



**Vestavia Hills
Board of Zoning Adjustment Agenda
April 16, 2026
6:00 PM**

1. Roll Call
2. Approval Of Minutes: March 2026
3. BZA-26-4 **Trevor Kaple** is requesting a **Side Setback Variance** for the property located at **2409 Chestnut Road**. The purpose of this request is to reduce the side setback to 16' in lieu of the required 17', to build a master bedroom addition. The property is owned by Trevor Kaple and is zoned **Vestavia Hills R-1**.
4. BZA-26-5 **Brittany Noe** is requesting a **Rear Setback Variance** for the property located at **2710 Shades Crest Road**. The purpose of this request is to reduce the rear setback to 9' in lieu of the required 15', to build a bedroom addition. The property is owned by Vaughn & Stacey Sparks and is zoned **Vestavia Hills R-1**.
5. Time Of Adjournment

**CITY OF VESTAVIA HILLS
BOARD OF ZONING ADJUSTMENT**

MINUTES

March 19, 2026

The Board of Zoning Adjustment of the City of Vestavia Hills met in regular session on this date at 6:00 PM. The roll was called with the following:

MEMBERS PRESENT:

- Tony Renta, Chairman
- Stephen Greer
- Loring Jones
- Marty Martin, Alt
- Thomas Parchman
- Vinay Patel

MEMBERS ABSENT

- Alan Crotwell

OTHER OFFICIALS PRESENT:

- Jack Wakefield, City Planner

APPROVAL OF MINUTES

The minutes of February 2026 were presented for approval.

MOTION Motion to dispense with the reading of the minutes of February 2026 was made by Mr. Jones and 2nd was by Mr. Patel. Motion as carried on a voice vote as follows:

- Mr. Greer – yes
- Mr. Jones – yes
- Mr. Martin – yes
- Mr. Parchman – yes
- Motion carried.
- Mr. Patel – yes
- Chairman Renta – yes

PARKING VARIANCE

BZA-26-2 **Lizzy Van Rooyen** is requesting a **Parking Variance** for the property located at 3965 Crosshaven Drive. The purpose of this request is to

reduce the number of parking spaces required from 100 spaces to 83 spaces. The property is owned by Will Akin and is zoned **Vestavia Hills B-2**.

Mr. Wakefield stated that the applicant has submitted the documentation requested by the Board in the last hearing.

Lizzy Van Rooyen, 4441 Cahaba River Road, was present for the case and stated that the ROW in question was sold to the City. She also restated the hardship that due to the parking lot limitations, more parking could not be added while abiding by public safety requirements.

Mr. Martin asked if this was purchased after the building was built?

Ms. Van Rooyen stated that it was.

Chairman Renta opened the floor for a public hearing.

Owen Malcolm, 4046 Ida Lane, expressed concerns about people parking on Ida Lane to access these businesses if the parking variance were approved. He also asked if the square footage could be reduced to limit the amount of parking required?

Ms. Van Rooyen stated that they are using the most stringent calculation, and that if they went by seating they would have enough parking spaces.

Mr. Wakefield stated that it is against the law for people to use his street as parking. That if this were occurring, he needs to call the Police.

There being no one else present in regard to the request; Chairman Renta closed the public hearing and opened the floor for a motion.

MOTION Motion to APPROVE a 17' Space Parking Variance to Reduce the parking to 83 spaces in Lieu of the Required 100 spaces, for the property located at 3965 Crosshaven Drive was made by Mr. Jones and 2nd was by Mr. Martin. Motion was carried on a roll call vote as follows:

Mr. Greer – yes	Mr. Patel – yes
Mr. Jones – yes	Mr. Parchman – no
Mr. Martin – no	Chairman Renta – yes

Motion carried.

EXTENSION OF VARAINCE APPROVAL

BZA-24-1 **Matthew Moore** is requesting an **Extension of Side Setback Variance** for the property located at **720 Vestavia Lake Drive**. The purpose of this request is to reduce the side setback to 5' in lieu of the required 15', to build a carport addition. The property is owned by Matthew Moore and is zoned **Vestavia Hills R-2**.

Mr. Wakefield explained that this is an extension to a previously approved variance. He also explained the reason for the delay in construction.

Chris Dickson was present for the case representing the owner. He said the owners have had personal pregnancies and contractor issues that have delayed construction of the previous request.

Chairman Renta asked if the setback that was approved going to be the same?

Mr. Dickson said yes it would be.

Mr. Wakefield explained that there was an understanding that some of the structure will change.

Mr. Dickson stated that it is mainly changes to the front façade.

Chairman Renta asked if the front setback will remain the same?

Mr. Dickson stated it would be.

Mr. Jones asked if a fire truck would be able to access this property.

Mr. Wakefield stated that there is a 15' alley between the lot lines separating the homes.

Mr. Martin stated that the original hardship mentioned the septic tank and grease trap.

Mr. Dickson stated that there is septic system in the front and a grease trap just behind the home. Though he didn't know why that is there.

Mr. Martin asked if that's still being used?

Mr. Dickson stated that the dishwasher, sink, and washers are hooked to it, but they plan to remove it.

Mr. Martin asked what is the hardship if that section is now being removed.

Mr. Dickson said the hardship of having to remove it, instead of cutting and capping it.

Mr. Martin said so it's the assumption that the water leaves the house and is dispersed into the back yard somehow.

Mr. Dickson said yeah. He assumes it some how makes its way to the creek.

Chairman Renta stated that you may find piping in the ground during construction.

Mr. Dickson stated that they are not planning to mess with the leach fields.

There were no further questions from the Board.

Chairman Renta opened the floor for a public hearing.

Gayle England, 808 Vestavia Lake Drive, she is the registered agent of the Vestavia Lake Corporation. She stated that she never got a notification for this request.

Mr. Wakefield asked if she was an adjacent neighbor.

Ms. England stated the alley is an access for the lake to the rear. She stated that she is concerned that if allowed to build 5' out, they will disrupt the access to the lake for the Fire Department.

Chairman Renta stated that he cannot build in that area.

Mr. Wakefield stated the alley is 15' and he is 5' away from that.

Ms. England asked why she didn't get a notification.

Mr. Wakefield pointed out the properties that are required notification.

Ms. England stated that the HOA owns the lake, which is adjacent.

Mr. Wakefield showed Ms. England which address is tied to that address on the tax map, as that was the address the notice was sent to.

There being no one present in regard to the request; Chairman Renta closed the public hearing and opened the floor for a motion.

MOTION Motion to APPROVE an Extension of Variance Approval for the property located at 720 Vestavia Lake Drive was made by Mr. Patel and 2nd was by Mr. Jones. Motion was carried on a roll call vote as follows:

Mr. Greer – yes	Mr. Patel – yes
Mr. Jones – yes	Mr. Parchman – yes
Mr. Martin – yes	Chairman Renta – yes

Motion carried.

SIDE AND REAR SETBACK VARIANCES

BZA-26-3 **Meredith Harper** is requesting a **Side & Rear Setback Variance** for the property located at **2543 Ivy Glenn Drive**. The purpose of this request is to reduce the side setback to 2' (existing) in lieu of the required 17' & to reduce the rear setback to 20' in lieu of the required 30', to rebuild the deck. The property is owned by Hunter and Meredith

Harper and is zoned **Vestavia Hills R-1**.

Mr. Wakefield explained that this is a request to rebuild the deck.

Hunter Harper, 2543 Ivy Glenn Drive, stated they want to rebuild the deck in the same place as original, but will widen slightly.

Chairman Renta asked if this is considered an odd shaped lot.

Mr. Wakefield stated that it would.

Mr. Martin asked clarification on widening the deck.

Mr. Harper stated that they are not adding more on the side, but will add more decking toward the driveway.

Mr. Patel asked if the shape of the lot causes a hardship.

Mr. Harper said it was.

Chairman Renta then opened the floor for a public hearing. There being no one present in regard to the request; Chairman Renta closed the public hearing and opened the floor for a motion.

MOTION Motion to APPROVE 15' Side Setback Variance to Reduce the Setback to 2' (existing) in Lieu of the Required 17' & 10' Rear Setback Variance to Reduce the Setback to 20' in Lieu of the Required 30' (condition the deck doesn't encroach passed the property line), for the property located at 2543 Ivy Glenn Drive was made by Mr. Jones and 2nd was by Mr. Greer. Motion was carried on a roll call vote as follows:

Mr. Greer – yes	Mr. Patel – yes
Mr. Jones – yes	Mr. Parchman – yes
Mr. Martin – yes	Chairman Renta – yes
Motion carried.	

Jack Wakefield, Planner/GIS



VESTAVIA HILLS

Board of Zoning Adjustment Planners Report

MEETING DATE

April 16, 2026

AGENDA ITEM

BZA-26-4 **Trevor Kaple** is requesting a **Side Setback Variance** for the property located at **2409 Chestnut Road**. The purpose of this request is to reduce the side setback to 16' in lieu of the required 17', to build a master bedroom addition. The property is owned by Trevor Kaple and is zoned **Vestavia Hills R-1**.

BACKGROUND

1' Side Setback Variance to Reduce the Setback to 16' in Lieu of the Required 17'.

PLANNER'S REVIEW/RECOMMENDATION

The applicant is seeking a side setback variance to build a master bedroom addition. The applicant contends the odd-shaped lot causes a hardship. The property line slightly diagonals into the lot, where if it were straight there would be no encroachment. The area of the new addition is where a current non-conforming deck sits, and the new addition will reside within that footprint. This zoned Vestavia Hills R-1.

ATTACHMENTS

1. Application
2. Existing Survey
3. Site Plan and Renderings
4. Existing Exterior
5. Owner's Affidavit

Jack Wakefield
City Planner



Record No: BZA-26-4

Variance Application

Status: Active

Submitted On: 3/17/2026

Primary Location

2409 CHESTNUT RD
VESTAVIA HILLS, AL 35216

Owner

Trevor Kaple
Chestnut Rd. 2409 Chestnut Rd Vestavia Hills,
AL 35216

Agenda Information

Agenda Scheduling

April 2026

Comments/Delay/Explanation

Applicant Information

I am filling this out as the

Representative Agent

Billing/Responsible Party

Name

Trevor Kaple

Phone #

2052611799

Address

2409 Chestnut Rd

City/State/Zip

Vestavia Hills, AL 35216

Email 

Representing Attorney/Other Agent

Name

Corey Gooch

Phone #

205-531-9505

Address

123 Meadowood Circle

City/State/Zip

Adamsville, AL 35005

Email 

Subject Property Information

Subject Property Address

2409 Chestnut Rd. Vestavia Hills, AL
35216

Legal Description of Subject Property 

Residential Property

REASONS FOR REQUEST

Front Setback Variance

Rear Setback Variance

Side Setback Variance

Setback Required*

17'

Setback Requested*

16'

Other Setback Variance

Lot Area Variance

Lot Width Variance

Variance for location of a fence.

Sign Code Variance

A decision of the Zoning Official which the applicant believes to be contrary to the meaning of the Zoning Ordinance.

Other

Details 

A historical area of existing non-conforming structure is planned to be used to expand the floorplan of the current home. This includes no further foundation or footprint expansion. Simply expanding the liveable area over the footprint of the existing deck wall. We found that a small (1 ft max) triangular area does overlap the set back upon reviewing with the survey. This area has been in place since 2015 or 2016 to my understanding at the time of a previous remodel of the home.

ZONING

Vestavia Hills Zoning for the subject property is

R-1

PROJECT

Describe the scope of the project and/or the reason for requesting this variance.*

A historical area of existing non-conforming structure is planned to be used to expand the floorplan of the current home. This includes no further foundation or footprint expansion. Simply expanding the liveable area over the footprint of the existing deck wall. Upon reviewing the survey, it was found that a small (1 ft max) triangular area of said wall overlaps the set back . It is my understanding that this area has been in place since 2015 at the time of a previous remodel.

Other areas of the home are being remodeled/expanded at the same time, in a matching fashion on the opposite side of the home. All other areas of expansion were designed to stay within the current setbacks. This is the only area of the current home that was found to have a small overlap of the setback. To alter this area would be monetarily, esthetically and physically exorbitant.

The existing foundation has been inspected and will not require any work or reinforcement to achieve what is needed for this expansion.

HARDSHIP

Please answer the following questions regarding hardship and briefly summarize and describe those things which you feel justify the action requested in the box below. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).*

The area within the current setbacks has been maximized for the upcoming expansion of the home. The area directly behind the home houses the septic system and cannot be used for expansion.

Before any variance is granted, the BZA must find that ALL of the following conditions exist. Please describe each of the following details in order for the BZA to determine if these warrants the described hardship.

1. There are extraordinary and exceptional conditions, which are peculiar to the piece of property in question because of its size, shape or topography, that are not applicable to the other lands or structures in the same district. Please explain:*

A historical area of existing non-conforming structure is planned to be used to expand the floorplan of the current home. This includes no further foundation or footprint expansion. Simply expanding the liveable area over the footprint of the existing deck wall.

2. Granting the variance requested will not confer upon the applicant any special privileges that are denied to other owners of property in the District in which the property is located. Please explain:*

No special privileges will be conferred, as the previous construction/remodel has been in place for 10+ years.

3. All literal interpretations of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by others of property in the district in which the property is located. Please explain:*

The ordinance would not allow me to expand my home in a normal and reasonable fashion.

4. The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare. Please explain:*

The construction/remodel project will add value and esthetic to the neighborhood in a positive way.

5. The special circumstances are not the intended result of the actions of the applicant (i.e., self-imposed hardship). Please explain:*

My intent is to add value to the city of Vestavia and my neighborhood.

6. The variance requested is the minimum variance that will make possible the legal use of the land, building or structure. Please explain:*

Absolutely. The intent is to keep the current footprint in the area of the variance requested with no other areas of setback overlap.

7. The no non-conforming use of neighboring lands, structures, or buildings in the same district, and no permitted or non-conforming use of lands, structures, or building in other districts shall be considered grounds for the issuance of a variance.

8. That a variance will not allow the permanent establishment of a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.*


The only intended use of the variance is to establish a residential home remodel/expansion that is esthetic and functional for my family.

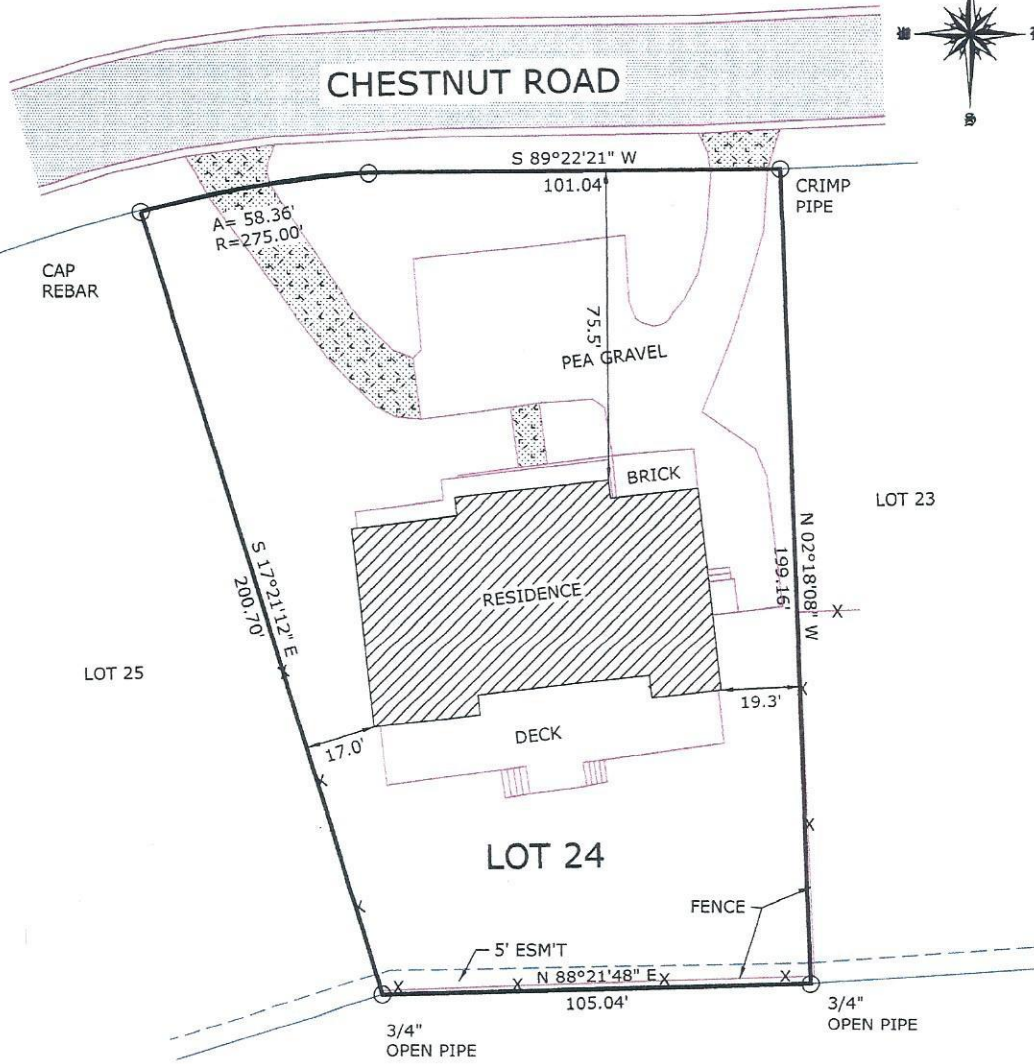
NOTE: In proving that an unnecessary hardship has been imposed on the property as a result of the strict interpretation of this Ordinance, the following conditions cannot be considered pertinent to the determination of whether or not an unnecessary hardship exists: (1) proof that a variance would increase the financial return from land; or (2) personal or economic hardship; or (3) self-imposed hardship. In other words, hardship alone is not sufficient to permit a variance. It must be an "unnecessary hardship." Mere financial loss of a kind, which might be common to all of the property owners in a district, is not an "unnecessary hardship."

OWNER AFFIDAVIT

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit. Owners authorization may be found on our main page.

Representing Agent Signature 

 Corey Gooch
Mar 17, 2026



STATE OF ALABAMA
JEFFERSON COUNTY

I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING
HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS
OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA,
TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

S. M. Allen 7-29-2020
S. M. ALLEN PLS NO 12944 DATED

DESCRIPTION
LOT 24 VESTAVIA HILLS, 6TH ADDITION, AS RECORDED IN MAPBOOK 37,
PAGE 1, IN THE PROBATE OFFICE.



DRAWN BY: SMA	REVISIONS	PROJECT: SPOT SURVEY	ALLSURV, LLC S.M. ALLEN, PLS 12944 9378 HIGHWAY 119 SUITE B ALABASTER, AL, 35007 205 663-4251
DATE: 7-28-2020		DATE OF FIELD SURVEY 7-28-20	
DWG. NO.: 16087		BEARINGS ASSUMED NORTH	
APPROVED BY: SMA		CLOSURE 1:20000	

KAPLE RESIDENCE RENOVATION

2409 Chestnut Rd, Vestavia Hills, AL 35216



MONUMENT

michael@monument.studio
205.215.5229

KAPLE RESIDENCE RENOVATION
2409 Chestnut Rd, Vestavia Hills, AL 35216

DATE:

2/27/2026

REVISIONS:

#	DESCRIPTION	DATE

PROJECT NUMBER:

25007

SHEET NAME:

TITLE SHEET

SHEET NUMBER:

A000

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PROJECT TEAM

OWNER

TREVOR KAPLE
2509 CHESTNUT RD.
VESTAVIA HILLS, AL 35216
PROJECT CONTACT: TREVOR KAPLE
EMAIL: TKAPLE@GMAIL.COM
PHONE: (205) 261-1799

ARCHITECT

MONUMENT LLC
4236 WILDERNESS RD.
MOUNTAIN BROOK, AL 35213
PROJECT CONTACT: MICHAEL FOSTER, RA
EMAIL: MICHAEL@MONUMENT.STUDIO
PHONE: (205) 215-5229

STRUCTURAL ENGINEER

LIVE OAK ENGINEERING
2509 7TH AVE. SOUTH
BIRMINGHAM, AL 35233
PROJECT CONTACT: NATHAN KLENKE, P.E.
EMAIL: NATHAN@LIVEOAKENGINEERING.COM
PHONE: (205) 637-3115

DRAWING LIST

ARCHITECTURAL

- A000 TITLE SHEET
- A101 FLOOR PLAN AND DEMOLITION PLAN
- A102 ROOF PLAN AND EXTERIOR ELEVATIONS
- A103 DETAILS AND SCHEDULES
- A201 EXTERIOR ELEVATIONS
- A202 REFLECTED CEILING PLAN
- A301 WALL SECTIONS

STRUCTURAL

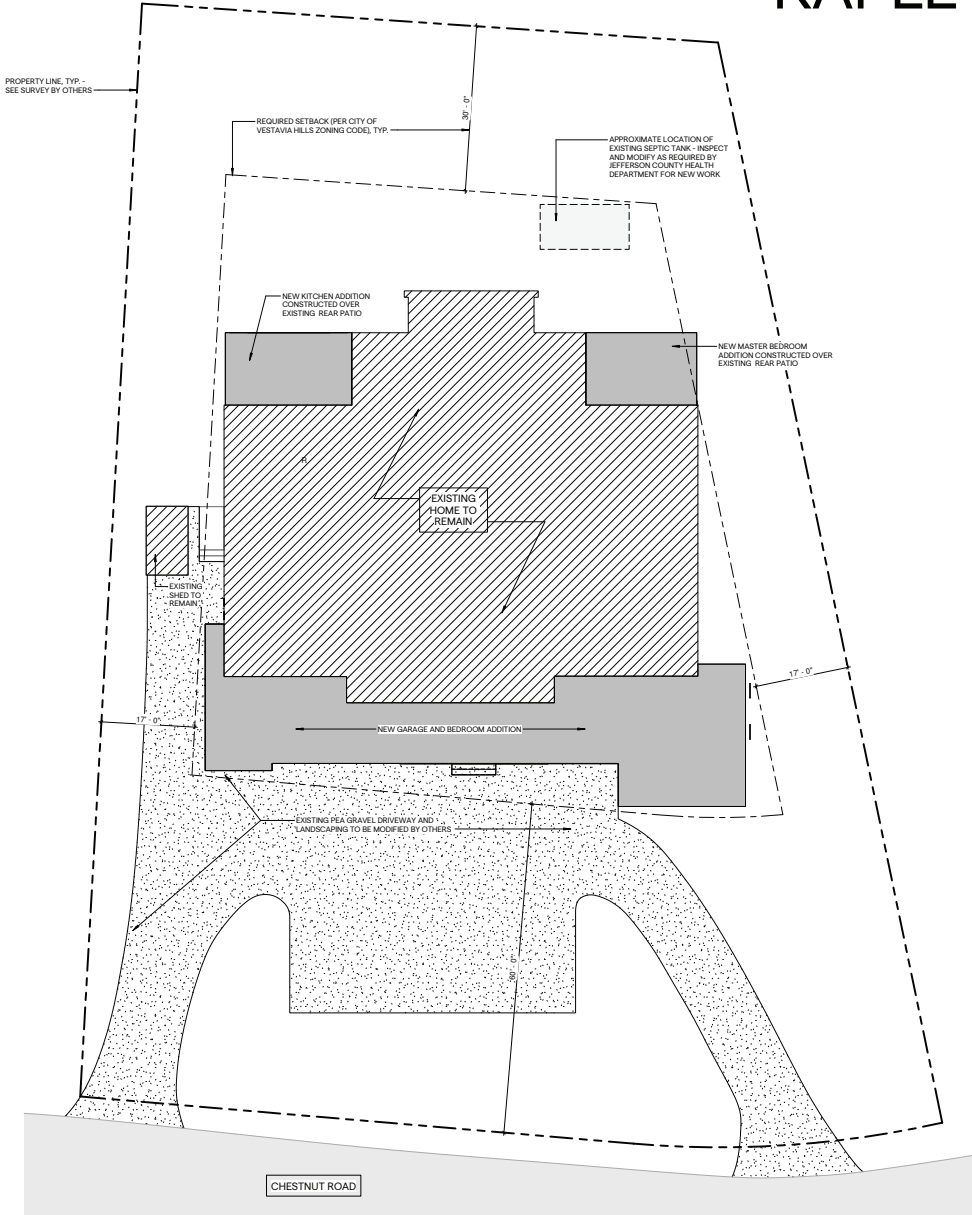
- S001 GENERAL NOTES
- S101 FOUNDATION PLAN
- S102 ROOF FRAMING PLAN
- S103 CANOPY FRAMING PLAN
- S201 TYPICAL DETAILS
- S202 TYPICAL DETAILS

