMPLY WHITE 260-C7
STO-4	SHERWIN WILLIAMS 6079 DIVERSE BIEGE 198-C2
STO-5	SHERWIN WILLIAMS 9084 COCA WHIP 198-C4
BRK -1	ACME BRICK -NORWOOD -HERITAGE TECTURE
MTL-1	DARK BRONZE COPING/FRAME/DOWNSPOUT
MTL-2	ANODIZED CANOPY



02 FRONT ELEVATION
A2.1 SCALE: 1/4" = 1'-0"



01 SIDE ENTRY ELEVATION
A2.1 SCALE: 1/4" = 1'-0"

CODE	DESCRIPTION
STO-1	BENJAMIN MOORE MOCHA CREAM CC458
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MTL-1	DARK BRONZE COPING/FRAME/DOWNSPOUT
MTL-2	ANODIZED CANOPY

Architectural elevation drawing of a building facade. The drawing includes the following labels and height markers:

- ENTRY TOWER HEIGHT EL 24'-5"
- ROOF PARAPET HEIGHT EL 22'-8"
- TRIM BAND HEIGHT EL 15'-0"
- DOOR HEAD HEIGHT EL 7'-2"
- TOP OF WATERTABLE HEIGHT EL 3'-4"
- FINISH FLOOR EL 0'-0"

Material callouts include:

- MTL-1
- STO-1
- STO-2
- STO-3
- STO-4
- STO-5
- BRK-1
- BRK-2

The facade shows a central entrance with a dark door and a red brick wall, flanked by stone walls with horizontal bands of different materials.

02 REAR ELEVATION
A2.2 SCALE: 1/4" = 1'-0"



A New Building for:
GUTHRIE'S

RELEASES / DESCRIPTION / DATES

NOT FOR CONSTRUCTION ☐

RELEASED FOR CONSTRUCTION ☒

ATE	—/—/—
RAWN	MJ
HECKED	JMH
PPROVED	H+HA

PROJECT NUMBER

SHEET TITLE

DRAWING NO.

HJ SEAL

A2.2

2126 Morris Avenue Birmingham, AL
35203
Phone (205) 322-1751
Fax (205) 322-1778
email info@hplusha.com
www.hplusha.com

A New Building for:
GUTHRIE'S

RELEASES / DESCRIPTION / DATES

NOT FOR CONSTRUCTION ☐

RELEASED FOR CONSTRUCTION ☒

DATE	___/___/___
DRAWN	MJ
CHECKED	JMH
APPROVED	H+HA

PROJECT NUMBER	22029.00
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SHEET TITLE