GENERAL NOTES

- CITY OF VESTAVIA HILLS ADOPTED CODES APPLICABLE TO THE PROJECT INCLUDE: 2021 INTERNATIONAL RESIDENTIAL CODE**
- DESCRIPTION OF THE WORK:** 1,975 SF ADDITION TO AN EXISTING HOME CONSISTING OF A NEW KITCHEN ADDITION, AN EXPANDED MASTER BEDROOM ADDITION, A NEW THREE-CAR GARAGE ADDITION, A NEW BEDROOM ADDITION, AND RENOVATION OF EXISTING SPACES
- GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR PROVIDING SUBCONTRACTORS WITH COMPLETE DOCUMENTS INDICATING ALL REQUIREMENTS OF THEIR TRADE.
 - PROJECT REQUIREMENTS, MATERIAL SPECIFICATIONS, AND PROPRIETARY ITEMS REQUIRED FOR THE PROJECT ARE LISTED IN NOTES AND LEGENDS THROUGHOUT THE DRAWING SET - NO SEPARATE PROJECT MANUAL WILL BE PROVIDED.
 - GC IS TO PROVIDE ALL ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS REQUIRED FOR THE WORK (EITHER DESIGN/BUILD BY A QUALIFIED SUBCONTRACTOR OR OTHER CONSULTING ENGINEER). ARCHITECT'S SCOPE OF WORK DOES NOT INCLUDE MEP ENGINEERING. GC TO PROVIDE ENGINEER'S DRAWINGS FOR COORDINATION WITH THE ARCHITECT AS REQUIRED FOR THE PROVISIONS OF THE PROJECT.
 - CARE IS TO BE TAKEN TO REDUCE NOISE LEVELS IN ORDER TO MINIMIZE DISRUPTION OF ADJACENT PROPERTIES. PARTICULARLY NOISY ACTIVITIES MAY NEED TO BE COORDINATED WITH NEIGHBORS AND THE OWNER PRIOR TO COMMENCING.
 - EXISTING UTILITIES SHOWN TO BE TIED IN TO REMAIN IN SERVICE AND ARE TO BE PROTECTED THROUGHOUT CONSTRUCTION.
 - SITE TO BE KEPT CLEAR OF LOOSE DEBRIS. FLOORS TO BE SWEEPED REGULARLY. ANY LOOSE EQUIPMENT, DUCTWORK, CONDUIT, ETC. THAT IS SHOWN TO REMAIN ARE TO BE TIED OR ANCHORED SECURELY UNTIL FINAL CONNECTIONS ARE MADE.
 - ABANDONING ITEMS OR UNUSED UTILITIES IN PLACE IS STRICTLY PROHIBITED, UNLESS SPECIFICALLY PERMITTED BY THE OWNER.
 - ALL NEW ROOF PENETRATIONS TO BE SEALED PER EXISTING ROOFING WARRANTY - COORDINATE WITH OWNER.
 - DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR SHALL FIELD VERIFY ALL CONTROL POINTS INCLUDING FLOOR TO FLOOR HEIGHTS AS WELL AS STRUCTURAL GRID LINES PRIOR TO COMMENCING WORK. ARCHITECT SHALL BE NOTIFIED OF ANY MEASUREMENTS THAT VARY FROM THOSE INDICATED.
 - ALL FINISH AND COLOR SELECTIONS TO BE PROVIDED BY OWNER. FURNITURE TO BE PROVIDED AND INSTALLED BY OWNER.
 - GC TO COORDINATE WITH OWNER ALL BUILDING SECURITY REQUIREMENTS, DATA, AUDIO, TELECOMMUNICATIONS, CABLE AND/OR SATELLITE, DOOR KEYING & HARDWARE REQUIREMENTS.
 - GC SHALL PROVIDE ALLOWANCES FOR ANY ITEMS NOT SPECIFICALLY SHOWN, INCLUDING ALL UTILITY CONNECTIONS.

ABBREVIATIONS

- AFB ABOVE FINISH FLOOR
- CL CENTERLINE
- F.V. FIELD VERIFY
- GC GENERAL CONTRACTOR
- M.O. MASONRY OPENING
- NS NOT IN SCOPE
- O.C. ON CENTER
- T.O. TOP OF
- UNO. UNLESS NOTED OTHERWISE



1 ARCHITECTURAL SITE PLAN
3/32" = 1'-0"

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MONUMENT
 michael@monumentstudio.com
 2005-213-5529

KAPLE RESIDENCE RENOVATION
 2409 Chestnut Rd, Vestavia Hills, AL 35216

FLOOR PLAN NOTES

- GENERAL CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS PRIOR TO NEW WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. DESIGN INTENT IS FOR ALL NEW FINISHED FACES TO ALIGN WITH EXISTING FINISHED FACES AT BOTH INTERIOR AND EXTERIOR CONDITIONS.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL LOCATIONS SHOWN TO HAVE WALL CABINETS OR WALL HUNG SHELVING MUST HAVE BLOCKING INSTALLED BY THE GC.
- ALL GLASS SHOWN TO BE CLEAR TEMPERED, UNLESS OTHERWISE NOTED. GLASS TO HAVE TEMPERED STAMP MARKING CLEARLY VISIBLE IN BOTTOM CORNER.
- ANY EXISTING PARTITIONS / WALLS SHOWN TO REMAIN AND RECEIVE A NEW FINISH ARE TO BE PROTECTED, PATCHED, AND PREPARED FOR NEW SCHEDULED FINISH.
- CALLK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXTERIOR WINDOW FRAMES, AND CASEWORK WITH ADJACENT MATERIALS EVEN THOUGH JOINT MAY NOT BE VISIBLE.
- ALL ABOVE-CEILING UTILITIES TO BE INSTALLED TIGHT TO STRUCTURE AND PAINTED TO MATCH ADJACENT IN OPEN CEILING AREAS UNO. CLEAR ACCESS TO BE PROVIDED TO ALL VALVES AND CONTROL BOXES PER CODE MINIMUM REQUIREMENTS.
- CONCRETE SLABS WHERE NEW FLOORING IS BEING INSTALLED TO BE PREPPED WITH ARDEX FINESTH FINISH, OR EQUAL, TO ACHIEVE SMOOTH FINISH, OR AS OTHERWISE DIRECTED BY FLOORING MANUFACTURER.
- ROOF PENETRATIONS TO BE SEALED PER ROOF MANUFACTURER'S RECOMMENDATIONS. COORDINATE WITH ROOFING WARRANTY REQUIREMENTS.
- NEW PLUMBING TO BE INTO EXISTING SEPTIC LINE LOCATED AT REAR OF HOME. FIELD VERIFY.
- COORDINATE LOCATIONS OF ELECTRICAL OUTLETS AND SWITCHING WITH OWNER AND A/J PROVIDER.
- NO MECHANICAL (HVAC), ELECTRICAL, OR PLUMBING ENGINEERING IS PROVIDED IN ARCHITECT'S SCOPE OF WORK.** ALL MEP SYSTEMS SHALL MEET LOCAL CODES AND ANY REQUIRED DOCUMENTATION FOR CITY INSPECTORS TO BE PROVIDED BY THE GC AND/OR THEIR QUALIFIED SUBCONTRACTORS.

FLOOR PLAN LEGEND

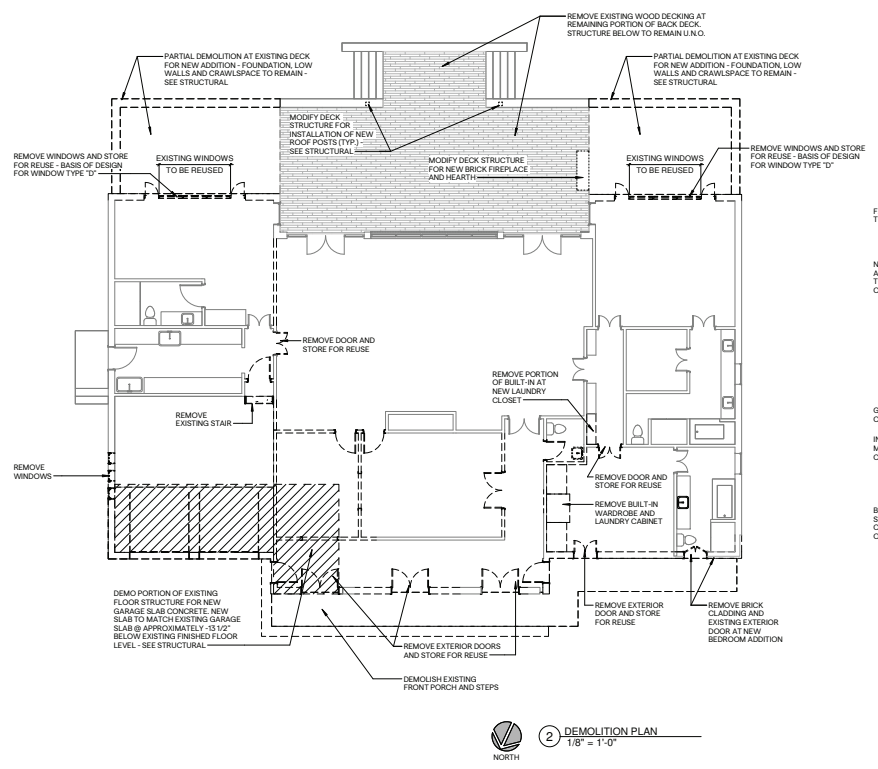
- SHADED AREAS INDICATE NEW ADDITION - FINISHED FLOOR LEVEL TO MATCH EXISTING ADJACENT FLOOR LEVEL UNO.
- DOOR TAG - SEE DOOR SCHEDULE. NOTE: DOORS WITH NO TAG ARE EXISTING TO REMAIN IN PLACE (NO CHANGE)
- WINDOW TAG - SEE WINDOW SCHEDULE

DEMOLITION NOTES

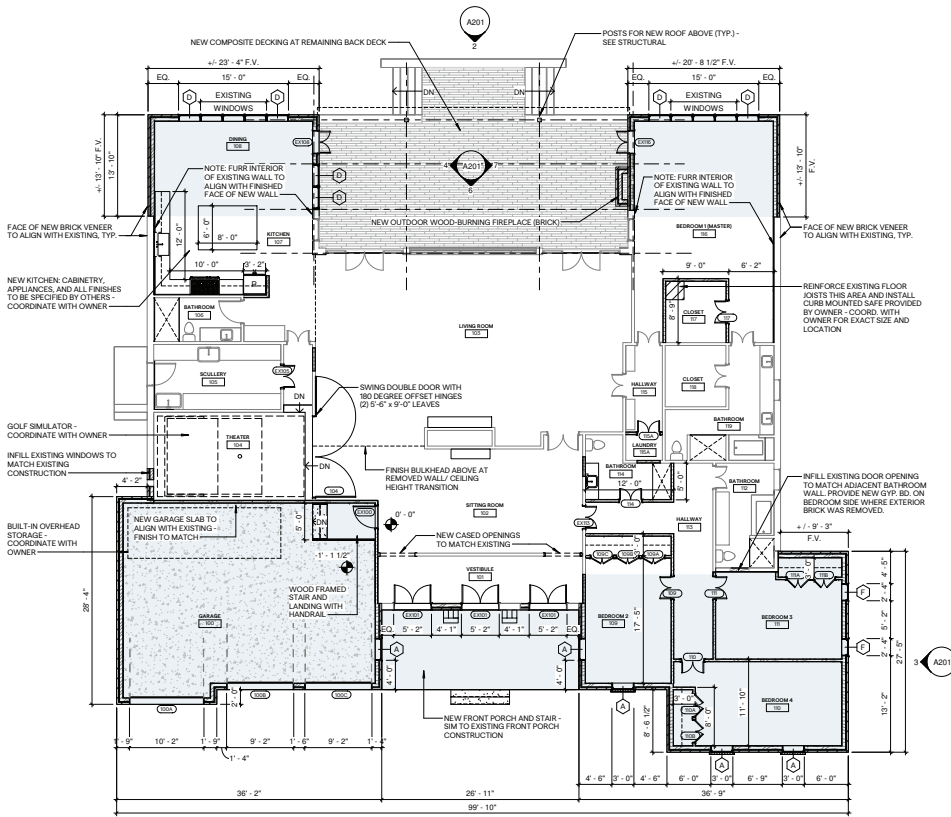
- GENERAL CONTRACTOR IS RESPONSIBLE FOR VISITING THE JOB SITE AND VERIFYING EXISTING CONDITIONS AND DIMENSIONS. GENERAL CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- CARE IS TO BE TAKEN TO REDUCE NOISE LEVELS IN ORDER TO MINIMIZE DISRUPTION OF NEIGHBORING PROPERTIES. PARTICULARLY NOISY ACTIVITIES MAY NEED TO BE COORDINATED WITH NEIGHBORS PRIOR TO COMMENCING.
- GENERAL CONTRACTOR TO MAINTAIN A CLEAN PATH FROM THE PROJECT SITE TO THE DUMPSTER. DUMPSTER LOCATION AND SCHEDULED PICK-UPS TO BE COORDINATED WITH THE OWNER AND CITY.
- ANY EXISTING PARTITIONS / WALLS SHOWN TO REMAIN AND RECEIVE A NEW FINISH ARE TO BE PROTECTED, PATCHED, AND COMPLETELY SKIM-COATED TO A SMOOTH FINISH.
- COMPLY WITH ALL STANDARD LOCAL, STATE, NATIONAL AND FEDERAL SAFETY REQUIREMENTS FOR DEMOLITION.

DEMOLITION LEGEND

- DASHED LINES INDICATE PARTITIONS, DOORS, OR OTHER ELEMENTS TO BE REMOVED. ITEMS TO BE PARTIALLY DEMOLISHED OR STORED FOR REUSE IN THE NEW WORK ARE NOTED.



2 DEMOLITION PLAN
 1/8" = 1'-0"
 NORTH



1 FLOOR PLAN
 1/8" = 1'-0"
 NORTH

DATE: 2/27/2026

REVISIONS:

#	DESCRIPTION	DATE

PROJECT NUMBER: 25007

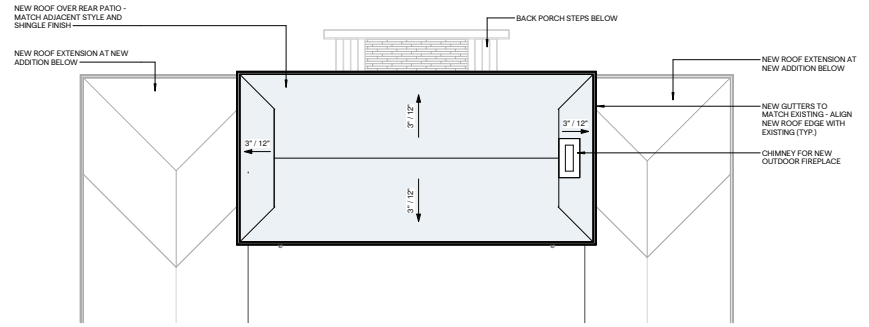
SHEET NAME: FLOOR PLAN AND DEMOLITION PLAN

SHEET NUMBER: A101

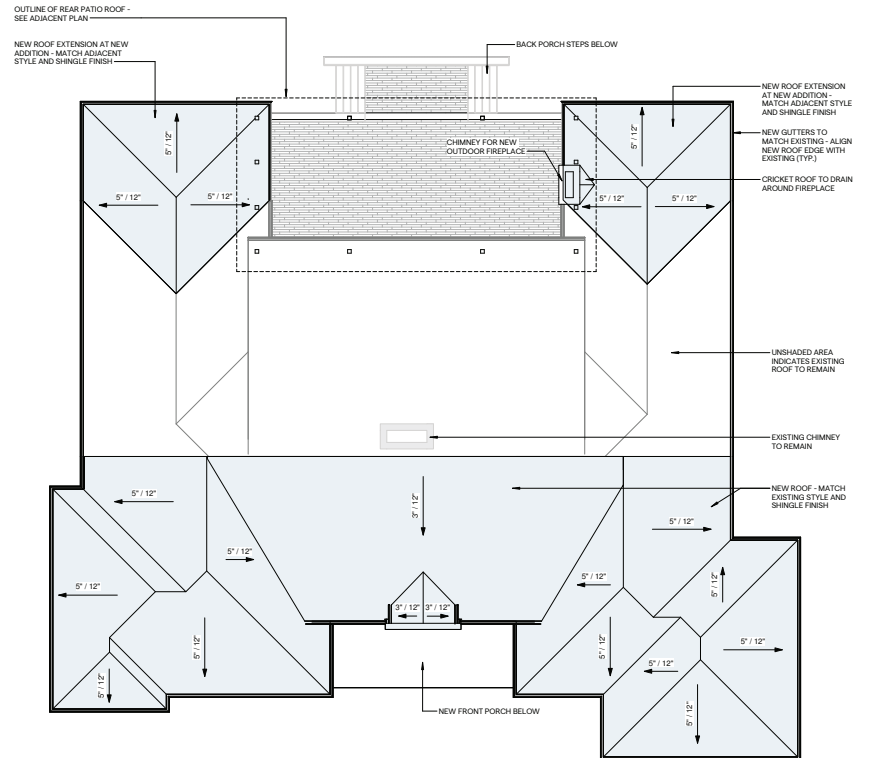
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ROOF PLAN NOTES

1. ALL NEW GUTTERS AND DOWNSPOUTS ARE TO MATCH EXISTING. ROUTE ALL DOWNSPOUTS TO EXISTING UNDERGROUND STORMWATER SYSTEM. GENERAL CONTRACTOR TO PROVIDE DESIGN DRAWINGS FOR FULL GUTTER AND DOWNSPOUT SYSTEM FOR REVIEW AND APPROVAL PRIOR TO PROCUREMENT.
2. ALL NEW ROOF ASSEMBLIES, PITCHES, AND FINISHES TO MATCH EXISTING ADJACENT UNLESS NOTED OTHERWISE.
3. GENERAL CONTRACTOR TO BLEND ALL NEW WORK WITH EXISTING SUCH THAT TRANSITIONS ARE NOT READILY OBSERVABLE.
4. ALL WORK IS TO BE PERFORMED CONSISTENT WITH MANUFACTURERS RECOMMENDATIONS AND INSTALLATION REQUIREMENTS. CONTRACTOR IS TO FURNISH DOCUMENTATION OF ROOFING WARRANTY AT PROJECT COMPLETION.
5. REAR PATIO ROOF BASIS OF DESIGN IS SKY LIFT ROOF RISER SYSTEM. GENERAL CONTRACTOR IS TO COORDINATE WITH OWNER ON FINAL SELECTION OF PRODUCT SYSTEM TO BE UTILIZED, AND PROVIDE ALL NECESSARY SPECIFICATION AND INSTALLATION DATA FOR STRUCTURAL ENGINEER REVIEW PRIOR TO PROCUREMENT.



2 REAR PATIO ROOF PLAN
1/8" = 1'-0"



1 ROOF PLAN
1/8" = 1'-0"



MONUMENT
michael@monumentstudio.com
205-213-5529

KAPLE RESIDENCE RENOVATION
2409 Chestnut Rd, Vestavia Hills, AL 35216

DATE: 2/27/2026

REVISIONS:

#	DESCRIPTION	DATE

PROJECT NUMBER: 25007

SHEET NAME: ROOF PLAN AND EXTERIOR ELEVATIONS

SHEET NUMBER: **A102**

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MONUMENT
michael@monument.studio
205.213.5529

KAPLE RESIDENCE RENOVATION
2409 Chestnut Rd, Vestavia Hills, AL 35216

DOOR SCHEDULE			
NUMBER	WIDTH	HEIGHT	NOTES
100A	9'-0"	8'-0"	OVERHEAD GARAGE DOOR WITH WINDOWS IN TOP SECTION
100B	9'-0"	8'-0"	OVERHEAD GARAGE DOOR WITH WINDOWS IN TOP SECTION
100C	9'-0"	8'-0"	OVERHEAD GARAGE DOOR WITH WINDOWS IN TOP SECTION
104	10'-0"	9'-0"	OVERSIZED DOUBLE SWING DOOR WITH 180 DEGREE OFFSET HINGES
109	3'-0"	7'-9"	DOUBLE SWING DOOR TO MATCH EXISTING BEDROOM DOORS
109A	3'-0"	7'-9"	DOUBLE SWING DOOR TO MATCH EXISTING BEDROOM DOORS
109B	3'-0"	7'-9"	DOUBLE SWING DOOR TO MATCH EXISTING BEDROOM DOORS
109C	3'-0"	7'-9"	DOUBLE SWING DOOR TO MATCH EXISTING BEDROOM DOORS
110	3'-0"	7'-9"	DOUBLE SWING DOOR TO MATCH EXISTING BEDROOM DOORS
110A	3'-0"	7'-9"	DOUBLE SWING DOOR TO MATCH EXISTING BEDROOM DOORS
110B	3'-0"	7'-9"	DOUBLE SWING DOOR TO MATCH EXISTING BEDROOM DOORS
111	3'-0"	7'-9"	DOUBLE SWING DOOR TO MATCH EXISTING BEDROOM DOORS
111A	3'-0"	7'-9"	DOUBLE SWING DOOR TO MATCH EXISTING BEDROOM DOORS
111B	3'-0"	7'-9"	DOUBLE SWING DOOR TO MATCH EXISTING BEDROOM DOORS
114	3'-0"	7'-9"	DOUBLE SWING DOOR TO MATCH EXISTING BEDROOM DOORS
115A	3'-0"	7'-9"	DOUBLE SWING DOOR TO MATCH EXISTING BEDROOM DOORS
117	3'-0"	7'-9"	DOUBLE SWING DOOR TO MATCH EXISTING BEDROOM DOORS
EX100	3'-0"	7'-9"	EXISTING DOOR RELOCATED FROM EXISTING GARAGE
EX101	5'-0"	9'-0"	EXISTING DOOR RELOCATED FROM FRONT ENTRY
EX101	5'-0"	9'-0"	EXISTING DOOR RELOCATED FROM FRONT ENTRY
EX101	5'-0"	9'-0"	EXISTING DOOR RELOCATED FROM FRONT ENTRY
EX105	3'-0"	7'-9"	EXISTING DOOR RELOCATED FROM LIVING ROOM/KITCHEN CORRIDOR
EX108	3'-0"	8'-6"	EXISTING DOOR RELOCATED FROM FRONT BEDROOM
EX113	3'-0"	7'-9"	EXISTING DOOR RELOCATED FROM BEDROOM CORRIDOR
EX116	3'-0"	8'-6"	EXISTING DOOR RELOCATED FROM FRONT BATHROOM

WINDOW SCHEDULE				
TYPE	WIDTH	HEIGHT	COUNT	NOTES
A	3'-0"	5'-0"	6	OPERABLE WINDOW WITH GRILLES TO MATCH EXISTING FRONT DOORS
D	3'-0"	8'-6"	15	FIXED WINDOW UNIT WITH NO GRILLES - MATCH STYLE OF EXISTING REAR WINDOWS
F	2'-4"	5'-0"	3	OPERABLE WINDOW WITH GRILLES TO MATCH EXISTING FRONT DOORS

NOTES

- ALL WINDOWS AND DOORS TO BE JELD-WEN SITESLINE TO MATCH EXISTING DOOR & WINDOW STYLES. PAINT FINISH TO MATCH EXISTING GLASS TO MATCH EXISTING.
- FINISHES TO MATCH EXISTING:
 - HARDWOOD FLOORING THROUGHOUT TO MATCH EXISTING WOOD FLOORING WITH THE EXCEPTION OF THE NEW BATHROOM AND NEW BATHROOM FLOORING TO MATCH EXISTING BATHROOM FLOORING.
 - SEE EXAMPLE PHOTOS (THIS SHEET) FOR LEVEL OF FINISH AT ALL CROWN MOLDING, WALL BASE, DOORS, WINDOWS, TRIM, ETC. ALL MILLWORK AND TRIM TO MATCH EXISTING.
 - COORDINATE PAINT COLORS AND ALL OTHER FINISH DETAILS FOR NEW BATHROOM AND NEW KITCHEN DIRECTLY WITH HOMEOWNER.



TYPICAL DOOR, WALL BASE, AND HARDWOOD FLOORING



TYPICAL BUILT-IN CABINERY AND CROWN MOLDING



TYPICAL DOOR CASING - WINDOWS ARE SIMILAR

DATE: 2/27/2026

REVISIONS:

#	DESCRIPTION	DATE

PROJECT NUMBER:

25007

SHEET NAME:

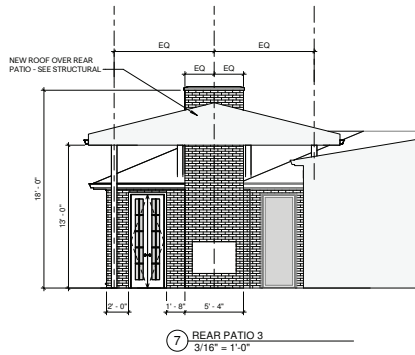
DETAILS AND SCHEDULES

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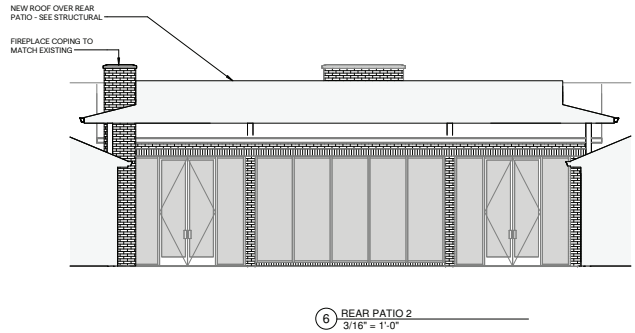
A103

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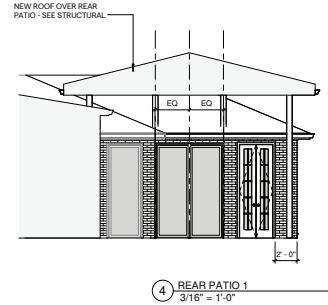
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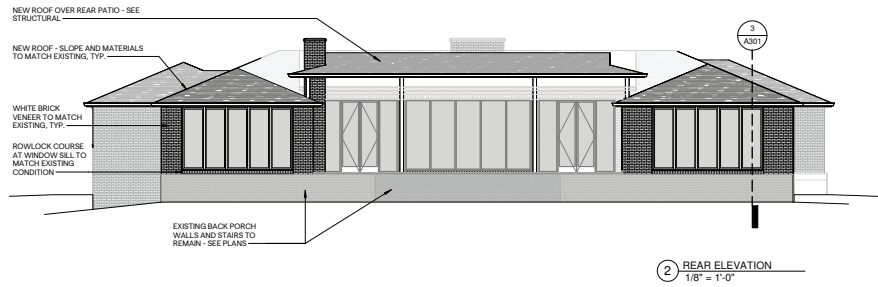
7 REAR PATIO 3
3/16" = 1'-0"



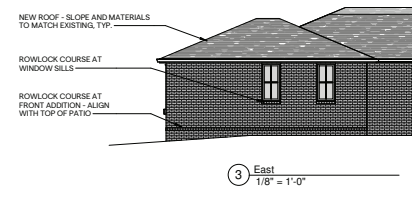
6 REAR PATIO 2
3/16" = 1'-0"



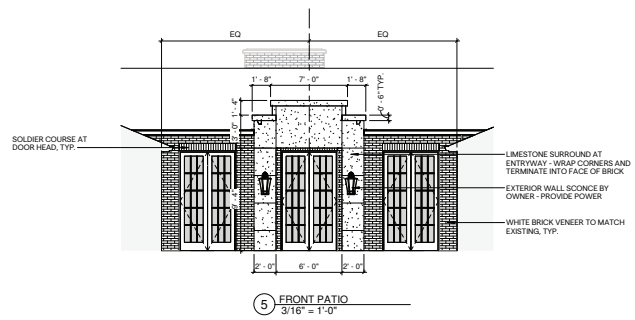
4 REAR PATIO 1
3/16" = 1'-0"



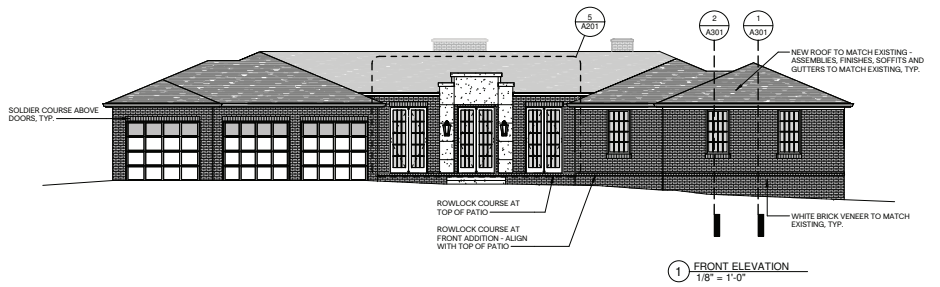
2 REAR ELEVATION
1/8" = 1'-0"



3 East
1/8" = 1'-0"



5 FRONT PATIO
3/16" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"



KAPLE RESIDENCE RENOVATION
2409 Chestnut Rd, Vestavia Hills, AL 35216

DATE: 2/27/2026

REVISIONS:

#	DESCRIPTION	DATE

PROJECT NUMBER:
25007
SHEET NAME:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A201

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REFLECTED CEILING PLAN NOTES

1. ALL NEW ELEMENTS - CEILINGS, SOFFITS, AND FIXTURES - TO MATCH EXISTING UNLESS NOTED OTHERWISE. FINISH ALL MATERIAL TRANSITIONS TO SEAMLESSLY BLEND EXISTING WITH NEW.
2. LIGHT FIXTURES TO BE SUPPORTED FROM THE STRUCTURE ABOVE, INDEPENDENTLY OF THE CEILING.
3. PROVIDE SMOKE DETECTORS AT CORRIDORS AND ALL BEDROOMS AS REQUIRED BY CODE.

RCP LEGEND

- FLUSH MOUNT LED LIGHT FIXTURE
- ⊙ PENDANT LIGHT FIXTURE
- RECESSED LED DOWNLIGHT



KAPLE RESIDENCE RENOVATION
2409 Chestnut Rd, Vestavia Hills, AL 35216

DATE: 2/27/2025

REVISIONS:

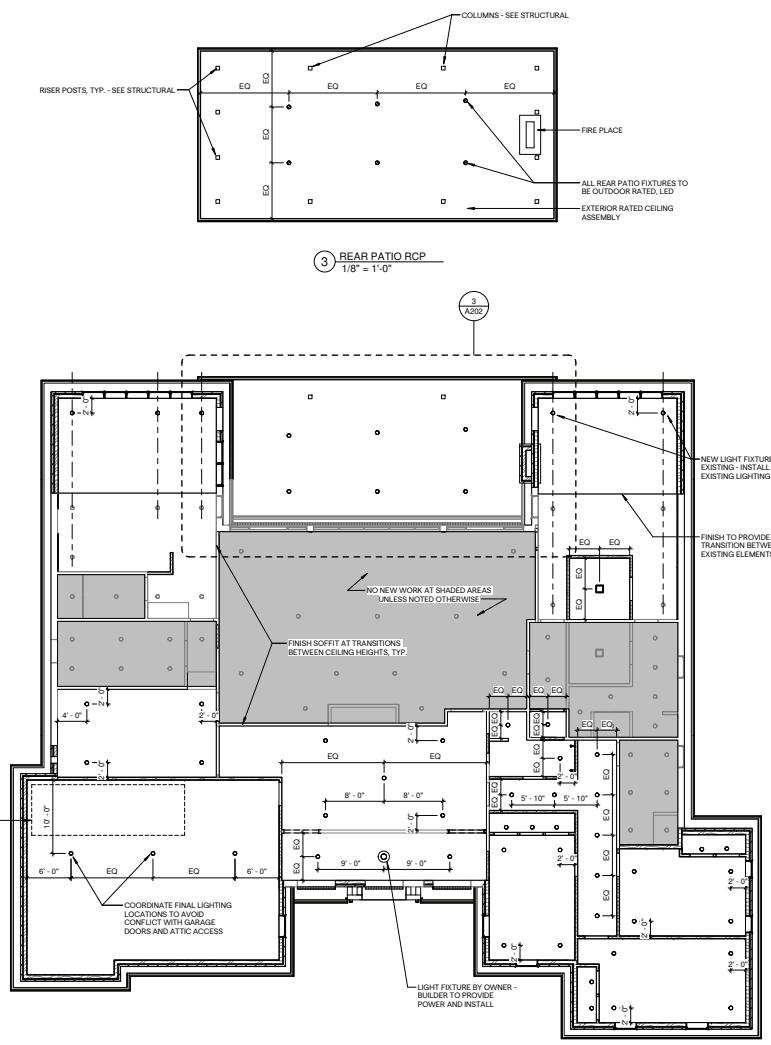
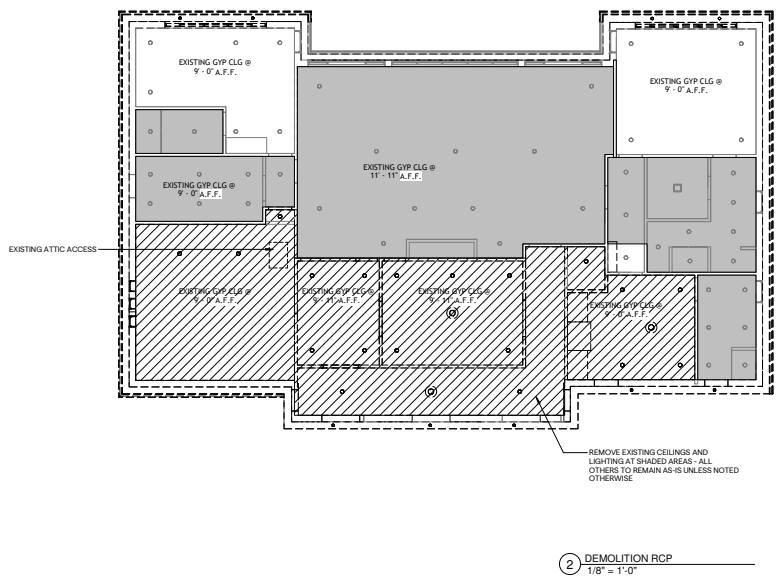
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PROJECT NUMBER:
25007

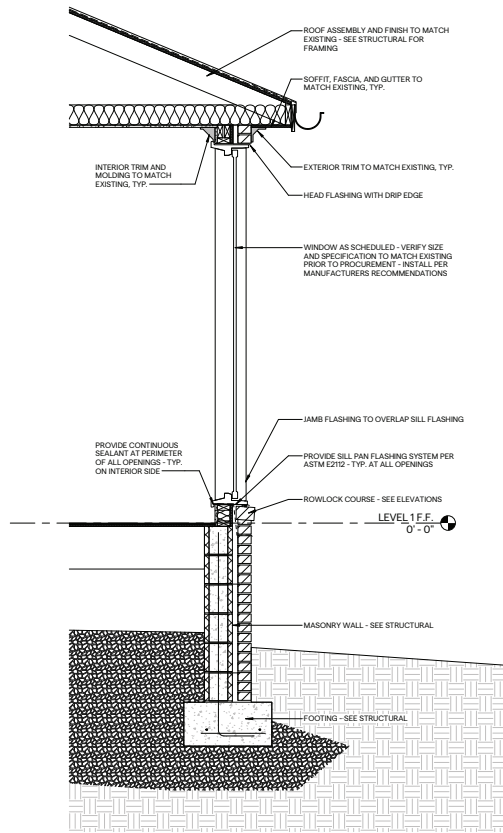
SHEET NAME:
REFLECTED CEILING PLAN

SHEET NUMBER:
A202

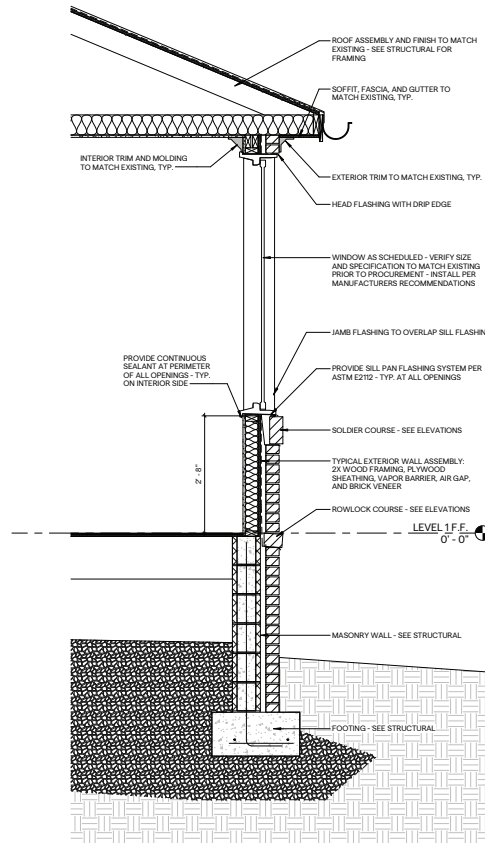
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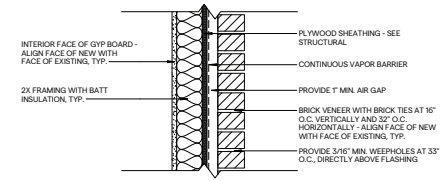
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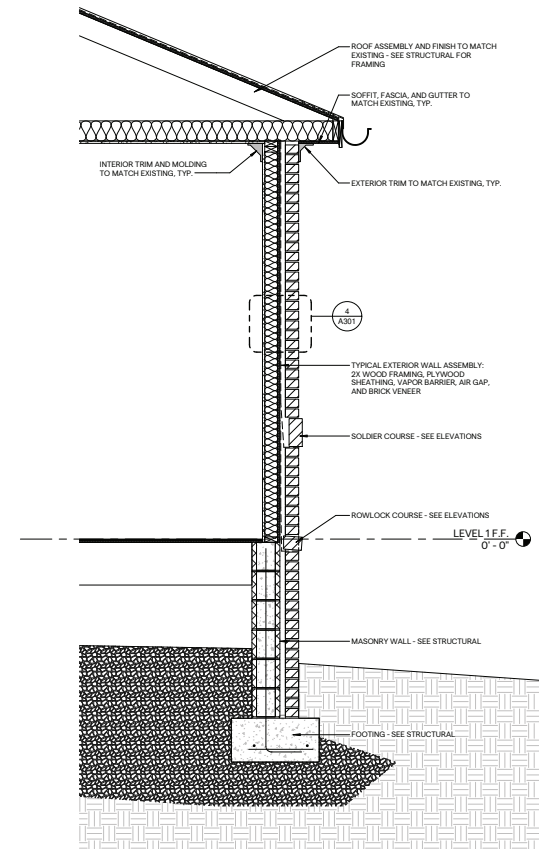
3 WALL SECTION AT WINDOW 2
3/4" = 1'-0"



2 WALL SECTION AT WINDOW 1
3/4" = 1'-0"



4 TYPICAL WALL ASSEMBLY DETAIL
1 1/2" = 1'-0"



1 TYPICAL WALL SECTION
3/4" = 1'-0"



KAPLE RESIDENCE RENOVATION
2409 Chestnut Rd, Vestavia Hills, AL 35216

DATE: 2/27/2026

REVISIONS:

#	DESCRIPTION	DATE

PROJECT NUMBER:
25007
SHEET NAME:
WALL SECTIONS

SHEET NUMBER:
A301

GENERAL NOTES

In case of conflict between the General Notes below and the Specifications, the more rigid requirement shall govern unless amended in writing by the Structural Engineer or Record.

DESIGN DATA

- Design Codes - (All latest editions unless noted otherwise.)
 - International Building Code (IBC 2021)
 - American Society of Civil Engineers. Minimum Design Loads for Buildings and Other Structures (ASCE 7)
 - American Concrete Institute: Building Code Requirements for Structural Concrete (ACI 318)
 - The Masonry Society: Building Code Requirements and Specifications for Masonry Structures (TMS 402/602)
 - National Design Specification for Wood Construction (ANSI/APFA NDS-2018)
- Design Loads (IBC & ASCE 7)
 - Dead Loads Design Data
 - Structure Self Weight
 - Floor 77 psf
 - Roof 77 psf
 - Exterior Stud Wall 77 psf of wall area
 - Exterior CMU Wall 77 psf of wall area
 - Live Load Design Data
 - Floor Distribution
 - One- and Two-Family Dwellings 40 psf
 - Live Load Design Data
 - Roof (Sloped) 20 psf
 - Wind Design Data
 - Risk Category II
 - Velocity 109 mph
 - Wind Exposure Category II
 - Internal Pressure Coefficient, GCp 0.18
 - Snow Design Data
 - Importance Factor for Snow, I_s II
 - Ground Snow Load, S_s 3 psf
 - Seismic Criteria
 - Risk Category II
 - Seismic Importance Factor, I_s 1.0
 - Site Soil Class D
 - Maple Spectral Response Coefficients
 - S_{ds} = 0.298 / S_i = 0.101
 - S_{d1} = 0.311 / S_i = 0.161
 - Seismic Design Category Light-frame (wood) Wood Wall Shear Resisting System
 - Response Modification Factor, R Equivalent Lateral Force
 - Flood Design Data
 - Flood Zone X
 - Rain Design Data
 - 15-Minute Intensity 7.23 in/hr
 - 60-Minute Intensity 3.68 in/hr
 - Deflection and Drift Limits
 - Roof/Floor L/360
 - Building Drift H/400
 - Max Wall Drift L/600
 - Story Drift (Seismic) 0.025 %

EXISTING CONSTRUCTION

- The Contractor is responsible for protecting and maintaining the structural integrity of the existing building at the interface connections during all stages of construction.
- Connections, Additions and Alterations as shown to existing building are based on Original Structural Drawings and on a Visual Inspection of the project site.
- The Contractor shall verify all Dimensions, Elevations and Conditions shown prior to fabrication/construction. This information shall be incorporated into the shop drawings prior to submitting to Architect/Engineer for review.
- If existing conditions differ from the conditions shown in the drawings or assumed for designing, the engineer shall be notified of all discrepancies allowed to examine the as-built condition, and modify the design as required.
- If conditions are encountered during construction which require the removal of existing load-bearing construction not shown on the structural drawings, the Structural Engineer shall be notified, allowed to examine the as-built condition and provided the opportunity to modify the design as required, prior to removal.
- Except where new permanent loads or components have been added as shown in the structural drawings, the existing structure was not analyzed by Live Oak Engineering.

WOOD FRAMING

- The following applies unless noted otherwise on the plans:
 - Plywood sheathing shall be DFPA CD with exterior glue. All roof sheathing shall be installed with plybuds between butt joints.
 - Timber Connections indicated by the letter and numbers shall be Strong Tie by Simpson Company, as specified in their catalog. Equivalent devices or other manufacturers may be substituted, provided they have ICC approval for equal or greater load capacities. Provide number and size of fasteners as specified by Manufacturer. Connections shall be installed in accordance with the Manufacturer's recommendations. bolts in wood members shall conform to ASTM A307. Provide washers under the heads and nuts of all bolts and lag screws bearing on wood (UNO), all nails shall be common, all shims shall be seasoned, dried, and of the same grade (Minimum) as the members connected, all joints shall be connected to flush beams with joint hangers (UNO).
 - All wood framing details not shown otherwise shall be constructed to the minimum standards of the referenced ICC. Minimum nailing (UNO), shall be common. Coordinate the size and location of all openings with Mechanical and Architectural Drawings. Provide washers under the heads and nuts of all bolts and lag screws bearing on wood.
- Wall Framing
 - A. For locations of braced walls, see foundation plan.
 - B. Wall Bracing Method (from table R602.10.4): Wood Structural Panel
 - C. Wall Bracing Method: 3/8" thick plywood sheathing attached to studs using 6d common nails spaced at 8" along joint edges, and 12" at interior supports. See typical details.
 - D. Braced walls noted on plan must have sheathing noted above for the entire length of the wall.
 - E. All lumber shall be sound and free from warp.
 - F. All lumber shall be Southern Pine Grade No. 2 or better with a maximum moisture content of 11%.
 - G. All wood in contact with concrete or masonry shall be pressure treated.
 - H. Pressure treated lumber shall be impregnated with a CCA salt treatment in accordance with F.S. 17-971 and bear the American Wood Preservers Institute Quality Mark LP-2.
 - I. Provide a single plate at the bottom and a double plate at the top of the bearing wall studs.
 - J. Install all connectors and ties per manufacturers to their highest capacity.
 - K. If wood shows evidence of cracking from fasteners, pre-drill for fasteners or use self-tapping fasteners.
 - L. The proposed use of different wood species and/or grades must be submitted in writing to the structural engineer of record for formal approval.
- Floor and Roof Framing
 - A. Tonal nail joist to supports with two 16d nails. Attach timber joist to flush headers or beams with Simpson Metal Joist Hangers in accordance with schedule. Nail all multi-joist beams together with 16d nails at 12" O.C. Staggered.
 - B. Unless noted otherwise on the plans, APA rated roof and floor sheathing shall be placed with strength axis perpendicular to supports and nailed with 6d nails to 6" O.C. to framed panel edges and over stud walls as shown on plans and at 12" O.C. to intermediate supports. Provide approved plywood edge clips centered between joists at unblocked roof sheathing. All floor sheathing edges shall have approved tongue-and-groove joints or shall be supported with solid blocking. All 16" spacing all structural edges and ends of all roof and floor sheathing. Tonal blocking to supports with (2) 16d nails at each end and 12" O.C. (UNO)
- Follow manufacturer's recommendations for fastening of hangers in order to achieve the required allowable loads shown on the plans. Where required allowable loads are not shown, use the maximum rated strength of the hanger.
- Provide supplemental structural framing and blocking as required to achieve solid and sound structural and non-structural elements using accepted framing practices.
- All brick veneer wall ties shall be fastened 1 1/8" into wood studs w/ corrosion resistant ring shank nails or screws. Brick ties shall be corrosion resistant & located at a max spacing of 16" O.C. both horizontally & vertically.
- Provide 1/2" APA rated OSB sheathing at outside face of all exterior wall studs to form shear wall to resist wind and seismic loads. All shear wall sheathing shall extend from bottom sill plate up to top of double plate supporting roof trusses and to top of blocking between. (see details)
- Contractor shall provide temporary erection framing as required to keep the building true and plumb and in a safe condition until all structural elements are connected in place. The building should not be considered stable until roof deck, exterior sheathing, all interior gypsum board sheathing, all truss bottom chord bracing and all other permanent bracing noted on plans is connected in place.