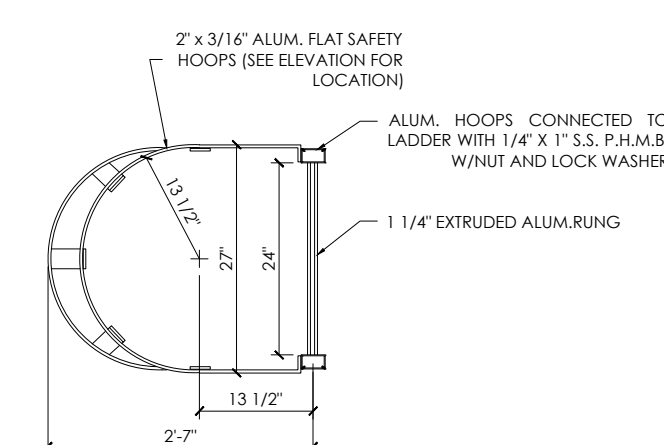
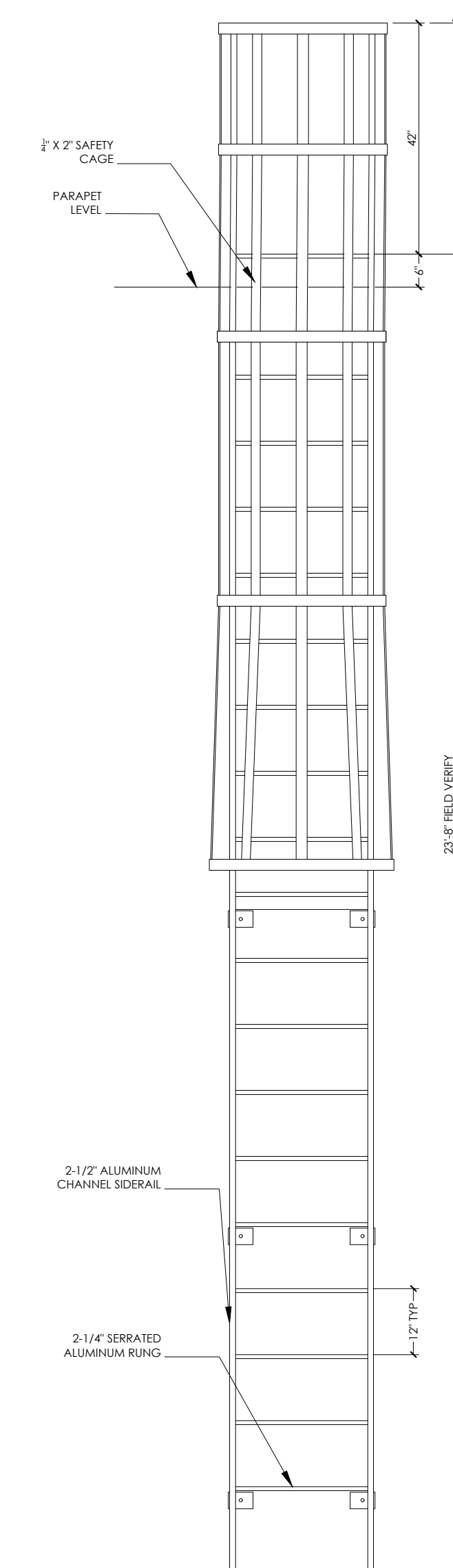
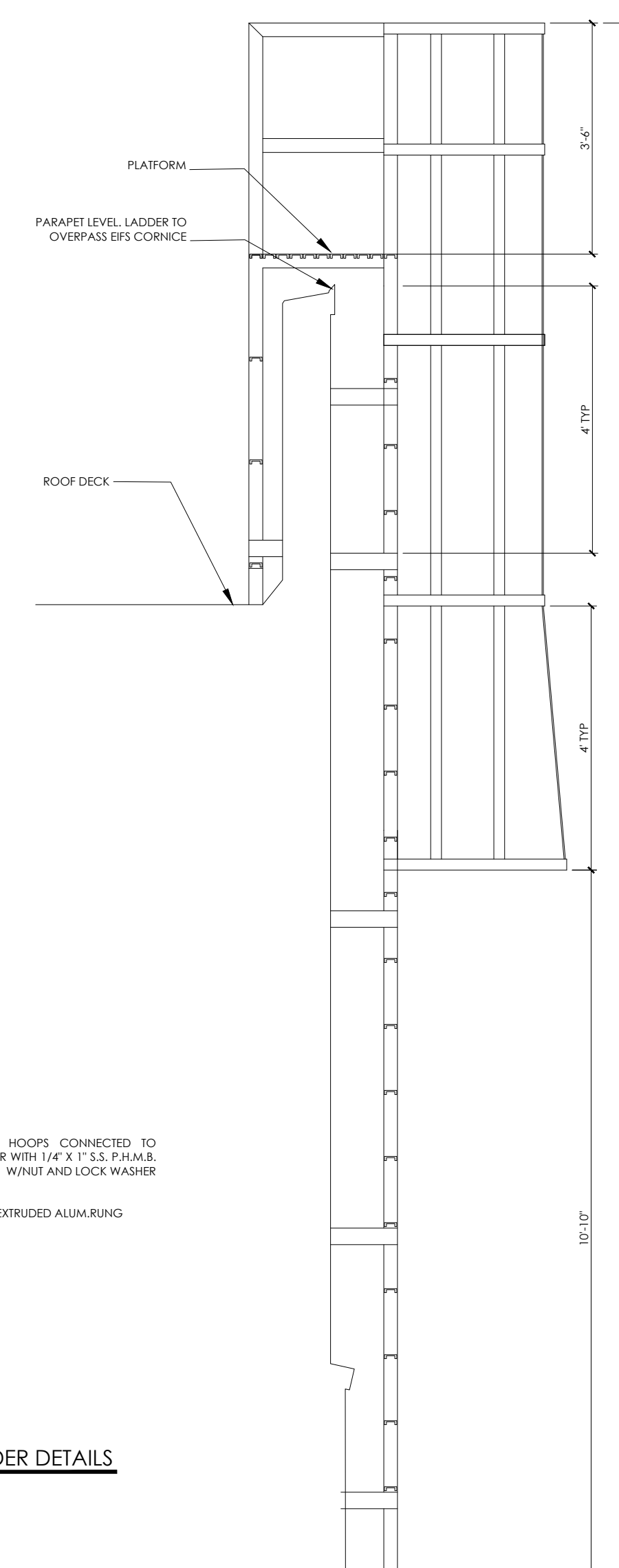
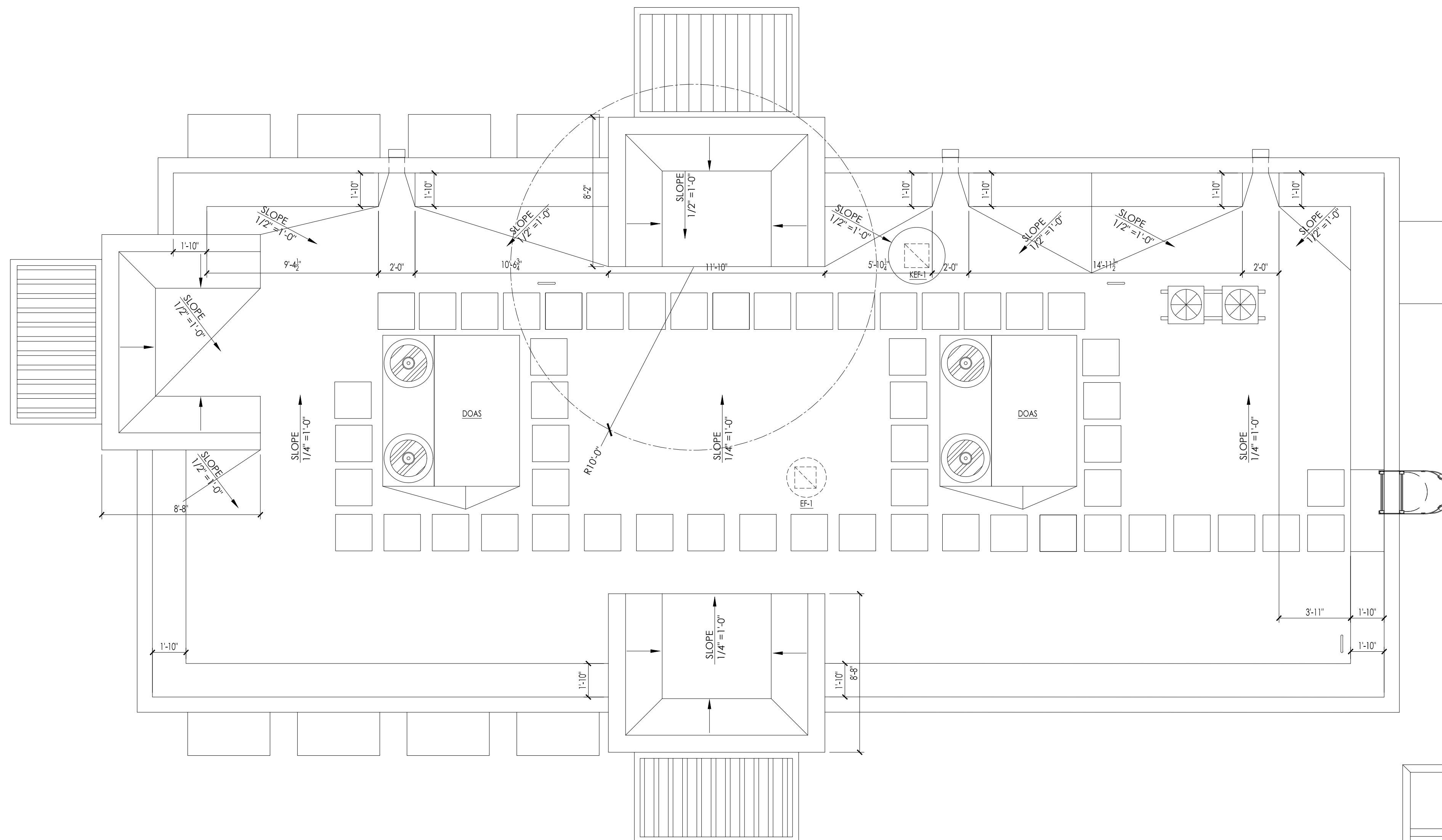
ROOF PLAN

DRAWING NO.

AHJ SEAL

A4.1

ROOF PLAN
SCALE: 1/4" = 1'-0"



03 ROOF ACCESS LADDER DETAILS
A4.1 SCALE: 1/2" = 1'-0"