MASONRY

- Structural Masonry
 - Concrete Masonry Units
 - Design Compressive Strength (f_m = 2000 PSI)
 - Concrete Masonry Units ASTM C90
 - NORMAL WT or LIGHT WT Block Contractors Option
 - Reinforcing Steel (UNO)
 - Bar Reinforcing (Typical) ASTM A615, GR60
 - Bar Reinforcing (Weldable) ASTM A705, GR 60
 - Joint Reinforcement ASTM A951
 - Mortar, Type S ASTM C476 and ASTM C109
- For product material specifications, reference the structural, material & component design criteria and the project specification.
- Place concrete units such that the vertical cells are grouted and provided unobstructed openings for grout placement. Face shells of tied joints shall be fully mortared. Webs shall be fully mortared in all courses of piers, columns and pilasters; in the starting course on foundations, when necessary to confine grout or loose-fill insulation and when otherwise noted. Head joints are to be mortared a minimum distance from each face equal to the face shell fractions of the unit. Unless otherwise required, solidify fill color joints less than 3/4" wide with mortar as the work progresses.
- Place reinforcement and embedments in accordance with the drawings. Maintain a clear distance between the reinforcing bars and any face of masonry unit or formed surface of not less than 1/2" unless noted otherwise. Where reinforcing bars are spaced, provide a minimum lap as shown in chart below or a mechanical splice that provides 125% of the bar capacity. Tolerances for placement of reinforcing bars shall be +/- 1/2 inch perpendicular to the face of the masonry unit and within 2 inches along the length of the wall unless note otherwise. Reinforcement shall be tied in place or otherwise supported to prevent displacement during grouting.
- Place grout within 1 1/2 hours from introducing water in the mixture and prior to initial set. Grout pour height shall conform to the requirements as outlined in TMS 602/610-16. Specification for Masonry Structures, for grout type and grout section dimensions. In no case shall grout fill exceed 4 feet in height. Consolidate pours by mechanical vibration and reconsolidate by mechanical vibration after initial water loss and settlement has occurred.
- Provide #2 ladder type joint reinforcement in every bed joint (8-inch on center) for stack bond and every other joint (16-inch on center) for running bond masonry placement. Place such that longitudinal wires finish 6 inches and are embedded in mortar with a minimum cover of 5/16".
- As a minimum, control joints in masonry shall be provided within 4-foot of corners, at each change of wall height or thickness and at a maximum spacing of 25-feet unless noted otherwise on drawings. When the ambient temperature falls below 40°F or the temperature of the masonry units is below 40°F, structural masonry shall be reinforced as specified on the drawings. All cells containing reinforcing shall be fully grouted. Provide dowels from the foundation to match the reinforcing reinforcing.
- When the ambient temperature falls below 40°F or the temperature of the masonry units is below 40°F, comply with the provisions of TMS 602, Section 1.8C. Specification for Masonry Structures, for cold weather construction.
- When the ambient temperature exceeds 90°F, comply with the provisions of TMS 602, Section 1.8D. Specification for Masonry Structures, for hot weather construction.
- Light-frame (wood) Wood Wall Shear Resisting System
 - Panel Rated for Shear Resistance 6 1/2
 - Equivalent Lateral Force
- Masonry Lap Splice Lengths

BAR SIZE	MINIMUM LAP SPICE LENGTH (INCHES)		
8"	12" CMU	12" CMU	12" CMU
#3	12	12	12
#4	20	15	12
#5	22	18	15
#6	24	21	18
#8	N/A	22	18
#9	N/A	22	18

Note: N/A = Not Permitted

Note: N/A = Not Permitted

CAST-IN-PLACE CONCRETE

- Structural Concrete
 - Cast-In-Place Concrete
 - Concrete Reinforcing - Bar (Typical) ASTM A615, GR 60
 - Concrete Reinforcing - Bar (Weldable) ASTM A705, GR 60
 - Concrete Reinforcing - Welded Wire Fabric ASTM A497 (Deformed)
 - Cement ASTM 1595
 - Aggregate ASTM C33, ASTM C330
- Concrete Mix Criteria

Class	Category	f _c , PSI	Wt. PCF	AGG. IN	AE, %
I. FTG/DFN/PC	0 1 1 C	3500	145	"1	NA
II. Interior Slab	0 1 1 C	4000	145	"1	NA
III. Exterior Slab	1 1 1 C	4000	145	"1	0.4
IV. Tie-Up Panel	1 0 1 C	4000	145	"1	NA
V. All Other	0 1 1 C	4000	145	"1	NA
- A concrete mix design for every mix design noted in the Contract Documents shall be submitted for each class in accordance with the procedure outlined in ACI 301. Standard Specification For Structural Concrete. Documentation submitted in the mix design shall include: mix design recipe, cementitious material data sheets, aggregate gradation, cylinder break data, and admixture data sheets.
- On the use of admixtures and limits on the water-to-cementitious materials ratio for durability, reference the project manual specifications, ACI 318, and BC requirements for structural concrete.
- Arrangement and bending of reinforcing steel shall be in accordance with ACI Detailing Manual, latest edition. Reinforcing steel shall be new and all bars shall be deformed.
- Unless noted otherwise, bar laps shall be Class B lap splices and shall be lapped with minimum lengths as shown in tables below, where splices are required in reinforcing.
- Provide suitable wire spacers, chairs, tees, etc. for supporting reinforcing steel in the proper position while placing concrete. Do not "nest" steel down.
- Minimum lap and embedment of Welded Wire Fabric (WWF) to be one cross wire spacing plus 2". Before placing concrete, clean reinforcement for foreign particles or coatings. Place, support, and secure reinforcement against displacement. For cast-in-place concrete, provide cover as shown below, unless noted otherwise on drawings, and as specified in ACI 318, building code requirements for structural concrete.

Application/condition	Required cover, inches
Exposed and permanently exposed to earth	4"
Exposed to earth or weather:	
No.6 through No. 19 bars	1 1/2"
No.5 bar, W31 or D31 wire, and smaller	1"
Not exposed to weather or in contact with ground:	
Slab, walls, joints	1 1/2"
No. 14 and No. 18 bars	3/4"
No. 11 bar and smaller	3/4"
Beam, columns:	
Shells, folded plate members;	1 1/2"
No.8 bar and larger	3/4"
No.5 bar, W31 or D31 wire, and smaller	1/2"

- Locations and sizes of openings, sleeves, etc. required for other trades must be verified by these trades before placing concrete.
- All holes, sleeves, trenches, and other embedded items shall be set and secured against movement before the concrete is placed. See Architectural, Electrical, Mechanical, Plumbing, and Vendor drawings for sizes and locations. Coordinate locations, spacing, and sizes with the Structural Engineer of Record prior to pouring concrete.
- No aluminum conduit, devices, or fixtures may be embedded into the concrete so that the aluminum is in direct contact with the concrete.
- For slab-on-grade, provide saw-cut control joints see the foundation plan and typical details for control joint layout and details.
- Saws cut shall be made as soon as the concrete can support the saw without damaging the surface (eight (8) hours max from the start of the concrete pour).
- Reinforcing steel shown in sections and detail are a schematic indication that reinforcing exists. See schedules, section notes and General Notes for actual reinforcing required.
- Pedestal, Column and Wall Vertical Reinforcing: Down to foundation with hooked bars of same size and spacing as vertical reinforcing.
- Submit written reports of each proposed mix design for class of concrete with concrete cylinder test results at least 15 days prior to start of work.
- All concrete that will be exposed to the weather shall have air entrainment.
- All structural concrete exposed to view to be smooth finish finished with 1/4" chamfers at all exposed edges.

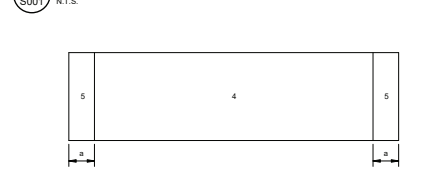
Bar Size	ACI lap splice length (inches)					
	F _c = 3000 PSI		F _c = 3500 PSI		F _c = 4000 PSI	
	Top Bars	Other Bars	Top Bars	Other Bars	Top Bars	Other Bars
#3	20	12	20	19	21	30
#4	37	26	35	32	27	40
#5	47	35	44	40	34	51
#6	56	43	52	47	40	58
#7	61	47	57	51	44	63
#8	93	72	87	78	67	100
#9	105	81	121	89	76	113
#10	119	91	136	110	85	127
#11	131	101	151	122	94	141

- NOTES:
- Tabulated values are based on grade 60 bars and normal weight concrete.
 - Cases 1 and 2, which depend on the type of structural element, concrete cover, and the center-to-center spacing of the bars, are defined as:
 - Case 1: Cover at least 1.0 db and C.C. spacing of at least 2.0 db.
 - Case 2: Cover less than 1.0 db and C.C. spacing less than 2.0 db.
 - Beams or columns:
 - Case 1: Cover at least 1.0 db and C.C. spacing of at least 2.0 db.
 - Case 2: Cover less than 1.0 db and C.C. spacing less than 2.0 db.
 - All other:
 - Case 1: Cover at least 1.0 db and C.C. spacing of at least 3.0 db.
 - Case 2: Cover less than 1.0 db and C.C. spacing less than 3.0 db.
 - Top bars are horizontal beam and slab bars with more than 1/2" of concrete below the bars.
 - For lightweight aggregate concrete, multiply the tabulated values by 1.3.
 - For epoxy-coated bars, multiply the tabulated values by one of the following factors:
 - Concrete cover and spacing: Top bars Other bars Cover
 - Cover < 3.0 DB or C.C. spacing < 7.0 DB 1.7/1.3 = 1.31 1.50
 - Cover > 3.0 DB or C.C. spacing > 7.0 DB 1.20 1.20
 - Bar development length > lap spliced length/1.3.
 - Weld mesh lap: Lap all wire mesh cross wires one cross wire spacing plus 2".

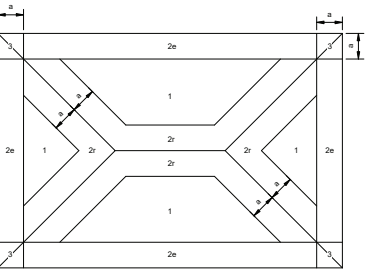
ULT ROOF WIND PRESSURE (psf)				
AREA	ZONE 1		ZONE 3	
	WN	LEE	WN	LEE
10	25.90	-26.09	25.90	-26.68
20	24.73	-26.92	24.73	-32.34
50	23.19	-25.38	23.19	-29.26
100	22.02	-24.02	22.02	-26.92
200	20.85	-23.05	20.85	-24.59
500	19.31	-21.51	19.31	-21.51

a = 5.2 ft
 FOR WALLS: WIN IS WINDWARD FACE LEE IS LEeward FACE

COMPONENTS AND CLADDING TABLES



TYPICAL C & C WALL DIAGRAM



TYPICAL C & C HIPPED ROOF DIAGRAM

7" < θ ≤ 20°
 20° < θ ≤ 27°
 27° < θ ≤ 45°



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 michael@monumetstudio.com
 (205) 213-0526



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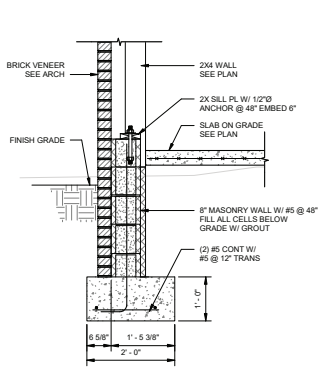
PROJECT
 25007
 SHEET
 GENERAL NOTES

LIVE OAK
 ENGINEERING
 2800 7th AVENUE SOUTH
 BIRMINGHAM, AL 35293
 205.637.3115
 AL COAP: 3987
 LSE PROJECT # 258-3

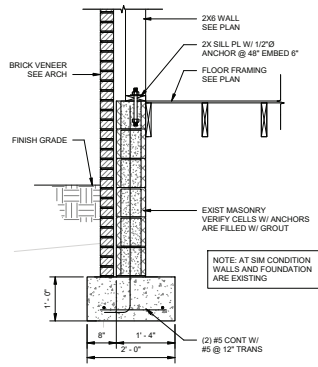
SHEET
S001

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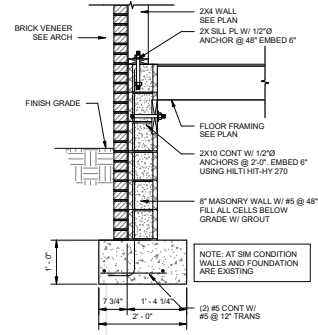
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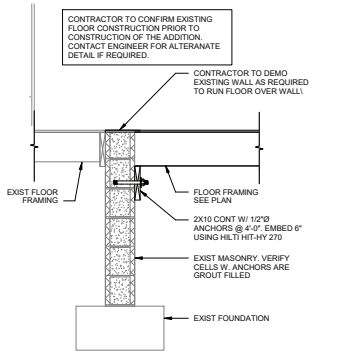
1 SECTION
S101 3/4" = 1'-0"



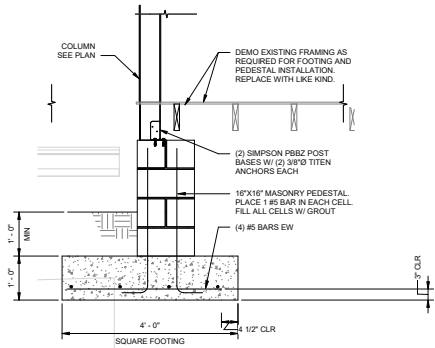
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S101 3/4" = 1'-0"



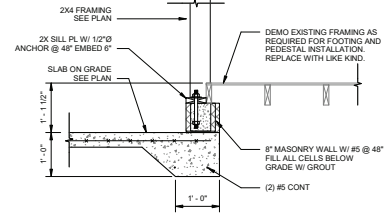
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S101 3/4" = 1'-0"



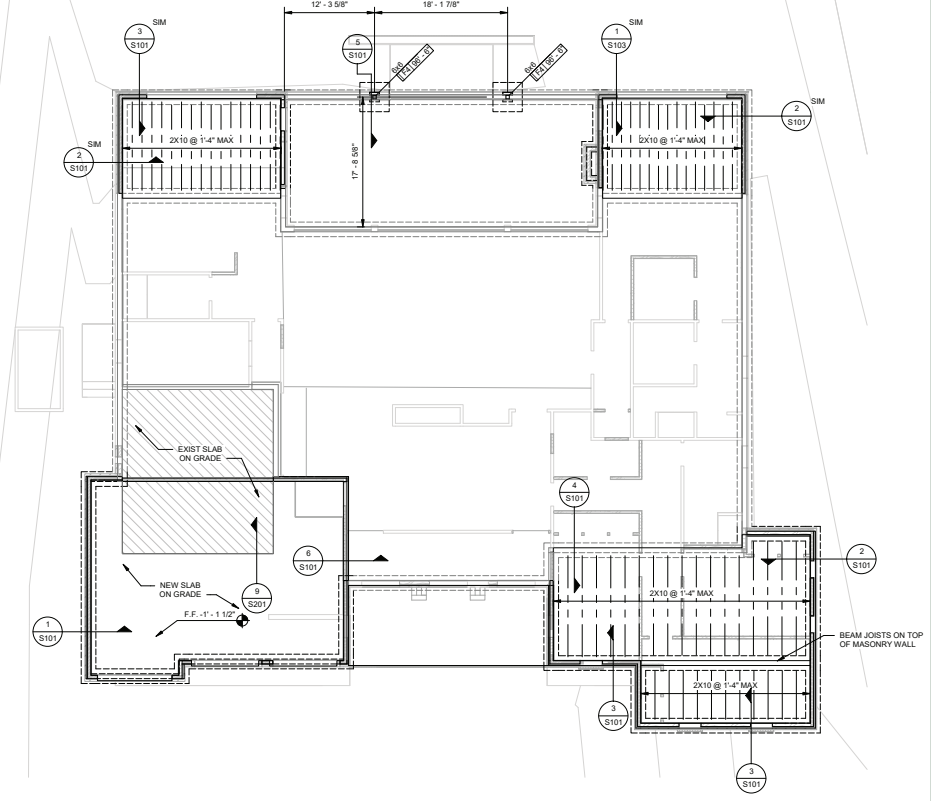
4 SECTION
S101 3/4" = 1'-0"



5 SECTION
S101 3/4" = 1'-0"

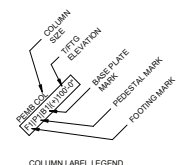


6 SECTION
S101 3/4" = 1'-0"



A FOUNDATION PLAN
S101 1/8" = 1'-0"

- FOUNDATION PLAN NOTES:**
1. FINISH FLOOR (TOP OF SLAB) ELEVATION 0'-0" UNLESS NOTED OTHERWISE.
 2. SLAB ON GRADE ELEVATION: 1'-0" FROM FINISH FLOOR.
 3. TOP OF FOOTING ELEVATION: 3'-6" BELOW FINISH FLOOR. CONTRACTOR TO MAINTAIN MINIMUM OF 1'-0" OF SOIL ABOVE THE TOP OF THE FOOTINGS.
 4. COORDINATE BUILDING DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
 5. SLAB ON GRADE CONSISTING OF 4-INCH THICK CONCRETE SLAB ON COMPACTED STONE FILL (SEE GEOTECH REPORT). PROVIDE 6x6x14xw14 WWF. SECURELY POSITION 1" FROM TOP OF SLAB AND SUPPORT W/ SLAB BOLSTERS OR CONCRETE BLOCK.
 6. FLOOR CONSTRUCTION: 1/2" THICK APA RATED (4824) PLYWOOD SHEATHING, EXPOSURE 1, ON WOOD JOISTS SPACED AT 24" ON CENTER. ORIENT BOARD WITH LONG PANEL EDGE PERPENDICULAR TO THE JOISTS, AND SHORT EDGES STAGGERED.
 7. FLOOR SHEATHING ATTACHMENT: 6x COMMON WALLS AT 16" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE MEMBERS.
 8. EVENLY SPACE JOISTS BETWEEN COLUMNS LINES OR WALLS, OR AS NOTED ON PLAN. MAXIMUM SPACING OF JOISTS TO BE 1'-4".
 9. PROVIDE CONTROL JOINTS AS SHOWN ON PLAN AND SPECIFIED IN THE TYPICAL DETAILS.
 10. ONLY LOAD BEARING WALLS ARE SHOWN AND SIZED ON PLAN OR IN NOTES AND DETAILS. FOR ALL OTHER NON-LOAD BEARING WALLS, SEE THE ARCHITECTURAL DRAWINGS. ALL EXTERIOR WALLS SHALL BE 2X4 STUDS WITH A MAXIMUM SPACING OF 16". ALL INTERIOR LOAD BEARING WALLS SHALL BE 2X4 STUDS WITH A MAXIMUM SPACING OF 16". ALL WALLS SHALL HAVE BLOCKING LOCATED AT MIDSPAN.
 11. ON PLAN INDICATES BRACED WALL PANELS THAT ARE PART OF THE LATERAL SYSTEM OF THE BUILDING. ALL BRACED WALLS SHALL BE SHEATHED WITH MINIMUM 3/8" THICK STRUCTURAL PLYWOOD FOR THE FULL HEIGHT OF THE WALL. ATTACH THE PLYWOOD TO THE WALL STUDS USING 6x COMMON WALLS AT 16" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE MEMBERS.
 12. SPREAD FOOTINGS TAGGED AS F4 ARE 4'-0" WIDE, BY 4'-0" LONG, BY 1'-0" THICK. REINFORCE WITH (4) #5 EACH WAY.
 13. CONTRACTOR TO VERIFY EXISTING FOUNDATIONS UNDER MASONRY WALLS WITH NEW EXTERIOR WALLS.



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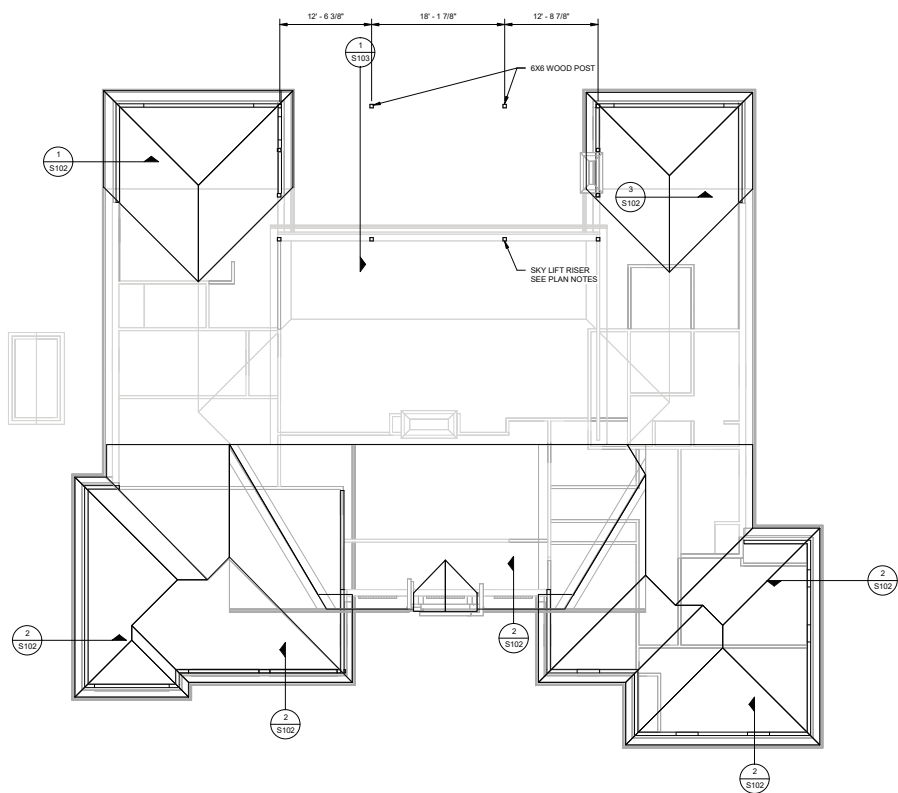
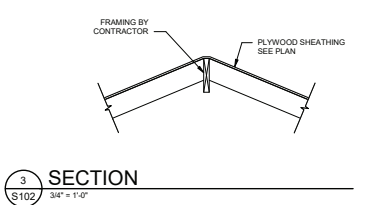
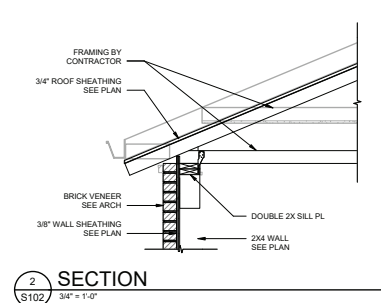
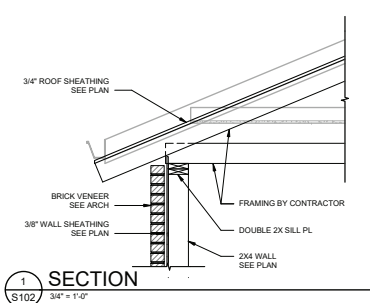
DATE	2-27-2026
REVISION	
# DESCRIPTION	DATE

PROJECT
25007
SHEET
FOUNDATION PLAN



SHEET
S101

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- ROOF FRAMING PLAN NOTES:**
1. TOP OF WALL (TRUSS BEARING) ELEVATION 9'-0" UNLESS NOTED ON PLAN OR IN SECTIONS.
 2. ROOF CONSTRUCTION: 1/2" THICK APA RATED (6824) PLYWOOD SHEATHING, EXPOSURE 1, ON WOOD FRAMING. ORIENT BOARD WITH LONG PANEL EDGE PERPENDICULAR TO THE JOISTS, AND SHORT EDGES STAGGERED.
 3. CONTRACTOR TO STICK BUILD ROOF FRAMING.
 4. SEE DETAIL 4 / S202 FOR ALL WOOD UNTELS.
 5. FOR PLYWOOD ROOF SHEATHING ATTACHMENT, SEE TYPICAL DETAILS.
 6. FOR BRACED WALL INFORMATION, SEE FOUNDATION PLAN NOTES.
 7. SEE FOUNDATION PLAN NOTES FOR WALL STUD TYPES, SIZES, AND SPACING.
 8. FOR CANOPY ROOF FRAMING, SEE S103.
 9. POSTS BEARING ON EXISTING OR NEW WALLS ARE SKY LIFT HEAVY DUTY RISERS. PROVIDE 2X12 BLOCKING BETWEEN WALL STUDS AT ROOF LEVEL AS REQUIRED TO TRANSFER ADDED LOAD TO STUDS. CONNECT TO WALL FRAMING PER MANUFACTURER.
 - A. REQUIRED SADDLE SIZE IS 4"
 - B. SEE ARCH DRAWINGS FOR REQUIRED HEIGHT.



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DATE	REVISION	#	DESCRIPTION	DATE
2-27-2026				

PROJECT: 25007
 SHEET: ROOF FRAMING PLAN



SHEET: **S102**

AL CDAP: 3397
 LOE PROJECT #: 250-3

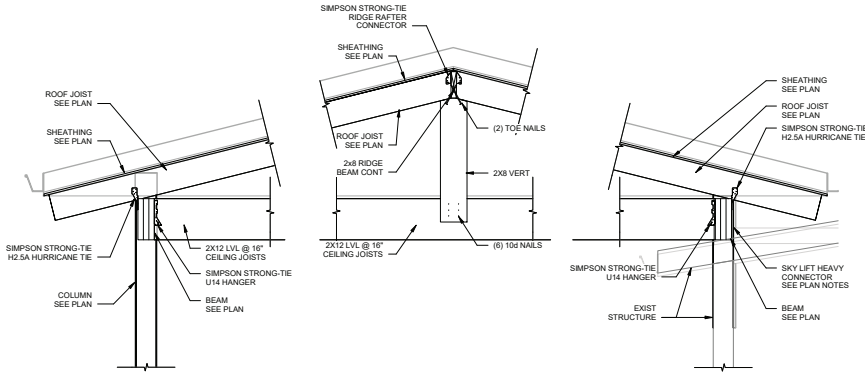
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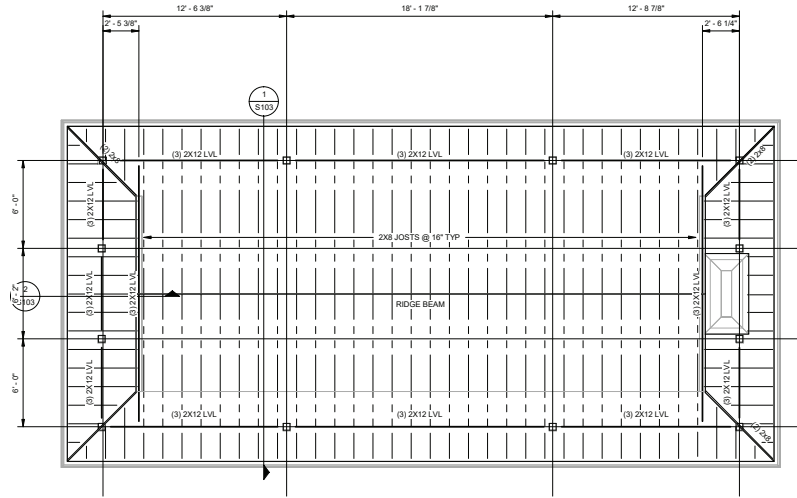


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MONUMENT
 michael@monumentstudio.com
 (205) 213-5528

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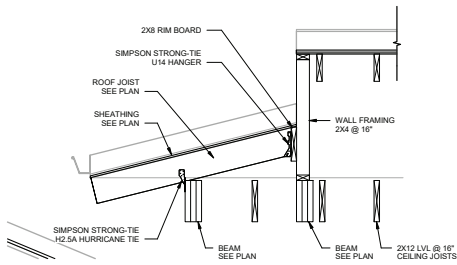


SECTION 1
 S103 3/4" = 1'-0"



CANOPY FRAMING PLAN
 A S103 1/4" = 1'-0"

- ROOF FRAMING PLAN NOTES:**
- TOP OF WALL (TRUSS BEARING) ELEVATION 9'-0" UNLESS NOTED ON PLAN OR IN SECTIONS.
 - ROOF CONSTRUCTION: 1/2" THICK, APA RATED (48/24) PLYWOOD SHEATHING, EXPOSURE 1, ON PRE-ENGINEERED WOOD TRUSSES SPACED AT 24" ON CENTER. ORIENT BOARD WITH LONG PANEL EDGE PERPENDICULAR TO THE JOISTS, AND SHORT EDGES STAGGERED.
 - FOR PLYWOOD ROOF SHEATHING ATTACHMENT, SEE TYPICAL DETAILS.
 - POSTS BEARING ON EXISTING OR NEW WALLS ARE SKY LIFT HEAVY DUTY RISERS. PROVIDE 2X12 BLOCKING BETWEEN WALL STUDS AT ROOF LEVEL AS REQUIRED TO TRANSFER ADDED LOAD TO STUDS. CONNECT TO WALL FRAMING PER MANUFACTURER.
 - A. REQUIRED SADDLE SIZE IS 4"
 - B. SEE ARCH DRAWINGS FOR REQUIRED HEIGHT.



SECTION 2
 S103 3/4" = 1'-0"

DATE	REVISION	DESCRIPTION	DATE
2-27-2026			

PROJECT: 25007
 SHEET: CANOPY FRAMING PLAN



S103



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 (205) 213-5529

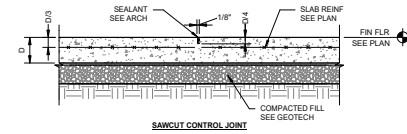
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 # DESCRIPTION DATE

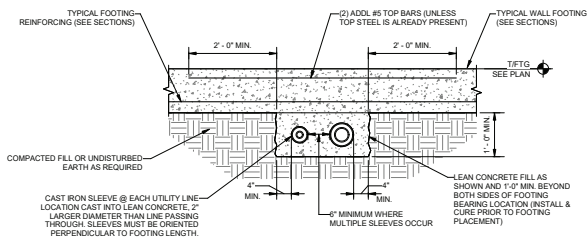
PROJECT
 25007
 SHEET
 TYPICAL DETAILS

LIVE OAK
ENGINEERING
 2808 7th AVENUE SOUTH
 BRINGHAM, AL 35293
 205.637.3115
 AL COAF: 3997
 LOE PROJECT #: 258-3

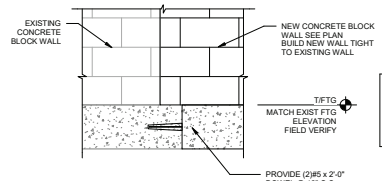
SHEET
S201
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- NOTES**
- SEE FOUNDATION PLAN(S) FOR SLAB THICKNESS AND REINFORCEMENT.
 - DISCONTINUOUS REINFORCEMENT AT JOINTS.
 - CUT EVERY BAR @ EA JOINT.
 - THE SAWCUTTING SHALL BE DONE WITHIN 6 HOURS OF PLACEMENT OR AS SOON AS THE CONCRETE HAS SUFFICIENTLY CURED TO PERMIT CUTTING WITHOUT CHIPPING, SPALLING OR TEARING.
 - THE GENERAL LAYOUT OF SAW-CUT JOINTS IS SHOWN ON PLAN. CONTRACTOR TO VERIFY THE SPACING OF SAW-CUT JOINTS DOES NOT EXCEED 15'-0\"/>



- CONTRACTOR'S OPTION TO STEP FOOTINGS BELOW UTILITIES IN LIEU OF THIS DETAIL (OVERSIZED HOLES STILL REQUIRED IN FOUNDATION WALLS TO ALLOW FOR SETTLEMENT).
- COORDINATE UTILITY LOCATIONS WITH CIVIL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
- UTILITIES SHALL NOT PASS BELOW COLUMN FOOTINGS.



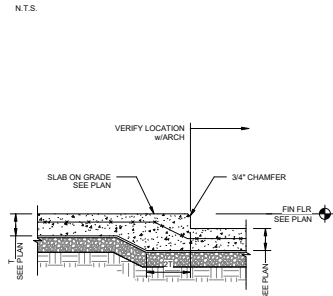
NOTE:
 FIELD VERIFY SIZE, LOCATION, CONDITIONS, ETC OF EXISTING FOOTING. NOTIFY STRUCTURAL ENGINEER IF CONDITIONS VARY FROM THOSE SHOWN HERE.

PROVIDE (2)#5 x 2'-0\"/>

1 UTILITIES PASSING BELOW STRIP FOOTING DETAIL
 S201 N.T.S.

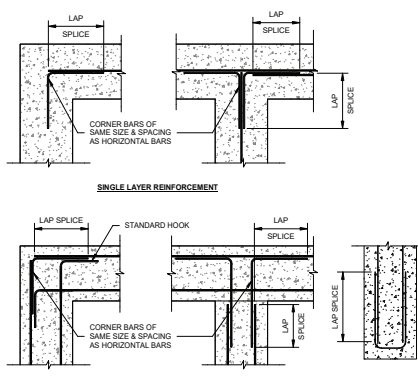
2 NEW FOOTING TO EXISTING FOOTING DETAIL
 S201 N.T.S.

3 TYP SLAB JOINTS PEDESTRIAN TRAFFICKED
 S201 N.T.S.

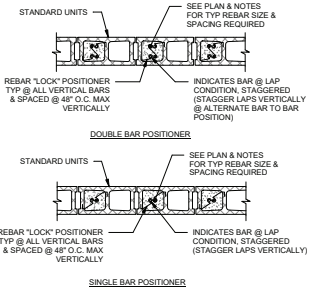


4 RECESSED SLAB FOR STEP 6 INCHES OR LESS
 S201 N.T.S.

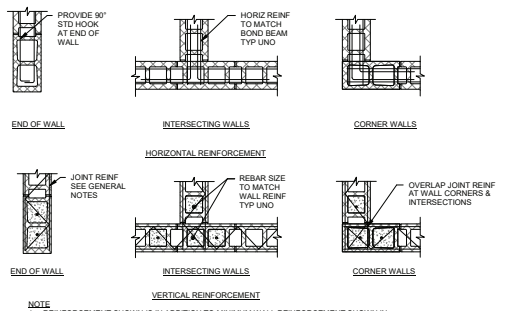
NOTE:
 BAR LAYERS ARE SCHEMATIC REFER TO SECTIONS TO DETERMINE WHICH BARS (VERTICAL OR HORIZONTAL) ARE IN WHICH LAYERS (INNER OR OUTER).



7 WALL REINFORCING AT CORNERS & INTERSECTIONS
 S201 N.T.S.

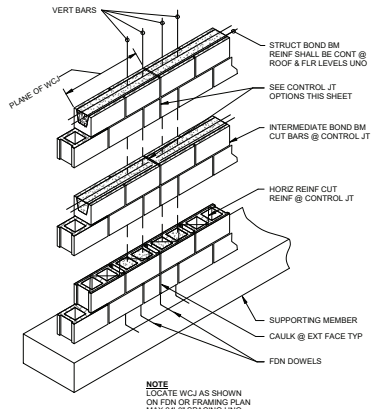


5 TYP MASONRY WALL REINFORCING POSITIONERS
 S201 N.T.S.

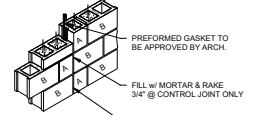


- NOTE:**
- REINFORCEMENT SHOWN IS IN ADDITION TO MINIMUM WALL REINFORCEMENT SHOWN IN FOUNDATION DETAILS.
 - REINFORCING TO BE CONTINUOUS FROM FOOTING TO TOP OF WALL. FILL CORES SOLID WITH GROUT AS NOTED IN THE SPECIFICATIONS OR GENERAL NOTES.

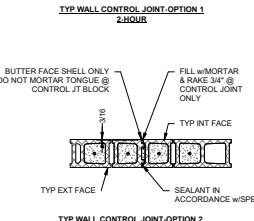
6 TYP MASONRY WALL INTERSECTIONS DETAIL
 S201 N.T.S.



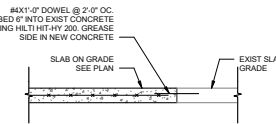
8 TYP MASONRY WALL CONTROL JOINT (WCJ) DETAIL
 S201 N.T.S.



LEGEND:
 A = 6\"/>



9 NEW SOG TO EXIST SOG CONNECTION
 S201 N.T.S.



NOTE:
 ALL LAP SPICES CLASS 'B' TENSION. SEE TABLE ON THE GENERAL NOTES.

NOTE:
 LOCATE WCJ AS SHOWN ON FOM OR FRAMING PLAN MAX 24'-0\"/>

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MONUMENT
 michael@monumentstudio.com
 (205) 213-5529

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PROJECT
 25007
 SHEET
 TYPICAL DETAILS

LIVE OAK
ENGINEERING
 2808 7th AVENUE SOUTH
 BIRMINGHAM, AL 35291
 205.637.3115
 AL CDAP: 3397
 LOE PROJECT #: 258-3
 SHEET
S202

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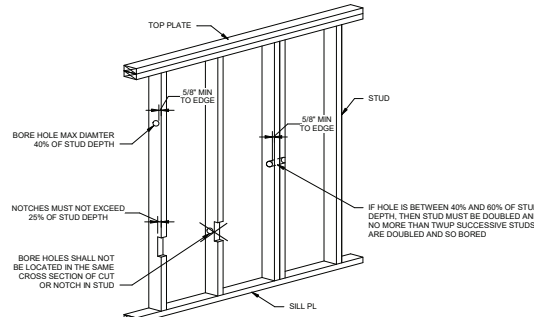
WOOD FASTENING SCHEDULE		
CONNECTION	FASTENING	LOCATION
JOIST TO SILL OR GIRDER	(3)3"x0.131" (3)84	TOENAIL
BRIDGING TO JOIST	(2)3"x0.131" (2)84	TOENAIL EACH END
BOTTOM PLATE TO JOIST OR BLOCKING	3"x0.131" @ 8" O.C. 164 @ 16" O.C.	TYPICAL FACE NAIL
BOTTOM PLATE TO JOIST OR BLOCKING AT SHEARWALL	(4)3"x0.131" @ 8" O.C. (3)164 @ 16" O.C.	TYPICAL FACE NAIL
TOP PLATE TO STUD	(3)3"x0.131" (2)164 AT 2x4 STUDS (3)164 AT 2x6 STUDS	END NAIL
BOTTOM PLATE TO STUD	(3)3"x0.131" (2)164 AT 2x4 STUDS (3)164 AT 2x6 STUDS	END NAIL
CONTINUOUS HEADER TO STUD	(4)3"x0.131" (4)84	TOENAIL
BUILT-UP CORNER STUDS	(2)3"x0.131" @ 8" O.C. (2)164 @ 16" O.C.	FACE NAIL
DOUBLE STUDS	3"x0.131" @ 8" O.C., STAGGERED 164 @ 16" O.C., STAGGERED	FACE NAIL
DOUBLE TOP PLATES	3"x0.131" @ 12" O.C. 164 @ 16" O.C.	TYPICAL FACE NAIL
DOUBLE TOP PLATE SPLICE	(3)3"x0.131" (OR "SEE DETAIL") (3)164	FACE NAIL EA. SIDE OF SPLICE
TOP PLATE INTERSECTIONS	(4)3"x0.131" (3)164	FACE NAIL
RIM JOIST TO JOIST	3"x0.131" (3)84	END NAIL
RIM JOIST TO TOP PLATE	3"x0.131" @ 12" O.C. 84 @ 8" O.C.	TOENAIL
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	(4)3"x0.131" (4)84	TOENAIL
CEILING JOISTS TO PARALLEL RAFTERS	(2)3"x0.131" (2)164	FACE NAIL
CEILING JOISTS, LAPS OVER WALLS OR BEAMS	(2)3"x0.131" (2)164	FACE NAIL
CEILING JOIST TO PLATE	(3)3"x0.131" (3)84	TOENAIL
RAFTER TO PLATE	(3)3"x0.131" (3)84	TOENAIL
BUILT-UP HEADERS, BEAMS, AND GIRDERS (3-PLY MAXIMUM)	3"x0.131" @ 12" O.C. & 3 @ ENDS 164 @ 16" O.C. & 3 @ ENDS	FACE NAIL TOP & BOTTOM & STAGGER OPPOSITE SIDES
LEDGER STRIP	(4)3"x0.131" (3)164	FACE NAIL AT EACH JOIST
COLLAR TIE TO RAFTER	(6)3"x0.131" (6)164	FACE NAIL
JACK RAFTER TO HP	(4)3"x0.131" (3)164	TOENAIL
	(3)3"x0.131" (3)164	FACE NAIL
ROOF RAFTER TO 2x RIDGE	(4)3"x0.131" (3)164	TOENAIL
	(3)3"x0.131" (2)164	FACE NAIL

SCHEDULE NOTES:

1. THIS NAILING SCHEDULE APPLIES TO ALL WOOD FRAMING AND ROUGH CARPENTRY AND REPRESENTS THE MINIMUM ACCEPTABLE CONNECTIONS. UNLESS ADDITIONAL OR ALTERNATE CONNECTIONS ARE REQUIRED OR SPECIFIED IN THE SECTIONS, TYPICAL DETAILS, GENERAL NOTES OR SPECIFICATIONS.
2. WHERE MORE THAN ONE METHOD OR TYPE IS LISTED UNDER "FASTENING", THE CONTRACTOR SHALL SELECT ONE OF THE OPTIONS AT HIS PREFERENCE.
3. NAILS ARE "SMOOTH COMMON" UNLESS NOTED OTHERWISE.
4. JOIST NAILING SHALL BE USED WHERE FLOOR TRUSSES OCCUR INSTEAD, BUT NOT LESS THAN THE TRUSS SUPPLIERS RECOMMENDED MINIMUM ATTACHMENT PATTERN.
5. RAFTER NAILING SHALL BE USED WHERE ROOF TRUSSES OCCUR INSTEAD, BUT NOT LESS THAN THE TRUSS SUPPLIERS RECOMMENDED MINIMUM ATTACHMENT PATTERN.

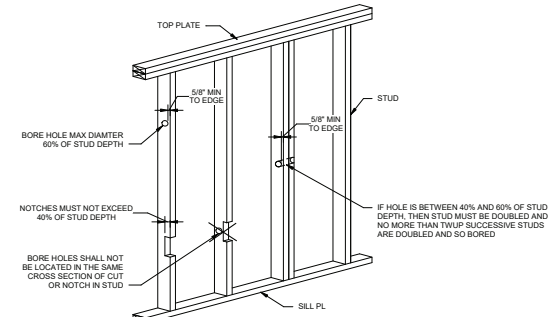
1 WOOD FASTENING SCHEDULE
 S202 N.T.S.

STUD SIZE	PERCENTAGE OF DEPTH		
	25%	40%	60%
2X4	7/8"	1 3/8"	2 3/4"
2X6	1 3/8"	2 1/4"	3 3/8"
2X8	1 7/8"	3"	4 1/2"

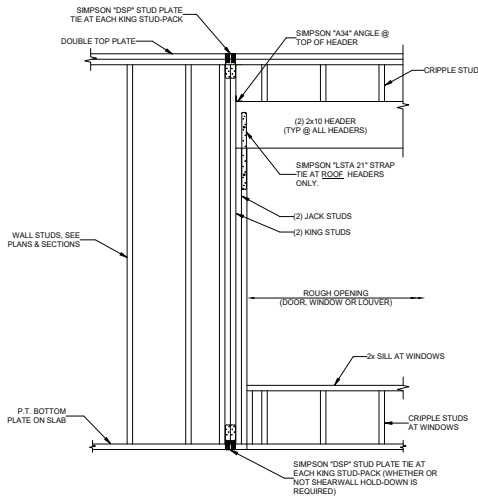


2 PARTITION WALL NOTCH/HOLE LIMITATIONS
 S202 3/4" = 1'-0"

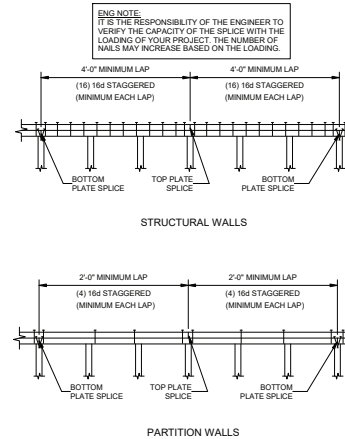
STUD SIZE	PERCENTAGE OF DEPTH		
	40%	60%	
2X4	1 3/8"	2 3/4"	
2X6	2 1/4"	3 3/8"	
2X8	3"	4 1/2"	



3 BEARING WALL NOTCH/HOLE LIMITATIONS
 S202 3/4" = 1'-0"



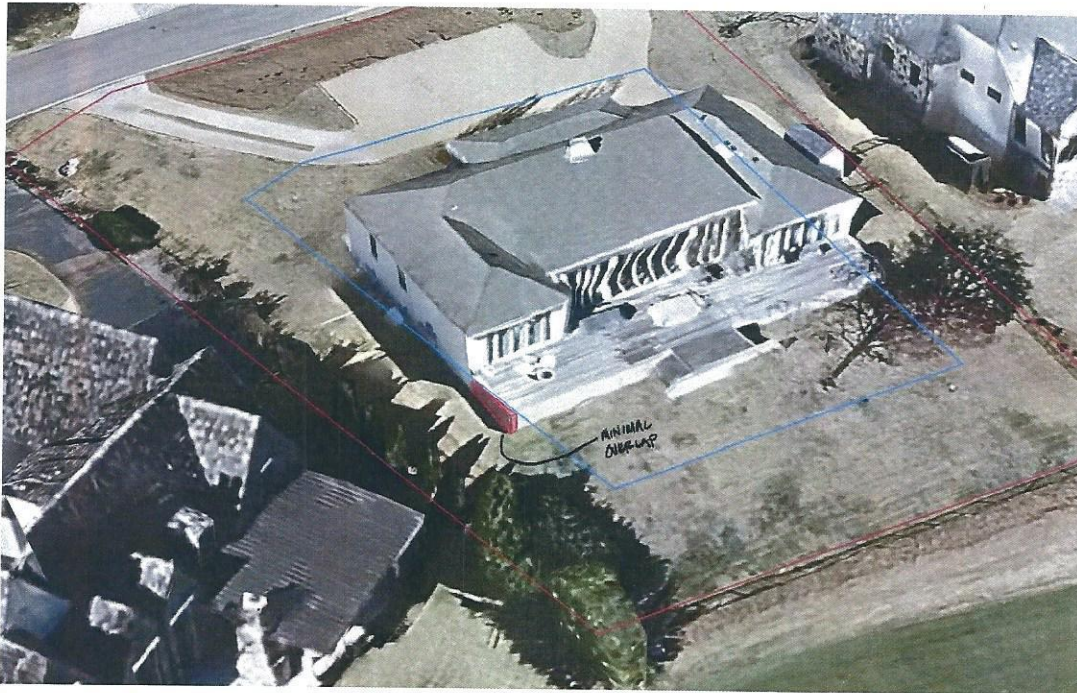
4 TYP OPENING @ STRUCTURAL WALL
 S202 N.T.S.



5 TYP TOP PLATE SPLICE DETAIL
 S202 N.T.S.

Thanks for your time this morning. The following images help clarify what we discussed on the phone.

Aerial View:



Ground level view:



[Quoted text hidden]



**City of Vestavia Hills
Office of the City Clerk**

OWNER AFFIDAVIT (This form must be notarized):

I do hereby declare that the following statements are correct concerning the subject property located at: 2409 Chestnut Rd, Vestavia Hills, Alabama and that statements submitted in my application are true and that I am: *(please check all that apply)*.

the Property Owner and representing myself in said request.

the Property Owner, but I am authorizing a Representing Agent by the name of: Corey Gooch to represent me in the following request:

And am requesting: (please check)

- | | |
|----------------------------------------------------|----------------------------------------------------------|
| <input type="checkbox"/> Rezoning Request | <input checked="" type="checkbox"/> Request for Variance |
| <input type="checkbox"/> Preliminary Plat Approval | <input type="checkbox"/> Special Exception |
| <input type="checkbox"/> Final Plat Approval | <input type="checkbox"/> Design Review Approval |
| <input type="checkbox"/> Conditional Use Approval | |

Signed: [Signature] 3/17/2020
Owner Signature/Date

STATE OF ALABAMA
COUNTY OF Jefferson

Given under my hand and seal
this 17 day of March, 2020

[Signature]
Notary Public

My commission expires 31 day of August, 2028.





VESTAVIA HILLS

Board of Zoning Adjustment Planners Report

MEETING DATE

April 16, 2026

AGENDA ITEM

BZA-26-5 **Brittany Noe** is requesting a **Rear Setback Variance** for the property located at **2710 Shades Crest Road**. The purpose of this request is to reduce the rear setback to 9' in lieu of the required 15', to build a bedroom addition. The property is owned by Vaughn & Stacey Sparks and is zoned **Vestavia Hills R-1**.

BACKGROUND

6' Rear Setback Variance to Reduce the Setback to 9' in Lieu of the Required 15'.

PLANNER'S REVIEW/RECOMMENDATION

The applicant is seeking a rear setback variance to build a bedroom addition and accompanied interior renovations. The applicant contends the odd shaped lot, and topography in both rear and front causes a hardship. The house is pushed well behind the required front setback due to topography issues. There are also topography issues in the rear, along with the existence of a retaining wall. The rear setback of 15' is set forth by the plat for this property. The addition will reside where a patio currently exists, so there is no increase in impervious area. The current house also has an existing encroachment adjacent to the proposed addition, as the lot curves toward the house following the curvature of the street. This is zoned Vestavia Hills R-1.

ATTACHMENTS

1. Application
2. Existing Survey
3. Proposed Survey and Renderings
4. Owner's Affidavit

Jack Wakefield
City Planner



Record No: BZA-26-5

Variance Application

Status: Active

Submitted On: 3/17/2026

Primary Location

2710 SHADES CREST RD
VESTAVIA HILLS, AL 35216

Owner

Vaughn & Stacey Sparks
Old Oak Lane 2513 Birmingham, AL 35243

Agenda Information

Agenda Scheduling

April 2026

Comments/Delay/Explanation

Applicant Information

I am filling this out as the

Representative Agent

Billing/Responsible Party

Name

Vaughn Sparks

Phone #

2053103144

Address

2513 Old Oak Lane

City/State/Zip

Birmingham, AL 35241

Email 

Representing Attorney/Other Agent

Name

Brittany Noe

Phone #

2054355921

Address

195 Oxmoor Road APT 0200

City/State/Zip

Homewood, AL 35209

Email 

Subject Property Information

Subject Property Address

2710 Shades Crest Road Vestavia Hills,
AL 35216

Legal Description of Subject Property 

REASONS FOR REQUEST

Front Setback Variance

Rear Setback Variance

Setback Required*

15

Setback Requested*

9'-6"

Side Setback Variance

Other Setback Variance

Lot Area Variance

Lot Width Variance

Variance for location of a fence.

Sign Code Variance

A decision of the Zoning Official which the applicant believes to be contrary to the meaning of the Zoning Ordinance.

Other

Details [?](#)

Due to the shape of the lot, the requested variance varies. 9'-6" is the largest variance requested, please refer to site plan.

ZONING

Vestavia Hills Zoning for the subject property is

R1

PROJECT

Describe the scope of the project and/or the reason for requesting this variance.*

The project consists of the renovation and addition to an existing single-family residence to better suit the needs of the family. The proposed work includes construction of an additional bedroom, interior updates, and improvements to exterior living areas to create more functional and usable outdoor space.

A variance is requested to allow construction of a covered patio structure within the required rear setback. Due to the irregular configuration of the lot and significant topographic conditions along the rear property line, the proposed improvement must extend modestly further into the setback in order to provide a practical and structurally appropriate design response.

HARDSHIP

Please answer the following questions regarding hardship and briefly summarize and describe those things which you feel justify the action requested in the box below. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).*

The existing residence extends into the current rear setback and is therefore legally nonconforming. Due to the irregular configuration of the lot and significant topographic conditions along the rear property line, opportunities for functional exterior improvements are limited without a variance. The proposed covered roof structure will extend slightly further into the setback than the existing patio in order to provide a practical and structurally appropriate design response to the slope of the site. The request represents the minimum relief necessary to allow reasonable use of the existing outdoor area while maintaining compatibility with the established placement of the home.

Before any variance is granted, the BZA must find that ALL of the following conditions exist. Please describe each of the following details in order for the BZA to determine if these warrants the described hardship.

1. There are extraordinary and exceptional conditions, which are peculiar to the piece of property in question because of its size, shape or topography, that are not applicable to the other lands or structures in the same district. Please explain:*

The property is affected by notable topographic changes along the rear lot line as well as the existing placement of the residence within the setback area. These conditions are unique to the site and limit the ability to design functional exterior improvements in compliance with the current setback requirement. The slope and lot configuration necessitate a modest extension further into the setback to achieve safe, usable, and structurally feasible outdoor space.

2. Granting the variance requested will not confer upon the applicant any special privileges that are denied to other owners of property in the District in which the property is located. Please explain:*

The requested variance will not confer a special privilege but will allow the property owner to make reasonable improvements in response to existing site constraints that are not generally present on neighboring properties. The request is limited in scope and represents only the amount of relief necessary to accommodate the topography and irregular lot conditions.

3. All literal interpretations of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by others of property in the district in which the property is located. Please explain:*

Strict application of the rear setback requirement would effectively prevent the property owner from creating functional covered exterior space due to the combination of existing nonconforming conditions and rear yard slope. Without the variance, reasonable residential improvements commonly enjoyed by other properties would be impractical or infeasible on this site.

4. The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare. Please explain:*

The proposed covered patio will remain compatible in scale, massing, and character with the existing residence and surrounding development. Although it extends modestly further into the setback, the design responds sensitively to site conditions and will not create adverse impacts on adjacent properties or neighborhood character. The request supports reasonable property use while remaining consistent with the intent of the zoning ordinance.

5. The special circumstances are not the intended result of the actions of the applicant (i.e., self-imposed hardship). Please explain:*

The special circumstances affecting the property are not the result of any action by the applicant but are due to the original placement of the residence within the rear setback area and the natural topographic conditions along the rear portion of the lot. These site characteristics existed prior to the current improvement request and limit the ability to make functional exterior modifications without relief from the setback requirement.

6. The variance requested is the minimum variance that will make possible the legal use of the land, building or structure. Please explain:*

The requested variance represents the minimum relief necessary to allow construction of a covered patio that responds appropriately to the slope and configuration of the site. The design has been carefully limited in size and location to provide functional outdoor space while avoiding greater encroachment than required to achieve a safe and practical structural solution.

7. The no non-conforming use of neighboring lands, structures, or buildings in the same district, and no permitted or non-conforming use of lands, structures, or building in other districts shall be considered grounds for the issuance of a variance.

8. That a variance will not allow the permanent establishment of a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.*


The proposed improvement will remain a permitted residential accessory structure and will not introduce any use that is prohibited within the zoning district. The variance request relates solely to dimensional relief from the rear setback requirement in order to allow reasonable residential improvement consistent with the existing use of the property.

NOTE: In proving that an unnecessary hardship has been imposed on the property as a result of the strict interpretation of this Ordinance, the following conditions cannot be considered pertinent to the determination of whether or not an unnecessary hardship exists: (1) proof that a variance would increase the financial return from land; or (2) personal or economic hardship; or (3) self-imposed hardship. In other words, hardship alone is not sufficient to permit a variance. It must be an "unnecessary hardship." Mere financial loss of a kind, which might be common to all of the property owners in a district, is not an "unnecessary hardship."

OWNER AFFIDAVIT

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit. Owners authorization may be found on our main page.

Representing Agent Signature 

 Brittany Noe
Mar 17, 2026

REVISIONS	DATE	DESCRIPTION	BY

REFERENCES
INST#2026011997
MB 39, PG 43
MB 39, PG 98

PROPERTY BOUNDARY SURVEY
 PREPARED FOR: BRITANNY NOE
 2710 SHADES CREST ROAD
 VESTAVIA HILLS, AL 35216
 JEFFERSON COUNTY
 JOB NUMBER: 2026-115

DATE OF FIELDWORK:	02/27/2026
FIELDWORK BY:	DREW M.
DRAWN BY:	WICTOR P.
APPROVED BY:	JIMMY P.
DEPARTMENT MANAGER:	JIMMY P.
PRODUCTION MANAGER:	MARY K.

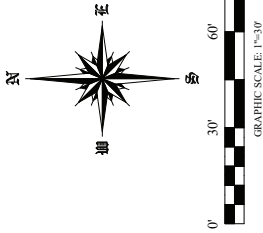

 WEGYAND, LLC
 173 OXMOOR ROAD, BIRMINGHAM, AL 35209
 EMAIL: INFO@WEGYAND.COM
 OFFICE: 205-942-0086

- SURVEYOR'S NOTES:**
- This survey of the "Subject Property" was conducted for the purpose of a Property Boundary Survey only and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other similar entity. The "Subject Property" refers to the property described herein.
 - All survey measurements are in U.S. Survey feet. Bearings are based on Alabama State Plane Coordinate System, West Zone, Grid North, NAD83 (2011). Positioning was obtained using GNSS observations with OPUS-adjusted solutions and/or R.T.K. observations using the ALDOT CORS network.
 - Utility locations were determined by visual observation and/or utility records. No visible evidence of buried utilities or easements was observed. No other appropriate utility location service should be notified forty-eight (48) hours in advance of any excavation at this site.
 - Survey was conducted without the benefit of an abstract of title, title report, or title opinion, therefore, there may be other easements, rights-of-way, setback lines, agreements, reservations, restrictions, or other similar matters of public record not depicted on this survey.
 - Topographic information shown herein (if any) was derived from the GIS Parcel Identification website for the County and State of the property as identified herein. The information is for general informational purposes only and does not constitute a warranty of accuracy. The surveyor is not responsible for the accuracy of the information and date of signature have no relationship to actual site conditions as depicted on this map. **THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED OR "RED" SEAL OF A LICENSED SURVEYOR.**

LEGEND	
P.O.C.	POINT OF COMMENCEMENT
P.O.T.	POINT OF BEGINNING
P.O.T.	POINT OF TERMINATION
(E)	EASEMENT
(D)	FIELD MEASURED
(F)	FIELD RECORDED
(P)	PLAT MAP
NK	NOTICED
COV	COVERED
R.O.W.	RIGHT OF WAY
DR	DEED
DR	DEED BOOK
IR	IRON
IR	IRON NAIL
MIN	MINOR
MIN	MINOR MAP PLAT BOOK
PID#	PARCEL NUMBER
-----	EASEMENT/ENCUMBRANCE
-----	SUBJECT PROPERTY LINE
○	BUILDING
○	FOUND MON. AS DESCRIBED
○	CALCULATED POINT
○	WATER METER
○	WATER METER
○	POWER POLE
○	GUY ANCHOR
○	STORM MANHOLE
○	SANITARY MANHOLE
○	ELECTRIC BOX
○	FENCE LINE
○	RAILROAD
○	UTILITY LINE

LEGAL DESCRIPTION SUBJECT PROPERTY
 (PER INST#2026011997)
 Lot 3B, according to the Resurvey of Lot 5, Map of First Division of Mount Royal Property of E. J. Smyer, recorded in Map Book 175, Page 43 in the Probate Office of Jefferson County, Alabama.

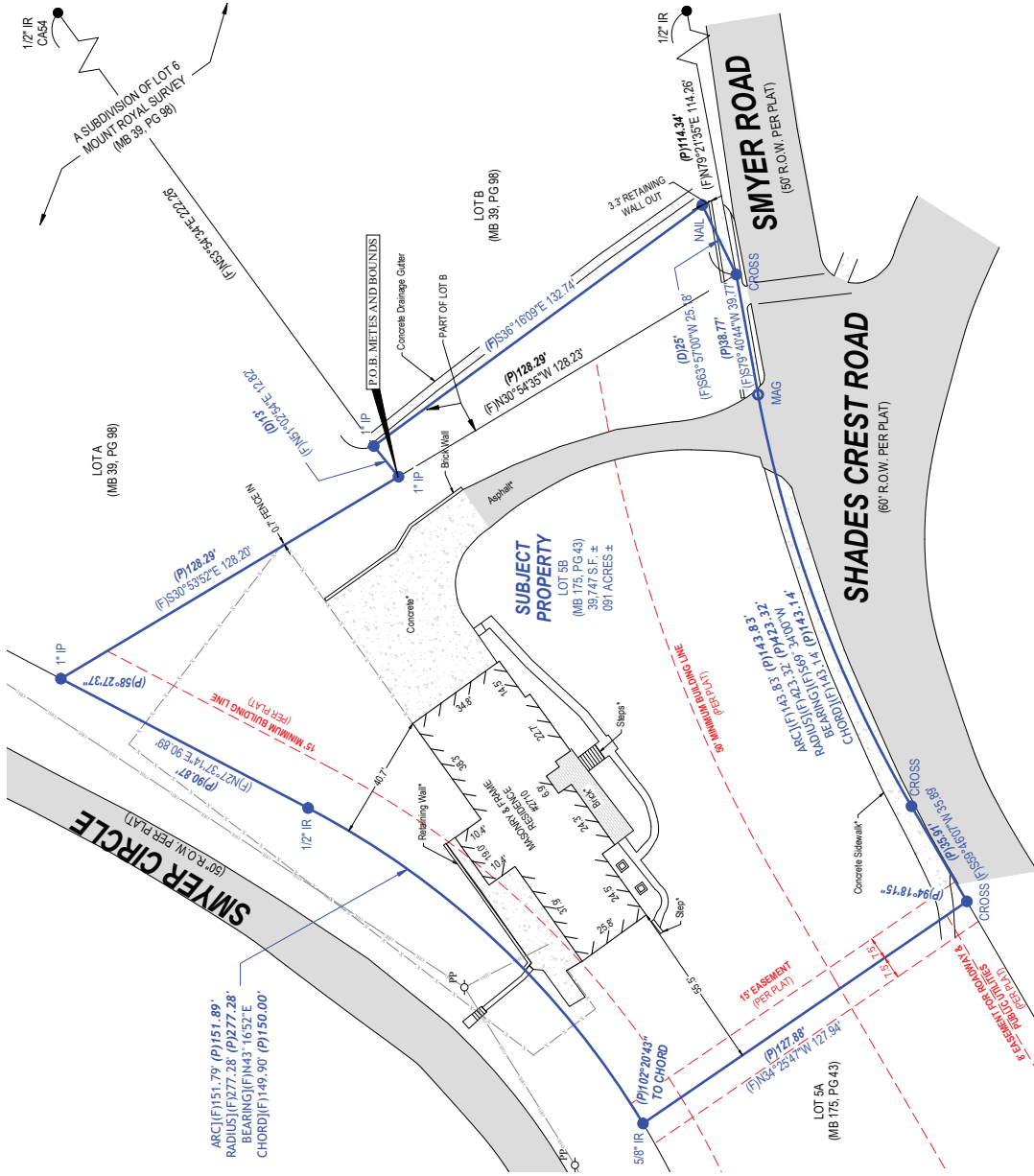
Also, a part of Lot B according to a division of Lot 6 of the First Division of Mount Royal Property of E. J. Smyer, as recorded in Map Book 39, Page 98, in the Probate Office of Jefferson County, Alabama, identified in that certain Deed recorded in Book LR200806, Page 28765, being more particularly described as follows:
 Begin at the Northwest corner of said Lot "B" and run northeasterly along the northwesterly line a distance of 13 feet; thence southeasterly to a point on the northly right of way line of Smyer Road 25 feet east of the southwest corner of said Lot B; thence westerly along said northly right of way line of Smyer Road 25 feet to said southwest corner of said Lot B; thence northwesterly along the southwestly line of said Lot B to the Point of Beginning.



SURVEYOR'S CERTIFICATION
 I hereby certify that all parts of this map of survey have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information, and belief.



Digitally signed by Jeffery N. Lucas
 DN: cn=Jeffery N. Lucas, o=Weygand, LLC, ou=Jeffery N. Lucas, email=jn@weygand.com, c=US
 Date: 2026.02.28 15:57:40 -0500
Jeffery N. Lucas
 173 Oxmoor Road, Homewood, AL 35209
 205-942-0086



THE SPARKS

VARIANCE REQUEST

Issue: 03/17/2026

20260126
 2710 Shades Crest Rd
 Vestavia Hills, AL 35216

Project Information

OWNER:
 Vaughn & Sherry Sparks
 2710 Shades Crest Rd
 Vestavia Hills, AL 35216
 P: 205.310.7144

ARCHITECTURAL DESIGNER:
 B. Lauren Design
 P.O. Box 110
 Vestavia Hills, AL 35216
 P: 205.435.3921

INTERIOR DESIGN:
 B. Lauren Design
 Blaney Way
 Calhoun, AL 35956
 P: 205.435.3921

SQUARE FOOTAGES

Heads & Domes 4143 SF
 Main Floor 2287 SF
 Main Floor New 633 SF
 Second Floor 3388 SF
 Total 10456 SF

Unfinished
 Garage 745 SF
 Porch 239 SF
 Total 984 SF

Project Code: 2017 International Residential Code
 Minimum setbacks
 Front - 10'
 Side - 5'
 Minimum Height: 35' @ 2 1/2 stories



11/20/2025
 10:58 AM
 BLS



B. LAUREN
 ARCHITECTURE & DESIGN

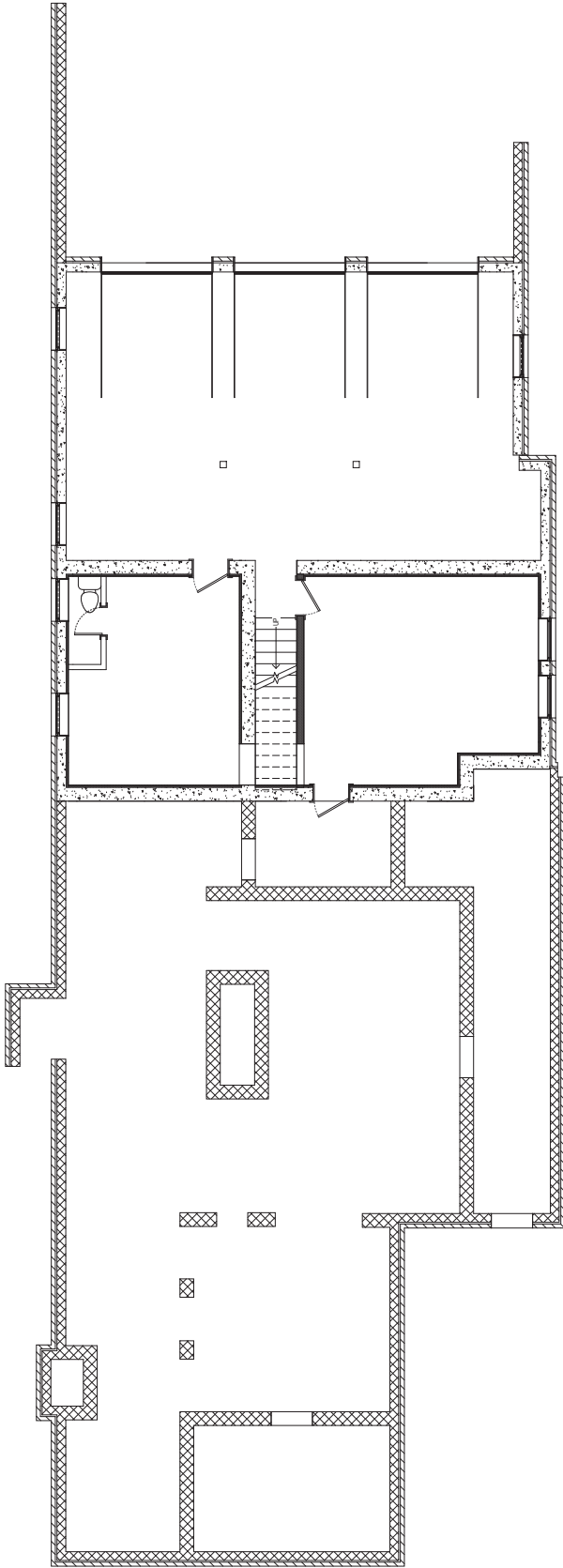
Drawing Index

- A00 COVER SHEET
- ARCHITECTURE
 - A01 SITE PLAN
 - A02 EXISTING FLOOR PLAN
 - A03 EXISTING FLOOR PLAN
 - A04 FLOOR PLAN
 - A05 EXTERIOR ELEVATIONS
 - A06 REFLECTED CEILING PLANS
 - A07 ROOF PLAN, EAVES, GUTTERS
 - A08 EXTERIOR ELEVATIONS
 - A09 SECTIONS
 - A10 INTERIOR ELEVATIONS
 - A11 INTERIOR ELEVATIONS
 - A12 INTERIOR ELEVATIONS
 - A13 INTERIOR ELEVATIONS
 - A14 INTERIOR ELEVATIONS
 - A15 INTERIOR VIEWS
 - A16 INTERIOR VIEWS



B. LAUREN
 ARCHITECTURE & DESIGN
 1000 WEST 10TH AVENUE, SUITE 200
 DENVER, CO 80202-3248
 TEL: 303.733.2448
 WWW.BLAURENARCHITECT.COM

- GENERAL PLAN NOTES**
1. Dimensions shown are for the finished work. All dimensions are to the centerline unless otherwise noted.
 2. EXTERIOR WALLS: CONCRETE
 3. INTERIOR WALLS: CENTER OF FINISH WALLS
 4. INTERIOR FLOORS: CENTER OF FINISH FLOOR
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NOT FOR CONSTRUCTION

THE SPARKS

2710 Shreve, Denver, CO 80202	OWNER	BN
03/17/2025	DATE	BN
20250126	PROJECT NO.	BN

EXISTING FLOOR PLAN

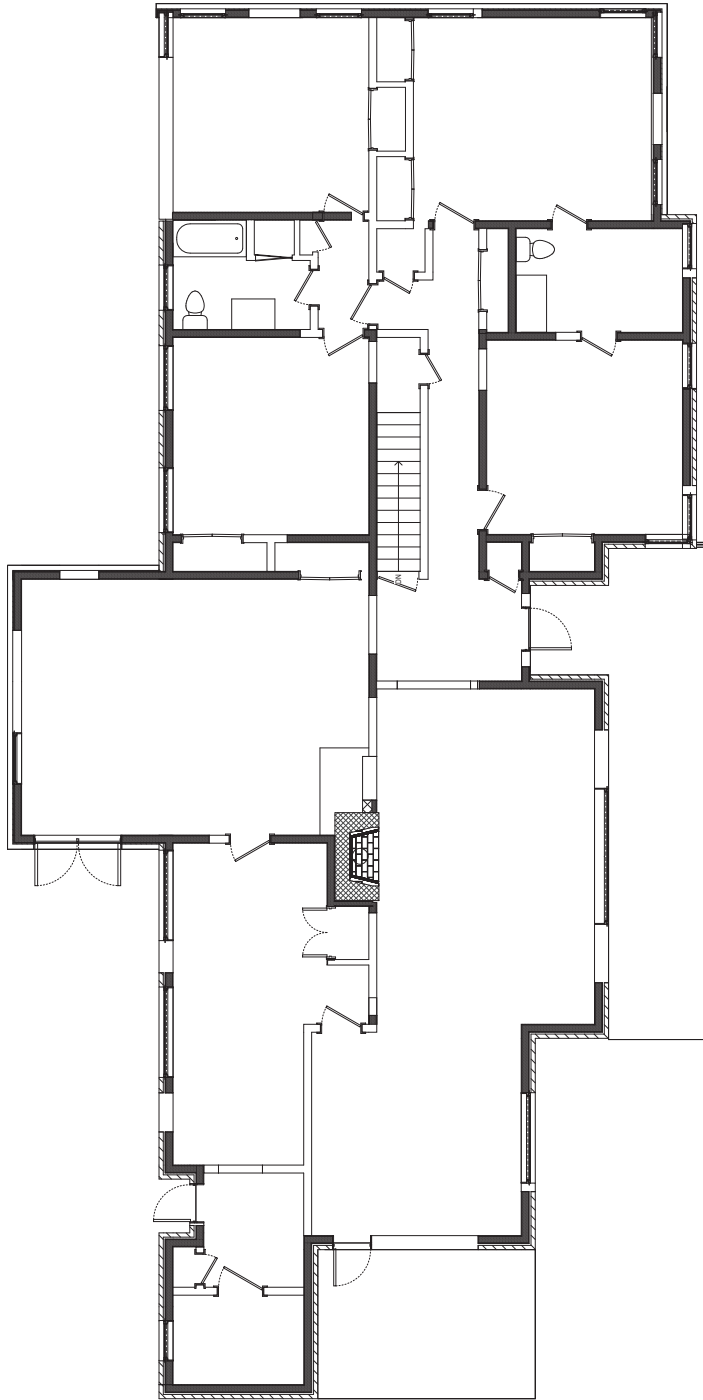
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01 Existing Basement Floor Plan
 1/8" = 1'-0"



B. LAUREN
 ARCHITECTURE & DESIGN
 1000 WEST 10TH AVENUE, SUITE 200
 DENVER, CO 80202-2424
 TEL: 303.733.2424

- GENERAL PLAN NOTES**
1. Dimensions shown are for the overall building footprint. Dimensions shown for individual rooms are for the room's footprint, not including walls or doors.
 2. EXTERIOR WALLS: Outside finish is 1/2" thick concrete masonry units (CMU).
 3. INTERIOR WALLS: Center of gravity (COG) is shown.
 4. WINDOW SLOORS: Center of gravity (COG) is shown.
 5. RADIANT WALLS: Face is shown.
 6. RADIANT FLOORS: Edge is shown.
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 83. Slab thickness is -67" for all slabs.
 84. Slab thickness is -68" for all slabs.
 85. Slab thickness is -69" for all slabs.
 86. Slab thickness is -70" for all slabs.
 87. Slab thickness is -71" for all slabs.
 88. Slab thickness is -72" for all slabs.
 89. Slab thickness is -73" for all slabs.
 90. Slab thickness is -74" for all slabs.
 91. Slab thickness is -75" for all slabs.
 92. Slab thickness is -76" for all slabs.
 93. Slab thickness is -77" for all slabs.
 94. Slab thickness is -78" for all slabs.
 95. Slab thickness is -79" for all slabs.
 96. Slab thickness is -80" for all slabs.
 97. Slab thickness is -81" for all slabs.
 98. Slab thickness is -82" for all slabs.
 99. Slab thickness is -83" for all slabs.
 100. Slab thickness is -84" for all slabs.
 101. Slab thickness is -85" for all slabs.
 102. Slab thickness is -86" for all slabs.
 103. Slab thickness is -87" for all slabs.
 104. Slab thickness is -88" for all slabs.
 105. Slab thickness is -89" for all slabs.
 106. Slab thickness is -90" for all slabs.
 107. Slab thickness is -91" for all slabs.
 108. Slab thickness is -92" for all slabs.
 109. Slab thickness is -93" for all slabs.
 110. Slab thickness is -94" for all slabs.
 111. Slab thickness is -95" for all slabs.
 112. Slab thickness is -96" for all slabs.
 113. Slab thickness is -97" for all slabs.
 114. Slab thickness is -98" for all slabs.
 115. Slab thickness is -99" for all slabs.
 116. Slab thickness is -100" for all slabs.



01 | Existing Main Level Floor Plan
 1/8" = 1'-0"

THE SPARKS

2710 Shreve, Denver, CO 80202
 DATE: 03/17/2025
 DRAWN BY: JLN
 CHECKED BY: JLN
 PROJECT NO: 20250126

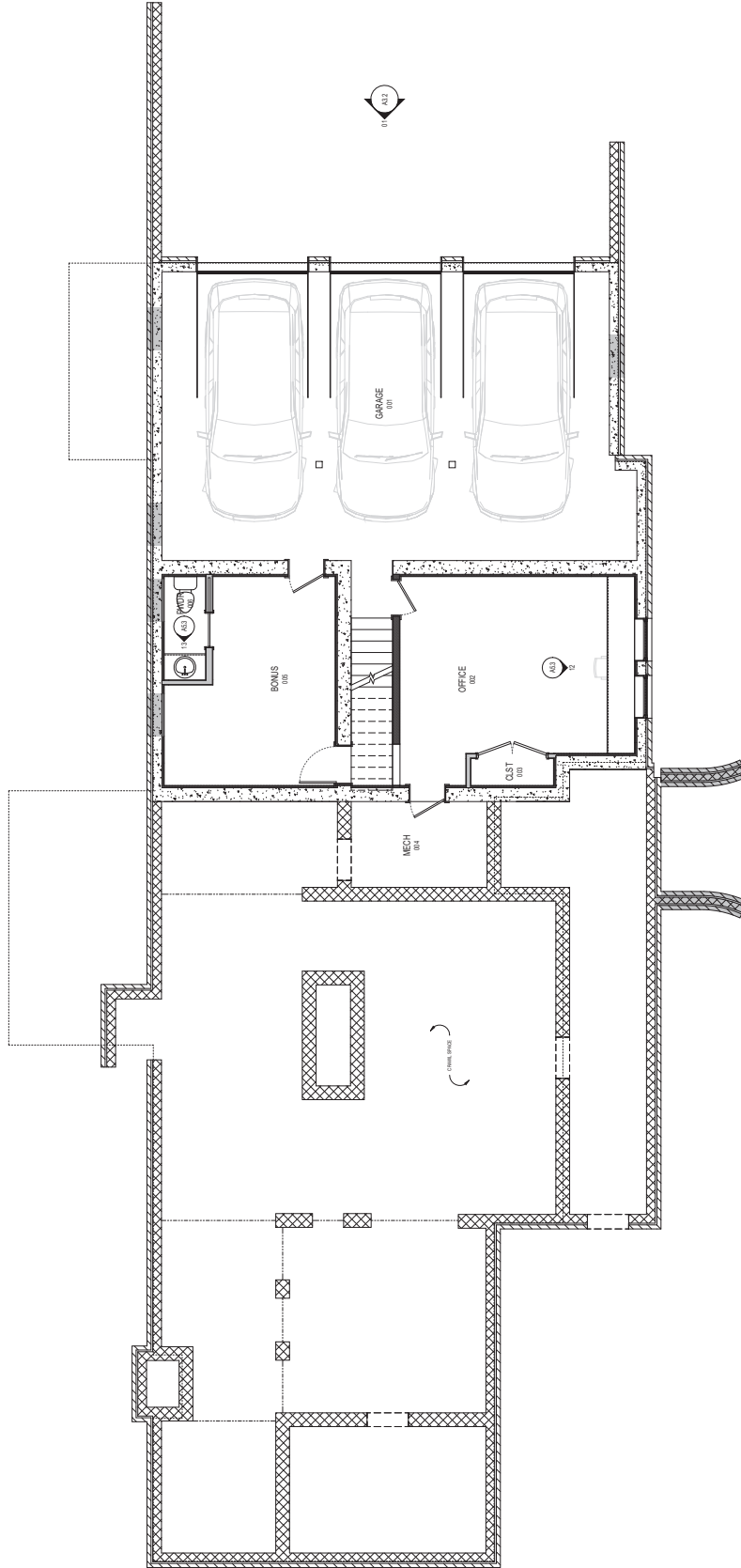
EXISTING FLOOR PLAN

A2.1



B. LAUREN
 ARCHITECTURE & DESIGN
 1000 AVENUE OF THE STARS, SUITE 1000
 FORT MERRILL, COLORADO 80503
 TEL: 303.440.2400
 WWW.BLAUREN.COM

- GENERAL PLAN NOTES**
1. Dimensions shown are for the finished work. All dimensions are to the centerline of walls unless otherwise noted.
 2. EXTERIOR WALLS: Center of Gravity (COG) is shown.
 3. EXTERIOR WALLS: Face is shown.
 4. EXTERIOR WALLS: Finish is shown.
 5. EXTERIOR WALLS: Ego is shown.
 6. EXTERIOR WALLS: Ego is shown.
 7. EXTERIOR WALLS: Ego is shown.
 8. EXTERIOR WALLS: Ego is shown.
 9. EXTERIOR WALLS: Ego is shown.
 10. EXTERIOR WALLS: Ego is shown.
 11. EXTERIOR WALLS: Ego is shown.
 12. EXTERIOR WALLS: Ego is shown.
 13. EXTERIOR WALLS: Ego is shown.
 14. EXTERIOR WALLS: Ego is shown.
 15. EXTERIOR WALLS: Ego is shown.
 16. EXTERIOR WALLS: Ego is shown.
 17. EXTERIOR WALLS: Ego is shown.
 18. EXTERIOR WALLS: Ego is shown.
 19. EXTERIOR WALLS: Ego is shown.
 20. EXTERIOR WALLS: Ego is shown.



NOT FOR CONSTRUCTION

THE SPARKS

2710 Sparks, Colorado	BN	03/17/2025	BN
2710 Sparks, Colorado	BN	03/17/2025	BN
20250126	BN		BN

01 | Basement Floor Plan
1/4" = 1'-0"

SEE FILE
 FLOOR PLAN

A2.2



B. LAUREN
ARCHITECTURE & DESIGN
1770 SHEPPARD AVENUE EAST
SUITE 1000
SCARBOROUGH, ONTARIO
M1S 1T6
TEL: 416-291-2244
WWW.BLAUREN.COM

GENERAL PLAN NOTES

1. All dimensions are in millimeters unless otherwise specified.
2. All dimensions are to the center of the element unless otherwise specified.
3. All dimensions are to the center of the element unless otherwise specified.
4. All dimensions are to the center of the element unless otherwise specified.
5. All dimensions are to the center of the element unless otherwise specified.
6. All dimensions are to the center of the element unless otherwise specified.

NOT FOR CONSTRUCTION

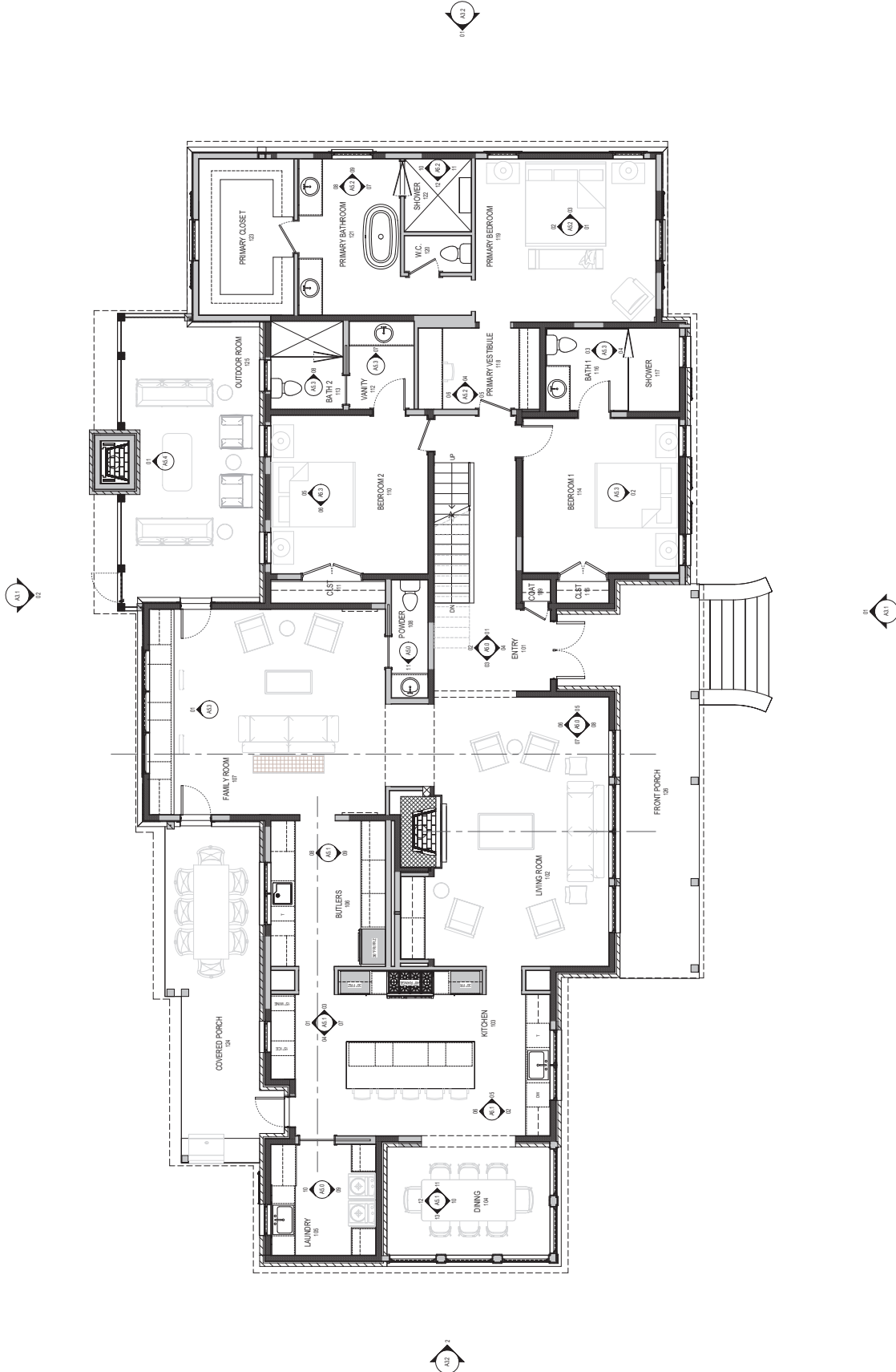
THE SPARKS

2710 Sheppard Avenue East
Suite 1000
Scarborough, Ontario
M1S 1T6
Tel: 416-291-2244
www.blauren.com

DATE: 03/17/2025
DRAWN BY: BN
CHECKED BY: BN
PROJECT NO: 20250126

REVISION FILE:
FLOOR PLAN

A2.3

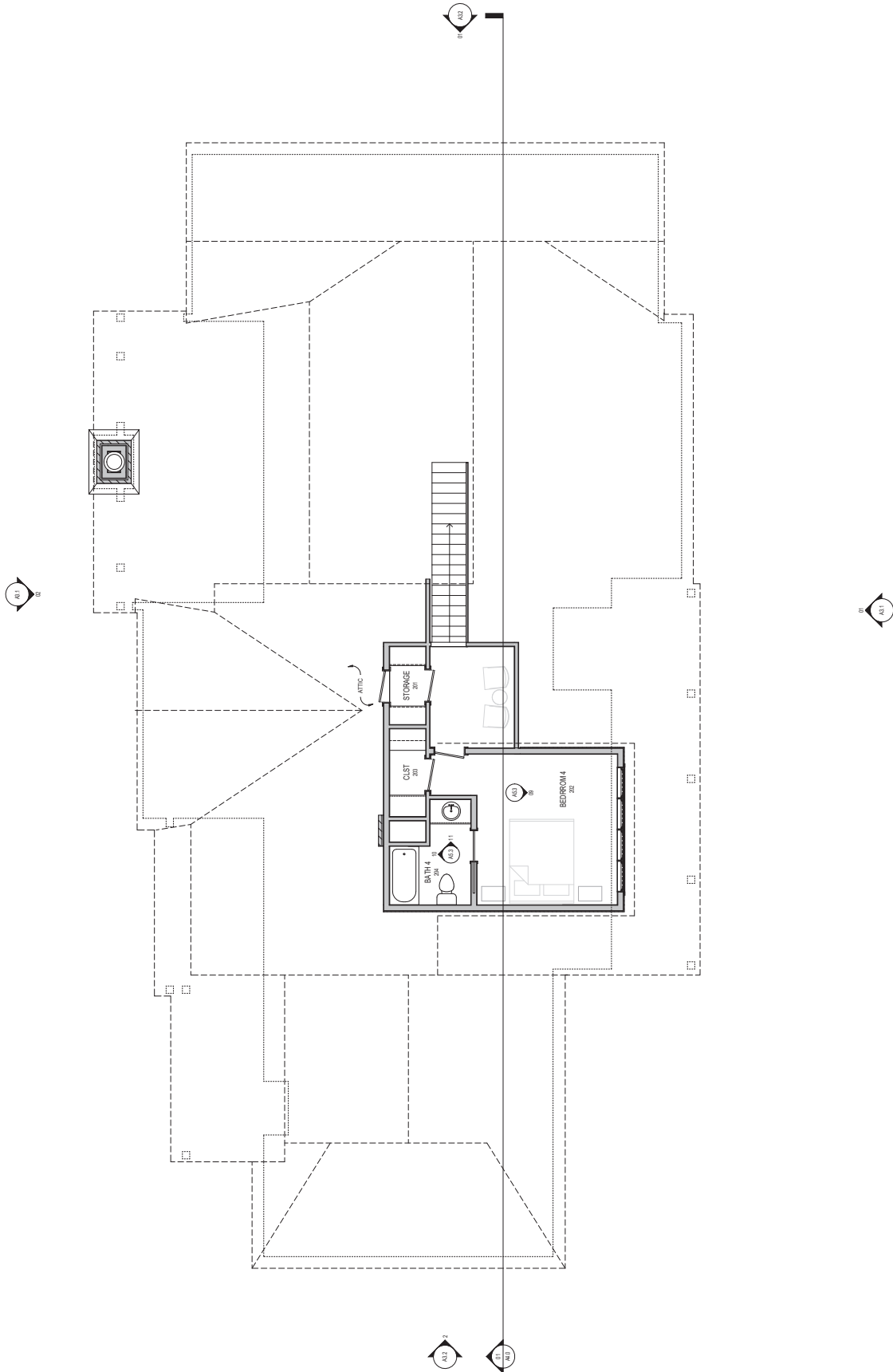


01 | Main Level Floor Plan
1/4" = 1'-0"



B. LAUREN
 ARCHITECTURE & DESIGN
 2710 Shreve, Chesler
 Fort Worth, TX 76104
 AND FORT WORTH, TEXAS
 76104

- GENERAL PLAN NOTES**
1. Dimensions shown are for the exterior face of walls unless otherwise noted.
 2. INTERIOR WALLS: Center of Gravity (C.G.)
 3. INTERIOR WALLS: Face to Face (F.T.F.)
 4. INTERIOR WALLS: Face to Face (F.T.F.)
 5. INTERIOR WALLS: Face to Face (F.T.F.)
 6. INTERIOR WALLS: Face to Face (F.T.F.)
 7. INTERIOR WALLS: Face to Face (F.T.F.)
 8. INTERIOR WALLS: Face to Face (F.T.F.)
 9. INTERIOR WALLS: Face to Face (F.T.F.)
 10. INTERIOR WALLS: Face to Face (F.T.F.)
 11. INTERIOR WALLS: Face to Face (F.T.F.)
 12. INTERIOR WALLS: Face to Face (F.T.F.)
 13. INTERIOR WALLS: Face to Face (F.T.F.)
 14. INTERIOR WALLS: Face to Face (F.T.F.)
 15. INTERIOR WALLS: Face to Face (F.T.F.)
 16. INTERIOR WALLS: Face to Face (F.T.F.)
 17. INTERIOR WALLS: Face to Face (F.T.F.)
 18. INTERIOR WALLS: Face to Face (F.T.F.)
 19. INTERIOR WALLS: Face to Face (F.T.F.)
 20. INTERIOR WALLS: Face to Face (F.T.F.)



01 | SECOND LEVEL FLOOR PLAN
 1/8" = 1'-0"

A2.4

NOT FOR CONSTRUCTION

THE SPARKS

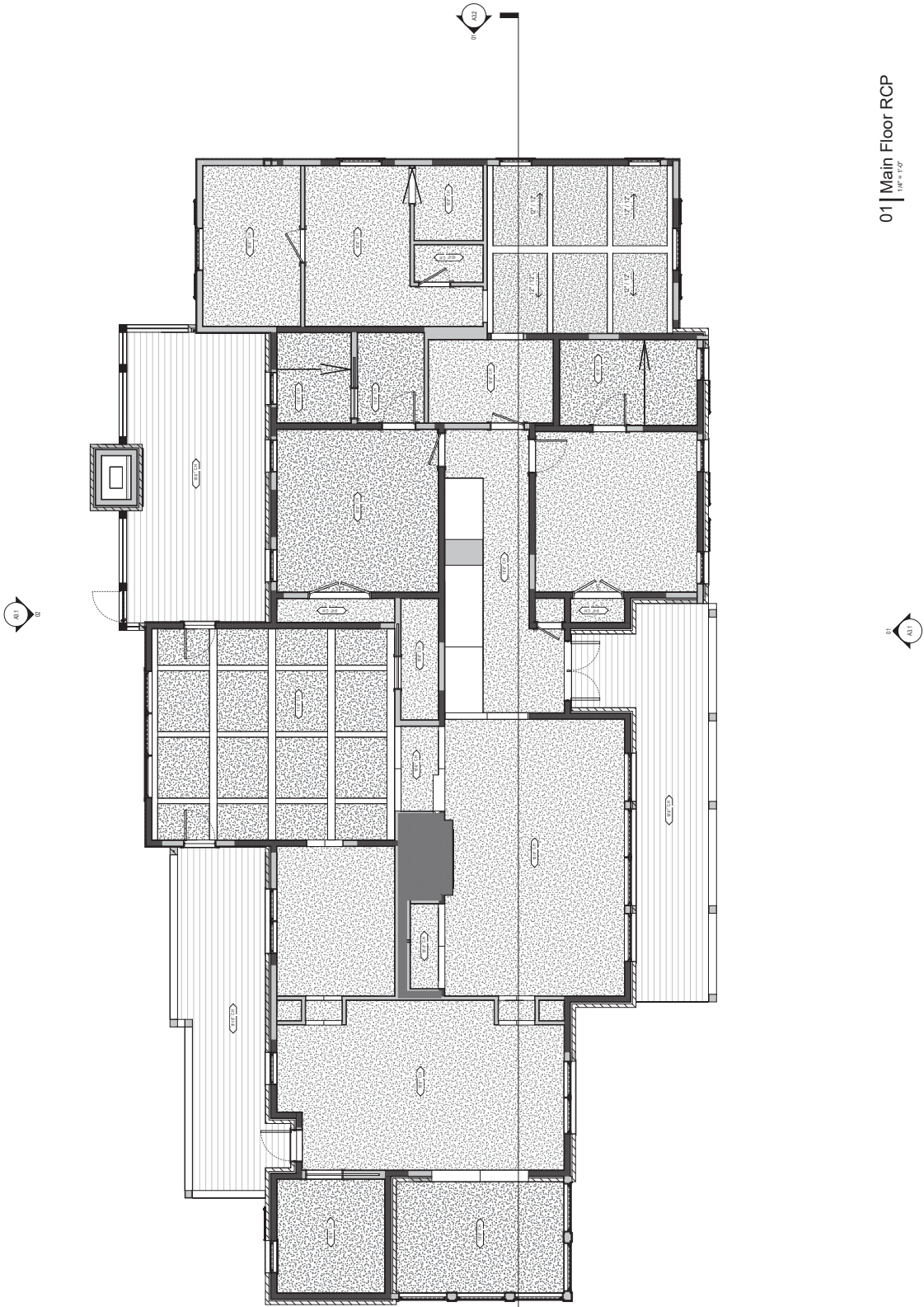
2710 Shreve, Chesler
 Fort Worth, TX 76104
 DATE: 03/17/2025
 DRAWN BY: BN
 CHECKED BY: BN
 PROJECT NO: 202501126

HEET TITLE
 FLOOR PLAN



B. LAUREN
 ARCHITECTURE & DESIGN
 1000 UNIVERSITY AVENUE, SUITE 100
 ANN ARBOR, MI 48106-1000
 TEL: 734.769.1234
 WWW.BLAUREN.COM

GENERAL CEILING PLAN NOTES
 1. All ceiling heights are to be determined by the architect's intent to provide a minimum height of 8'-0" in all areas.
 2. All ceiling heights are to be determined by the architect's intent to provide a minimum height of 8'-0" in all areas.
 3. All ceiling heights are to be determined by the architect's intent to provide a minimum height of 8'-0" in all areas.
 4. All ceiling heights are to be determined by the architect's intent to provide a minimum height of 8'-0" in all areas.



01 | Main Floor RCP
 1/8" = 1'-0"

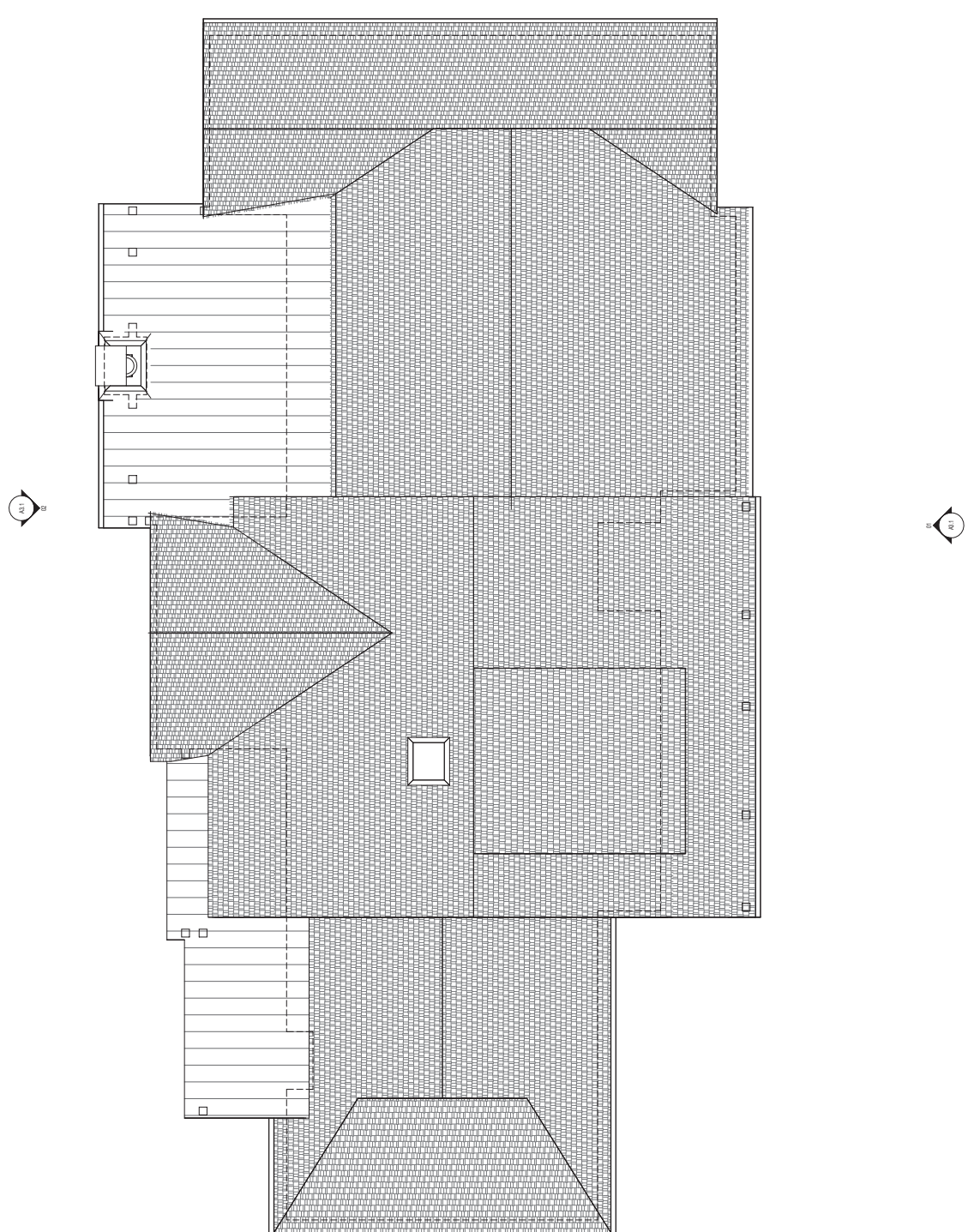
THE SPARKS
 2710 Shreve, Cleveland, OH 44115
 DATE: 03/17/2025
 DRAWN BY: JRM/BN
 CHECKED BY: JRM/BN
 PROJECT NO: 202501126
 SHEET TITLE: REFLECTED CEILING PLANS

A2.5



B. LAUREN
 ARCHITECTURE & DESIGN
 1000 AVENUE OF THE STARS, SUITE 1000
 FORT MYERS, FLORIDA 33902-2400
 TEL: 888.344.2400

- GENERAL PLAN NOTES**
1. Dimensions shown are for the exterior walls unless otherwise indicated.
 2. EXTERIOR WALLS: Center of Gravity (CG) is shown.
 3. EXTERIOR WALLS: Parity is shown.
 4. EXTERIOR WALLS: Elevation is shown.
 5. EXTERIOR WALLS: Finish is shown.
 6. EXTERIOR WALLS: Elevation is shown.
 7. EXTERIOR WALLS: Parity is shown.
 8. EXTERIOR WALLS: Elevation is shown.
 9. EXTERIOR WALLS: Parity is shown.
 10. EXTERIOR WALLS: Elevation is shown.
 11. EXTERIOR WALLS: Parity is shown.
 12. EXTERIOR WALLS: Elevation is shown.
 13. EXTERIOR WALLS: Parity is shown.
 14. EXTERIOR WALLS: Elevation is shown.
 15. EXTERIOR WALLS: Parity is shown.
 16. EXTERIOR WALLS: Elevation is shown.
 17. EXTERIOR WALLS: Parity is shown.
 18. EXTERIOR WALLS: Elevation is shown.
 19. EXTERIOR WALLS: Parity is shown.
 20. EXTERIOR WALLS: Elevation is shown.



WFF PLAN CONSTRUCTION

THE SPARKS

2710 Shreve Street
 Fort Myers, FL 33902
 DATE: 03/17/2025
 DRAWN BY: BN
 CHECKED BY: BN
 PROJECT NO: 20250126

WFF TITLE
 ROOF PLAN

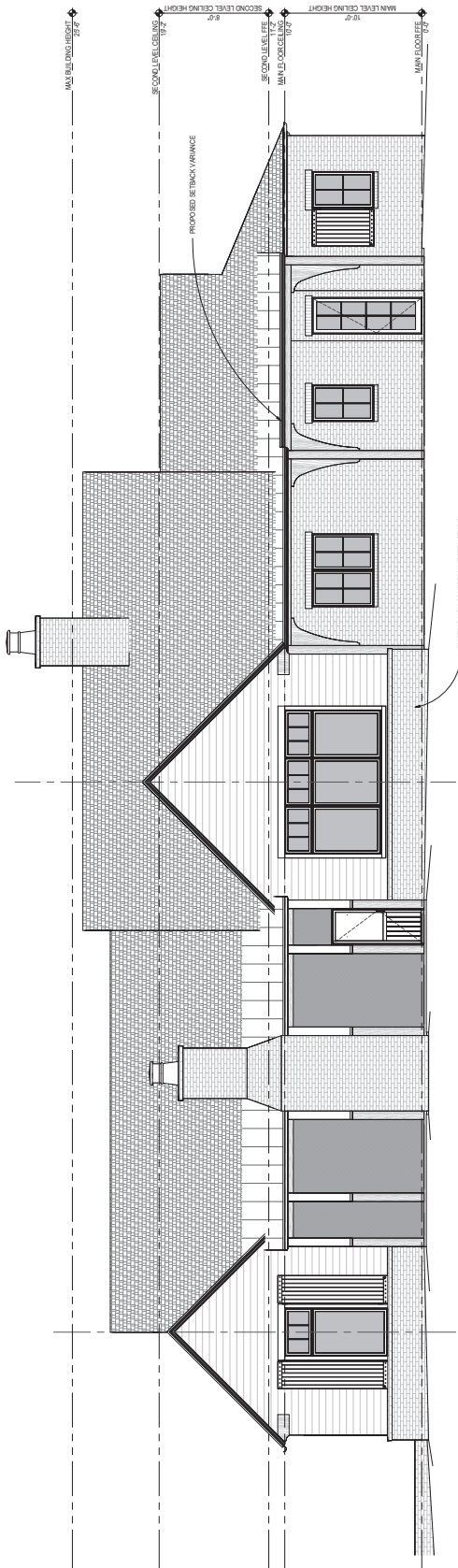
01 | Roof Plan
 1/4" = 1'-0"

A2.7

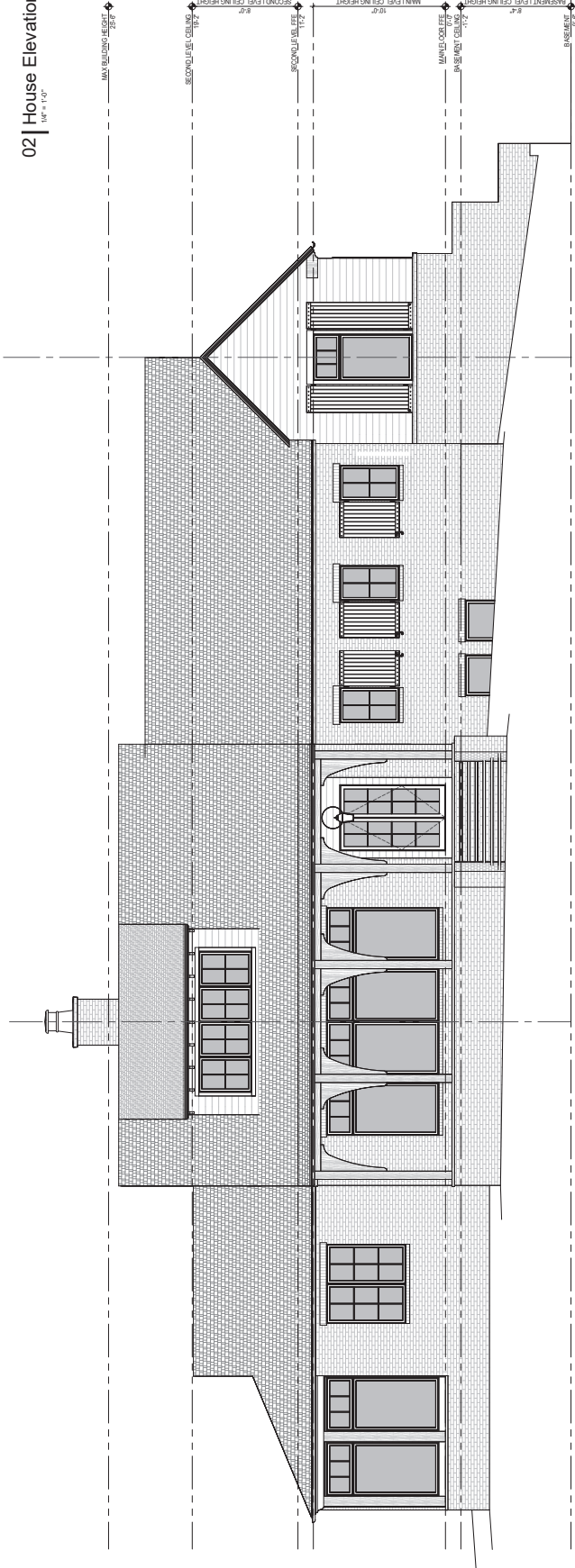


B. LAUREN
ARCHITECTURE & DESIGN
ARCHITECTS
AND INTERIOR DESIGNERS

GENERAL ELEVATION NOTES
1. ELEVATIONS SHALL BE SHOWN AS SHOWN UNLESS NOTED OTHERWISE TO THE CONTRARY.
2. ELEVATIONS SHALL BE SHOWN AS SHOWN UNLESS NOTED OTHERWISE TO THE CONTRARY.
3. ELEVATIONS SHALL BE SHOWN AS SHOWN UNLESS NOTED OTHERWISE TO THE CONTRARY.
4. ELEVATIONS SHALL BE SHOWN AS SHOWN UNLESS NOTED OTHERWISE TO THE CONTRARY.
5. ELEVATIONS SHALL BE SHOWN AS SHOWN UNLESS NOTED OTHERWISE TO THE CONTRARY.
6. ELEVATIONS SHALL BE SHOWN AS SHOWN UNLESS NOTED OTHERWISE TO THE CONTRARY.
7. ELEVATIONS SHALL BE SHOWN AS SHOWN UNLESS NOTED OTHERWISE TO THE CONTRARY.
8. ELEVATIONS SHALL BE SHOWN AS SHOWN UNLESS NOTED OTHERWISE TO THE CONTRARY.
9. ELEVATIONS SHALL BE SHOWN AS SHOWN UNLESS NOTED OTHERWISE TO THE CONTRARY.
10. ELEVATIONS SHALL BE SHOWN AS SHOWN UNLESS NOTED OTHERWISE TO THE CONTRARY.



02 | House Elevation
1/4" = 1'-0"



01 | House Elevation
1/4" = 1'-0"

NOT FOR CONSTRUCTION

THE SPARKS

2710 Shreve, Cleveland, OH 44115
DATE: 03/17/2028
JOB NO: 20230128
OWNER: BN
DESIGNER: BN

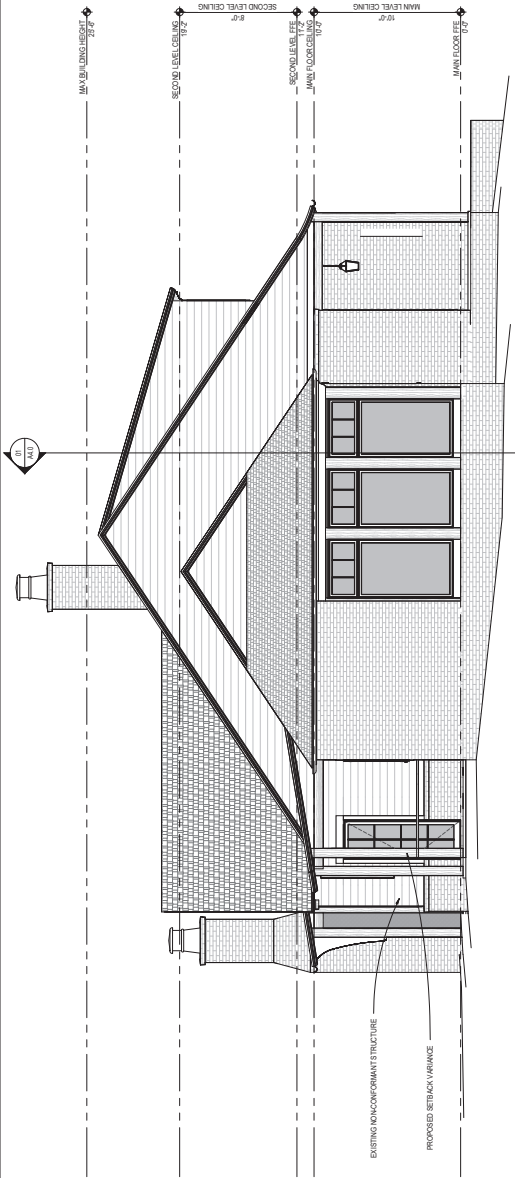
EXTERIOR ELEVATIONS

A3.1

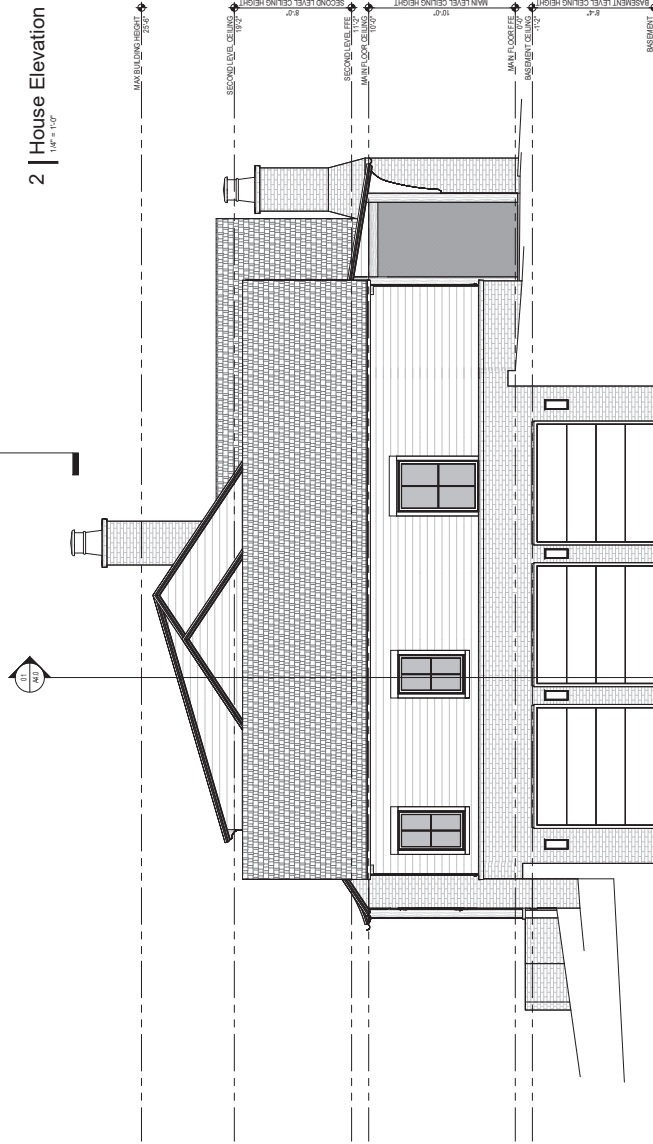


B. LAUREN
ARCHITECTURE & DESIGN
ARCHITECTS
AND INTERIORS CONSULTANTS
REGISTERED

GENERAL ELEVATION NOTES
1. All elevations are shown as they appear on the day of the drawing. It is the client's responsibility to ensure that the drawings are up to date and reflect the current state of the project. 2. All dimensions are in feet and inches. 3. All elevations are shown as they appear on the day of the drawing. It is the client's responsibility to ensure that the drawings are up to date and reflect the current state of the project. 4. All dimensions are in feet and inches. 5. All elevations are shown as they appear on the day of the drawing. It is the client's responsibility to ensure that the drawings are up to date and reflect the current state of the project. 6. All dimensions are in feet and inches.



2 | House Elevation
1/4" = 1'-0"



01 | House Elevation
1/4" = 1'-0"

NOT FOR CONSTRUCTION

THE SPARKS

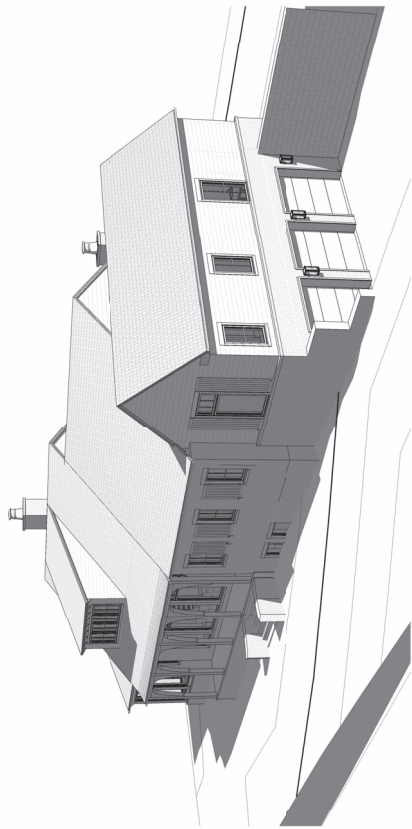
2710 Sparks, Chester Rd
Chester, PA 19381
DATE: 03/17/2025
JOB NO: 20250126
OWNER: BN
DESIGNER: BN

REVISIONS
EXTERIOR ELEVATIONS

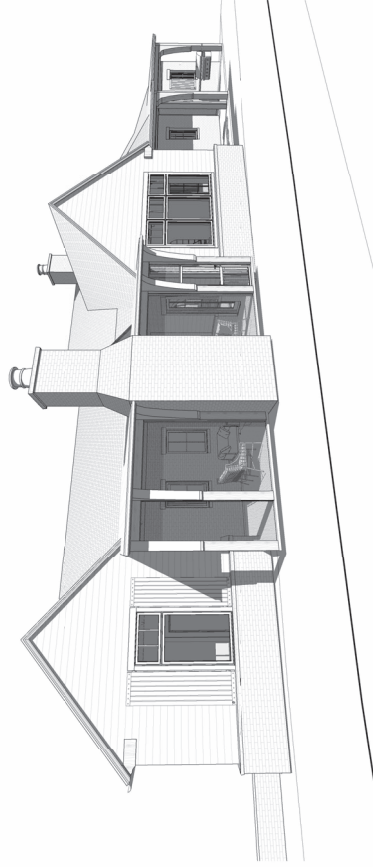
A3.2



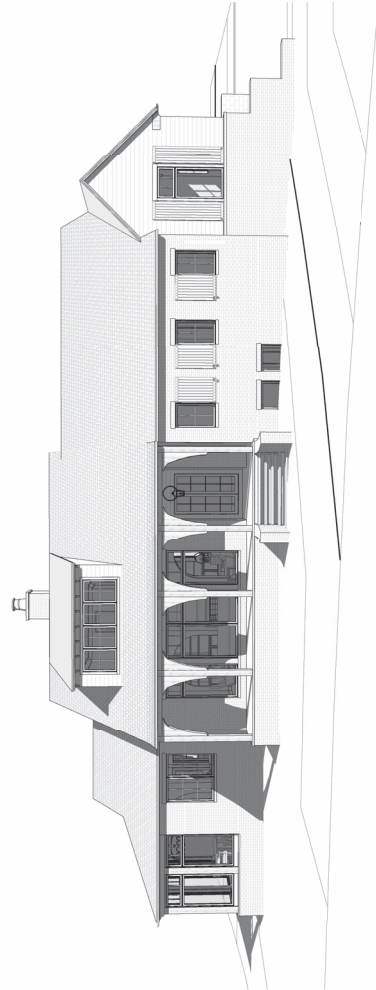
B. LAUREN
 ARCHITECTURE & DESIGN
 1000 W. 10TH AVE. SUITE 100
 DENVER, CO 80202
 303.733.1111
 WWW.BLAUREN.COM



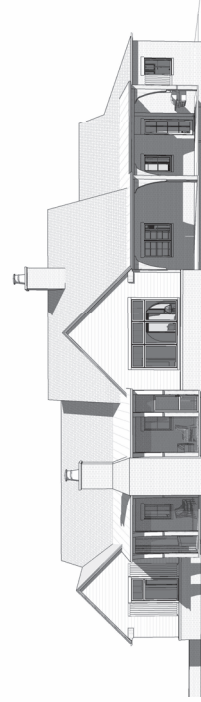
04 | Exterior



02 | Exterior



03 | Exterior



01 | Exterior

NOT FOR CONSTRUCTION

THE SPARKS

2710 Shreve, Colorado
 80202, Denver, Colorado
 DATE: 03/17/2025
 DRAWING NO: 202501126
 SHEET NO: BN
 PROJECT NO: BN
 SHEET TITLE: 3D VIEW

A3.3



**City of Vestavia Hills
Office of the City Clerk**

OWNER AFFIDAVIT (This form must be notarized):

I do hereby declare that the following statements are correct concerning the subject property located at: 2710 SHADES CREST DR, Vestavia Hills, Alabama and that statements submitted in my application are true and that I am: *(please check all that apply)*.

 the Property Owner and representing myself in said request.


the Property Owner, but I am authorizing a Representing Agent by the name of: BRITTANY NOE to represent me in the following request:

And am requesting: (please check)

- | | |
|----------------------------------------------------|----------------------------------------------------------|
| <input type="checkbox"/> Rezoning Request | <input checked="" type="checkbox"/> Request for Variance |
| <input type="checkbox"/> Preliminary Plat Approval | <input type="checkbox"/> Special Exception |
| <input type="checkbox"/> Final Plat Approval | <input type="checkbox"/> Design Review Approval |
| <input type="checkbox"/> Conditional Use Approval | |

Signed:  3/17/26
Owner Signature/Date

STATE OF ALABAMA
COUNTY OF Shelby

Given under my hand and seal
this 17 day of March, 20 26

Notary Public



My commission expires 27 day of September, 20 28.